

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
2/6	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/6	Drummond Street South	BALLARAT CENTRAL VIC 3350
18	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/20-22	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/20-22	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/20-22	Drummond Street South	BALLARAT CENTRAL VIC 3350
4/20-22	Drummond Street South	BALLARAT CENTRAL VIC 3350
5/20-22	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/103	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/103	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/114-116	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/114-116	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/114-116	Drummond Street South	BALLARAT CENTRAL VIC 3350
126	Drummond Street South	BALLARAT CENTRAL VIC 3350
132	Drummond Street South	BALLARAT CENTRAL VIC 3350
204	Drummond Street South	BALLARAT CENTRAL VIC 3350
214	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/220	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/220	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/220	Drummond Street South	BALLARAT CENTRAL VIC 3350
4/220	Drummond Street South	BALLARAT CENTRAL VIC 3350
5/220	Drummond Street South	BALLARAT CENTRAL VIC 3350
221	Drummond Street South	BALLARAT CENTRAL VIC 3350
301	Drummond Street South	BALLARAT CENTRAL VIC 3350
314	Drummond Street South	BALLARAT CENTRAL VIC 3350
322	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/406	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/406	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/406	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/411	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/411	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/411	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/417	Drummond Street South	BALLARAT CENTRAL VIC 3350
2/417	Drummond Street South	BALLARAT CENTRAL VIC 3350
3/417	Drummond Street South	BALLARAT CENTRAL VIC 3350
4/417	Drummond Street South	BALLARAT CENTRAL VIC 3350
421	Drummond Street South	BALLARAT CENTRAL VIC 3350
422	Drummond Street South	BALLARAT CENTRAL VIC 3350
425	Drummond Street South	BALLARAT CENTRAL VIC 3350
1/511	Drummond Street South	REDAN VIC 3350
3/511	Drummond Street South	REDAN VIC 3350
2/511	Drummond Street South	REDAN VIC 3350
525	Drummond Street South	REDAN VIC 3350
603	Drummond Street South	REDAN VIC 3350
604	Drummond Street South	REDAN VIC 3350
612	Drummond Street South	REDAN VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
3	Errard Street South	BALLARAT CENTRAL VIC 3350
16	Errard Street South	BALLARAT CENTRAL VIC 3350
17	Errard Street South	BALLARAT CENTRAL VIC 3350
17A	Errard Street South	BALLARAT CENTRAL VIC 3350
104	Errard Street South	BALLARAT CENTRAL VIC 3350
121	Errard Street South	BALLARAT CENTRAL VIC 3350
1/207	Errard Street South	BALLARAT CENTRAL VIC 3350
2/207	Errard Street South	BALLARAT CENTRAL VIC 3350
3/207	Errard Street South	BALLARAT CENTRAL VIC 3350
209	Errard Street South	BALLARAT CENTRAL VIC 3350
1/210	Errard Street South	BALLARAT CENTRAL VIC 3350
2/210	Errard Street South	BALLARAT CENTRAL VIC 3350
3/210	Errard Street South	BALLARAT CENTRAL VIC 3350
4/210	Errard Street South	BALLARAT CENTRAL VIC 3350
5/210	Errard Street South	BALLARAT CENTRAL VIC 3350
214	Errard Street South	BALLARAT CENTRAL VIC 3350
215	Errard Street South	BALLARAT CENTRAL VIC 3350
217	Errard Street South	BALLARAT CENTRAL VIC 3350
225A	Errard Street South	BALLARAT CENTRAL VIC 3350
225B	Errard Street South	BALLARAT CENTRAL VIC 3350
227	Errard Street South	BALLARAT CENTRAL VIC 3350
314	Errard Street South	BALLARAT CENTRAL VIC 3350
304	Errard Street South	BALLARAT CENTRAL VIC 3350
306	Errard Street South	BALLARAT CENTRAL VIC 3350
327	Errard Street South	BALLARAT CENTRAL VIC 3350
417	Errard Street South	BALLARAT CENTRAL VIC 3350
408A	Errard Street South	BALLARAT CENTRAL VIC 3350
408B	Errard Street South	BALLARAT CENTRAL VIC 3350
415	Errard Street South	BALLARAT CENTRAL VIC 3350
415A	Errard Street South	BALLARAT CENTRAL VIC 3350
501	Errard Street South	REDAN VIC 3350
1/503	Errard Street South	REDAN VIC 3350
2/503	Errard Street South	REDAN VIC 3350
520	Errard Street South	REDAN VIC 3350
4	Essex Street	BALLARAT CENTRAL VIC 3350
5A	Essex Street	BALLARAT CENTRAL VIC 3350
12	Essex Street house only (excepting the outbuildings)	BALLARAT CENTRAL VIC 3350
15	Essex Street	BALLARAT CENTRAL VIC 3350
207	Eyre Street	BALLARAT CENTRAL VIC 3350
211	Eyre Street	BALLARAT CENTRAL VIC 3350
306	Eyre Street	BALLARAT CENTRAL VIC 3350
317	Eyre Street	BALLARAT CENTRAL VIC 3350
406	Eyre Street	BALLARAT CENTRAL VIC 3350
411	Eyre Street	BALLARAT CENTRAL VIC 3350
414	Eyre Street	BALLARAT CENTRAL VIC 3350
507	Eyre Street	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
602	Eyre Street	BALLARAT CENTRAL VIC 3350
605	Eyre Street	BALLARAT CENTRAL VIC 3350
609	Eyre Street	BALLARAT CENTRAL VIC 3350
610	Eyre Street	BALLARAT CENTRAL VIC 3350
703	Eyre Street	BALLARAT CENTRAL VIC 3350
705	Eyre Street	BALLARAT CENTRAL VIC 3350
707	Eyre Street	BALLARAT CENTRAL VIC 3350
712	Eyre Street	BALLARAT CENTRAL VIC 3350
714	Eyre Street	BALLARAT CENTRAL VIC 3350
805	Eyre Street	BALLARAT CENTRAL VIC 3350
805A	Eyre Street	BALLARAT CENTRAL VIC 3350
813	Eyre Street	BALLARAT CENTRAL VIC 3350
913	Eyre Street	BALLARAT CENTRAL VIC 3350
914	Eyre Street	BALLARAT CENTRAL VIC 3350
914A	Eyre Street	BALLARAT CENTRAL VIC 3350
1/915	Eyre Street	BALLARAT CENTRAL VIC 3350
2/915	Eyre Street	BALLARAT CENTRAL VIC 3350
1010	Eyre Street	BALLARAT CENTRAL VIC 3350
1/1014	Eyre Street	BALLARAT CENTRAL VIC 3350
2/1014	Eyre Street	BALLARAT CENTRAL VIC 3350
3/1014	Eyre Street	BALLARAT CENTRAL VIC 3350
7	Fawkner Street	BALLARAT CENTRAL VIC 3350
9	Fawkner Street	BALLARAT CENTRAL VIC 3350
10	Fawkner Street	BALLARAT CENTRAL VIC 3350
18	Fawkner Street	BALLARAT CENTRAL VIC 3350
3B	Hill Street	BALLARAT CENTRAL VIC 3350
7	Kent Street	BALLARAT CENTRAL VIC 3350
1/107	La Trobe Street	REDAN VIC 3350
2/107	La Trobe Street	REDAN VIC 3350
3/107	La Trobe Street	REDAN VIC 3350
4/107	La Trobe Street	REDAN VIC 3350
203	La Trobe Street	REDAN VIC 3350
206	La Trobe Street	REDAN VIC 3350
208	La Trobe Street	REDAN VIC 3350
1/302	La Trobe Street	REDAN VIC 3350
2/302	La Trobe Street	REDAN VIC 3350
303	La Trobe Street	REDAN VIC 3350
304	La Trobe Street	REDAN VIC 3350
309	La Trobe Street	REDAN VIC 3350
311	La Trobe Street	REDAN VIC 3350
401	La Trobe Street	REDAN VIC 3350
8	Lyons Street South	BALLARAT CENTRAL VIC 3350
103	Lyons Street South	BALLARAT CENTRAL VIC 3350
122	Lyons Street South	BALLARAT CENTRAL VIC 3350
124	Lyons Street South	BALLARAT CENTRAL VIC 3350
208	Lyons Street South	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
220	Lyons Street South	BALLARAT CENTRAL VIC 3350
222	Lyons Street South	BALLARAT CENTRAL VIC 3350
224A	Lyons Street South	BALLARAT CENTRAL VIC 3350
311	Lyons Street South	BALLARAT CENTRAL VIC 3350
314	Lyons Street South	BALLARAT CENTRAL VIC 3350
312	Lyons Street South	BALLARAT CENTRAL VIC 3350
505	Lyons Street South	BALLARAT CENTRAL VIC 3350
509	Lyons Street South	BALLARAT CENTRAL VIC 3350
517	Lyons Street South	BALLARAT CENTRAL VIC 3350
1/9A	Pleasant Street South	BALLARAT CENTRAL VIC 3350
2/9A	Pleasant Street South	BALLARAT CENTRAL VIC 3350
15	Pleasant Street South	BALLARAT CENTRAL VIC 3350
2/305	Pleasant Street South	BALLARAT CENTRAL VIC 3350
3/305	Pleasant Street South	BALLARAT CENTRAL VIC 3350
311	Pleasant Street South	BALLARAT CENTRAL VIC 3350
315	Pleasant Street South	BALLARAT CENTRAL VIC 3350
403	Pleasant Street South	BALLARAT CENTRAL VIC 3350
2/403	Pleasant Street South	BALLARAT CENTRAL VIC 3350
407	Pleasant Street South	BALLARAT CENTRAL VIC 3350
501	Pleasant Street South	REDAN VIC 3350
9	Raglan Street South	BALLARAT CENTRAL VIC 3350
201	Raglan Street South	BALLARAT CENTRAL VIC 3350
203	Raglan Street South	BALLARAT CENTRAL VIC 3350
205	Raglan Street South	BALLARAT CENTRAL VIC 3350
212	Raglan Street South	BALLARAT CENTRAL VIC 3350
213	Raglan Street South	BALLARAT CENTRAL VIC 3350
327	Raglan Street South	BALLARAT CENTRAL VIC 3350
331	Raglan Street South	BALLARAT CENTRAL VIC 3350
402	Raglan Street South	BALLARAT CENTRAL VIC 3350
405	Raglan Street South	BALLARAT CENTRAL VIC 3350
412	Raglan Street South	BALLARAT CENTRAL VIC 3350
424	Raglan Street South	BALLARAT CENTRAL VIC 3350
9A	Ripon Street South	BALLARAT CENTRAL VIC 3350
16	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/109	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/109	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/111	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/111	Ripon Street South	BALLARAT CENTRAL VIC 3350
3/111	Ripon Street South	BALLARAT CENTRAL VIC 3350
113	Ripon Street South	BALLARAT CENTRAL VIC 3350
113A	Ripon Street South	BALLARAT CENTRAL VIC 3350
115	Ripon Street South	BALLARAT CENTRAL VIC 3350
115A	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/117	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/117	Ripon Street South	BALLARAT CENTRAL VIC 3350
3/117	Ripon Street South	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
118	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/124	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/124	Ripon Street South	BALLARAT CENTRAL VIC 3350
126	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/203	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/203	Ripon Street South	BALLARAT CENTRAL VIC 3350
3/203	Ripon Street South	BALLARAT CENTRAL VIC 3350
4/203	Ripon Street South	BALLARAT CENTRAL VIC 3350
4/215	Ripon Street South	BALLARAT CENTRAL VIC 3350
3/217	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/219	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/221	Ripon Street South	BALLARAT CENTRAL VIC 3350
308	Ripon Street South	BALLARAT CENTRAL VIC 3350
309	Ripon Street South	BALLARAT CENTRAL VIC 3350
313	Ripon Street South	BALLARAT CENTRAL VIC 3350
319	Ripon Street South	BALLARAT CENTRAL VIC 3350
315	Ripon Street South	BALLARAT CENTRAL VIC 3350
315A	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/317	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/317	Ripon Street South	BALLARAT CENTRAL VIC 3350
3/317	Ripon Street South	BALLARAT CENTRAL VIC 3350
4/317	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/321	Ripon Street South	BALLARAT CENTRAL VIC 3350
403	Ripon Street South	BALLARAT CENTRAL VIC 3350
411	Ripon Street South	BALLARAT CENTRAL VIC 3350
417	Ripon Street South	BALLARAT CENTRAL VIC 3350
1/421	Ripon Street South	BALLARAT CENTRAL VIC 3350
2/421	Ripon Street South	BALLARAT CENTRAL VIC 3350
423	Ripon Street South	BALLARAT CENTRAL VIC 3350
509A	Ripon Street South	REDAN VIC 3350
510	Ripon Street South	REDAN VIC 3350
515	Ripon Street South	REDAN VIC 3350
517	Ripon Street South	REDAN VIC 3350
604	Ripon Street South	REDAN VIC 3350
610	Ripon Street South	REDAN VIC 3350
613	Ripon Street South	REDAN VIC 3350
614	Ripon Street South	REDAN VIC 3350
1/618	Ripon Street South	REDAN VIC 3350
2/618	Ripon Street South	REDAN VIC 3350
3/618	Ripon Street South	REDAN VIC 3350
620	Ripon Street South	REDAN VIC 3350
101	Sebastopol Street	BALLARAT CENTRAL VIC 3350
103	Sebastopol Street	BALLARAT CENTRAL VIC 3350
109	Sebastopol Street	BALLARAT CENTRAL VIC 3350
405	Sebastopol Street	REDAN VIC 3350
602	Sebastopol Street	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
602B	Sebastopol Street	BALLARAT CENTRAL VIC 3350
609	Sebastopol Street	REDAN VIC 3350
902A	Sebastopol Street	BALLARAT CENTRAL VIC 3350
906	Sebastopol Street	BALLARAT CENTRAL VIC 3350
908	Sebastopol Street	BALLARAT CENTRAL VIC 3350
2/910	Sebastopol Street	BALLARAT CENTRAL VIC 3350
3/910	Sebastopol Street	BALLARAT CENTRAL VIC 3350
4/910	Sebastopol Street	BALLARAT CENTRAL VIC 3350
2	Skipton Street	BALLARAT CENTRAL VIC 3350
19	Skipton Street	BALLARAT CENTRAL VIC 3350
115	Skipton Street	BALLARAT CENTRAL VIC 3350
119	Skipton Street	BALLARAT CENTRAL VIC 3350
212	Skipton Street	BALLARAT CENTRAL VIC 3350
214	Skipton Street	BALLARAT CENTRAL VIC 3350
200	Skipton Street	BALLARAT CENTRAL VIC 3350
313	Skipton Street	BALLARAT CENTRAL VIC 3350
400	Skipton Street	REDAN VIC 3350
412	Skipton Street	REDAN VIC 3350
514-516	Skipton Street	REDAN VIC 3350
305	South Street	BALLARAT CENTRAL VIC 3350
405	South Street	BALLARAT CENTRAL VIC 3350
406	South Street	BALLARAT CENTRAL VIC 3350
407	South Street	BALLARAT CENTRAL VIC 3350
507	South Street	BALLARAT CENTRAL VIC 3350
608	South Street	BALLARAT CENTRAL VIC 3350
610	South Street	BALLARAT CENTRAL VIC 3350
701	South Street	BALLARAT CENTRAL VIC 3350
703	South Street	BALLARAT CENTRAL VIC 3350
707	South Street	BALLARAT CENTRAL VIC 3350
803	South Street	BALLARAT CENTRAL VIC 3350
809	South Street	BALLARAT CENTRAL VIC 3350
908	South Street	BALLARAT CENTRAL VIC 3350
2/1005	South Street	BALLARAT CENTRAL VIC 3350
1009	South Street	BALLARAT CENTRAL VIC 3350
1011	South Street	BALLARAT CENTRAL VIC 3350
1012	South Street	BALLARAT CENTRAL VIC 3350
1/1016	South Street	BALLARAT CENTRAL VIC 3350
2/1016	South Street	BALLARAT CENTRAL VIC 3350
3/1016	South Street	BALLARAT CENTRAL VIC 3350
4/1016	South Street	BALLARAT CENTRAL VIC 3350
2	Surrey Street	BALLARAT CENTRAL VIC 3350
13	Talbot Street South	BALLARAT CENTRAL VIC 3350
16	Talbot Street South	BALLARAT CENTRAL VIC 3350
19	Talbot Street South	BALLARAT CENTRAL VIC 3350
19A	Talbot Street South	BALLARAT CENTRAL VIC 3350
21	Talbot Street South	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
24	Talbot Street South	BALLARAT CENTRAL VIC 3350
201	Talbot Street South	BALLARAT CENTRAL VIC 3350
204	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/206	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/206	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/208	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/208	Talbot Street South	BALLARAT CENTRAL VIC 3350
3/208	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/210	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/210	Talbot Street South	BALLARAT CENTRAL VIC 3350
220	Talbot Street South	BALLARAT CENTRAL VIC 3350
220A	Talbot Street South	BALLARAT CENTRAL VIC 3350
220B	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/221	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/221	Talbot Street South	BALLARAT CENTRAL VIC 3350
3/221	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/301	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/301	Talbot Street South	BALLARAT CENTRAL VIC 3350
3/301	Talbot Street South	BALLARAT CENTRAL VIC 3350
304	Talbot Street South	BALLARAT CENTRAL VIC 3350
1/308	Talbot Street South	BALLARAT CENTRAL VIC 3350
2/308	Talbot Street South	BALLARAT CENTRAL VIC 3350
320	Talbot Street South	BALLARAT CENTRAL VIC 3350
407	Talbot Street South	BALLARAT CENTRAL VIC 3350
508	Talbot Street South	REDAN VIC 3350
1/517	Talbot Street South	REDAN VIC 3350
2/517	Talbot Street South	REDAN VIC 3350
3/517	Talbot Street South	REDAN VIC 3350
1/518	Talbot Street South	REDAN VIC 3350
2/518	Talbot Street South	REDAN VIC 3350
3/518	Talbot Street South	REDAN VIC 3350
511	Talbot Street South	REDAN VIC 3350
515	Talbot Street South	REDAN VIC 3350
519	Talbot Street South	REDAN VIC 3350
603	Talbot Street South	REDAN VIC 3350
605	Talbot Street South	REDAN VIC 3350
606	Talbot Street South	REDAN VIC 3350
1/607	Talbot Street South	REDAN VIC 3350
2/607	Talbot Street South	REDAN VIC 3350
3/607	Talbot Street South	REDAN VIC 3350
5/607	Talbot Street South	REDAN VIC 3350
6/607	Talbot Street South	REDAN VIC 3350
7/607	Talbot Street South	REDAN VIC 3350
608	Talbot Street South	REDAN VIC 3350
1/609	Talbot Street South	REDAN VIC 3350
2/609	Talbot Street South	REDAN VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
3/609	Talbot Street South	REDAN VIC 3350
4/609	Talbot Street South	REDAN VIC 3350
5/609	Talbot Street South	REDAN VIC 3350
610	Talbot Street South	REDAN VIC 3350
611	Talbot Street South	REDAN VIC 3350
612	Talbot Street South	REDAN VIC 3350
1/613	Talbot Street South	REDAN VIC 3350
2/613	Talbot Street South	REDAN VIC 3350
3/613	Talbot Street South	REDAN VIC 3350
4/613	Talbot Street South	REDAN VIC 3350
1/615	Talbot Street South	REDAN VIC 3350
2/615	Talbot Street South	REDAN VIC 3350
3/615	Talbot Street South	REDAN VIC 3350
617	Talbot Street South	REDAN VIC 3350
8	La Trobe Street	REDAN VIC 3350
16	Urquhart Street	BALLARAT CENTRAL VIC 3350
303	Urquhart Street	BALLARAT CENTRAL VIC 3350
309	Urquhart Street	BALLARAT CENTRAL VIC 3350
1/312	Urquhart Street	BALLARAT CENTRAL VIC 3350
2/312	Urquhart Street	BALLARAT CENTRAL VIC 3350
314	Urquhart Street	BALLARAT CENTRAL VIC 3350
406	Urquhart Street	BALLARAT CENTRAL VIC 3350
504A	Urquhart Street	BALLARAT CENTRAL VIC 3350
510	Urquhart Street	BALLARAT CENTRAL VIC 3350
704	Urquhart Street	BALLARAT CENTRAL VIC 3350
706	Urquhart Street	BALLARAT CENTRAL VIC 3350
804	Urquhart Street	BALLARAT CENTRAL VIC 3350
807	Urquhart Street	BALLARAT CENTRAL VIC 3350
813	Urquhart Street	BALLARAT CENTRAL VIC 3350
815	Urquhart Street	BALLARAT CENTRAL VIC 3350
901	Urquhart Street	BALLARAT CENTRAL VIC 3350
2/907	Urquhart Street	BALLARAT CENTRAL VIC 3350
4	Watermans Place	BALLARAT CENTRAL VIC 3350
6	Watermans Place	BALLARAT CENTRAL VIC 3350
4	Windermere Street	BALLARAT CENTRAL VIC 3350
6	Windermere Street	BALLARAT CENTRAL VIC 3350
8	Windermere Street	BALLARAT CENTRAL VIC 3350
2/101	Windermere Street	BALLARAT CENTRAL VIC 3350
108	Windermere Street	BALLARAT CENTRAL VIC 3350
109	Windermere Street	BALLARAT CENTRAL VIC 3350
110-112	Windermere Street	BALLARAT CENTRAL VIC 3350
111	Windermere Street	BALLARAT CENTRAL VIC 3350
113	Windermere Street	BALLARAT CENTRAL VIC 3350
118	Windermere Street	BALLARAT CENTRAL VIC 3350
118A	Windermere Street	BALLARAT CENTRAL VIC 3350
120	Windermere Street	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
120A	Windermere Street	BALLARAT CENTRAL VIC 3350
134	Windermere Street	BALLARAT CENTRAL VIC 3350
136	Windermere Street	BALLARAT CENTRAL VIC 3350
202	Windermere Street	BALLARAT CENTRAL VIC 3350
203	Windermere Street	BALLARAT CENTRAL VIC 3350
204	Windermere Street	BALLARAT CENTRAL VIC 3350
219	Windermere Street	BALLARAT CENTRAL VIC 3350
301	Windermere Street	BALLARAT CENTRAL VIC 3350
1/320	Windermere Street	BALLARAT CENTRAL VIC 3350
2/320	Windermere Street	BALLARAT CENTRAL VIC 3350
3/320	Windermere Street	BALLARAT CENTRAL VIC 3350
403	Windermere Street	BALLARAT CENTRAL VIC 3350
405	Windermere Street	BALLARAT CENTRAL VIC 3350
407	Windermere Street	BALLARAT CENTRAL VIC 3350
410	Windermere Street	BALLARAT CENTRAL VIC 3350
1/420	Windermere Street	BALLARAT CENTRAL VIC 3350
2/420	Windermere Street	BALLARAT CENTRAL VIC 3350
3/420	Windermere Street	BALLARAT CENTRAL VIC 3350
422	Windermere Street	BALLARAT CENTRAL VIC 3350
425	Windermere Street	BALLARAT CENTRAL VIC 3350
505	Windermere Street	REDAN VIC 3350
508	Windermere Street	REDAN VIC 3350
520	Windermere Street	REDAN VIC 3350
1/512	Windermere Street	REDAN VIC 3350
2/512	Windermere Street	REDAN VIC 3350
3/512	Windermere Street	REDAN VIC 3350
1/514	Windermere Street	REDAN VIC 3350
2/514	Windermere Street	REDAN VIC 3350
3/514	Windermere Street	REDAN VIC 3350
516	Windermere Street	REDAN VIC 3350
602B	Windermere Street	REDAN VIC 3350
608A	Windermere Street	REDAN VIC 3350
608B	Windermere Street	REDAN VIC 3350
611	Windermere Street	REDAN VIC 3350
619	Windermere Street	REDAN VIC 3350

WALLER ESTATE HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 8 Waller Estate Heritage Precinct Map, shown as "G" on the Proposed Ballarat Urban Heritage Precincts Map

The Waller Estate Precinct is characterised by a built up, single storey, residential area that was predominantly constructed by the developer/builder Roy Waller and his Syndicate from 1945 to 1961 on empty allotments of land bounded by Inkerman, Pleasant, Winter and Russell Streets. There is one former commercial building in the precinct, a shop with an attached residence, also built by the Waller Syndicate.

The present street and allotment layout in this precinct is essentially unchanged from the original subdivision plan LP20105, which was formally lodged in June 1950. The precinct takes up almost all of this original subdivision plan except for the block bounded by Inkerman Street, Waller Avenue, Gwenith Avenue and Russell Street (where a school is now located), and the stretch of allotments facing Russell Street between Gwenith Avenue and Jessie Street. The precinct is located on the south- western edge of inner urban Ballarat.

The Waller Estate Precinct is characterised by a single storey residential area that was predominantly constructed by the developer/builder Roy Waller and his Syndicate from 1945 to 1961 on empty allotments of land bounded by Inkerman, Pleasant, Winter and Russell Streets.

These four roads were laid out in the 19th century as part of the dominant north-south and east-west grid pattern of Ballarat West. The present distinctive street layout within the boundaries of these long-established roads was an initiative of the Waller Syndicate, a consortium of builders and real estate agents led by Mr. Roy Waller, and forms part of a 1950 subdivision called the Waller Estate. The majority of

houses within the Waller Estate were built by the Syndicate in a concentrated period of activity between 1949 and 1961 and appear to have been predominantly offered for sale as 'spec' homes on completion.

Mining occurred throughout the precinct during the mid-1860s to the early 1900s. Mines in this area exploited tributaries of the nearby Inkerman Lead, with the West Don Shaft and Leviathan Shaft most closely associated with this area. Today, the Waller Estate Precinct contains no evidence of this early mining activity.

The Waller Estate Precinct is historically significant as the earliest example in Ballarat of the type of entrepreneurial private property development that began to take hold in post war Australia. The syndicate use of avenues, crescents and cul-de-sacs to form a predominantly curvilinear layout within the established grid pattern of the surrounding roads demonstrates a notable departure from the town planning principles previously used in Ballarat.

The Waller Precinct is architecturally significant as it demonstrates many original and early design qualities associated with the residential development of the Waller subdivision from the mid-1940s to the early 1960s. The buildings within the subdivision are a consistent Post-War Suburban architectural style. The important design qualities which contribute to the significance of the precinct include detached siting within the allotments, front setbacks of generally 5-10 metres and side setbacks generally ranging from 1.5-6 metres, single storey height, brick construction, low front fences; and the single brick garages located at the end of side driveway.

The Waller precinct is significant aesthetically for having a range of narrowed views along the inner curving and straight roads, and into the cul-de-sacs, that reinforce the distinctive layout of these roads in contrast to the dominant grid street pattern beyond. The unobstructed views emphasise the consistency of both form and style of residential buildings within the precinct. The open views across the private gardens in conjunction with the well maintained nature strips, street plantings and central garden reserve in Waller Avenue are of importance for the contribution that they make to the garden like setting of the precinct.

WALLER AVENUE HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Waller Estate Precinct is **historically** significant at a **Local** level. (AHC criteria A.4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a)4 importance for association with events, developments or cultural phases which have had a significant role in the human occupation and evolution of the nation, State, region or community;*
- (h) the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.*

The Precinct is important for its association with mining activity during the mid-1860s to the early 1900s. Mines in this area exploited tributaries of the nearby Inkerman Lead, with the West Don Shaft and Leviathan Shaft. The Leviathan Company was formed in the late 1850s and operated until being forced to close down its operations due to a lawsuit by a neighbouring company. The Precinct stands on land that was mostly undeveloped for residential purposes until after World War II. Its subsequent development illustrates a typical pattern of residential infill development that was common in Ballarat.

The Precinct is historically significant as the earliest and most intact example in Ballarat of an entrepreneurial private property development that had began to become popular in post war Australia. The development of the Waller Estate occurred at a time of severe housing shortage in Australia after World War II and is comparable with similar contemporary projects undertaken by companies such as A V Jennings that radically changed the pattern of residential development in Australia. The Waller Estate is a forerunner of the modern housing estate development that is now common in Ballarat.

The 1950 Waller Estate subdivision is an important local example, albeit on a small scale, and is essentially unchanged from when the original subdivision plan LP20105, was formally lodged in June 1950. The original appearance and character of the houses that were predominantly constructed by the developer/builder Roy Waller and his Ballarat based Waller Syndicate from 1945 to 1961 remains substantially intact.

The Waller Estate Precinct is **architecturally** significant at a **Local** level (AHC criteria D.2, E.1).

- (d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;*

There are two major aspects of the Waller Estate Precinct that are of aesthetic, architectural and historical significance within the wider context of Ballarat: The basic town planning principles underpinning the subdivision's layout, which was notably developed by a private syndicate, and the consistency of both the form and style of the residential buildings.

The distinctive layout of the inner roads of the Waller Estate is based on typical 1950s town planning principles, and includes a curvilinear layout created by avenues, crescents and cul-de-sacs that catered for the motor car as a primary means of transport. The development established within the surrounding rigid grid street pattern demonstrates a notable departure from the neo-classical 19th century town planning principles of early Ballarat.

The physical attributes of the Waller Estate express the values of the Waller Syndicate. This included the promotion and sale of a variety of quality modern Post-War Suburban houses designed by John Muir, of Muir and Shepherd Architects. By 1950 contemporary critics regarded the Waller Estate as a significant housing venture in the City of Ballarat.

The Precinct is important for its coherent architectural form and the high concentration of detached double or triple fronted brick veneer residences with terracotta tile or corrugated asbestos cement sheet roofs built between 1941 and 1961. The design is distinctively post-World War II and stands in contrast to the mix of timber and brick Victorian, Federation and Inter-War style housing of the neighbourhood. Other important design features include wide front and side setbacks; and single storey face brick construction, and a notable range of low front fences, particularly those constructed of brick with wrought iron panels, as well as single rear brick garages located at the end of side driveways.

The Waller Estate Precinct is **aesthetically** significant at a **Local** level. (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Waller Estate heritage Precinct is important for its ability to demonstrate distinctive aesthetic ideas with an eclectic amalgam of traditional and modern design elements and materials which were highly regarded at the time. This is expressed visually by the substantially intact 1950s-1960s architecture and urban design layout that contains substantial public open space in Waller Avenue and for the picturesque curvilinear street pattern. This adds visual interest to the streetscape and, was intended to demonstrate to potential clients that the Estate was 'modern' and 'attractive', both sought-after characteristics in the post-war era.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 169 WALLER ESTATE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
35	Inkerman Street	Waller Estate Heritage Precinct
505	Russell Street	Waller Estate Heritage Precinct
507	Russell Street	Waller Estate Heritage Precinct
6A	Waller Avenue	Waller Estate Heritage Precinct
40	Waller Avenue	Waller Estate Heritage Precinct
41	Waller Avenue	Waller Estate Heritage Precinct
48	Waller Avenue	Waller Estate Heritage Precinct
2	Winter Street	Waller Estate Heritage Precinct
4	Winter Street	Waller Estate Heritage Precinct
6	Winter Street	Waller Estate Heritage Precinct

SOLDIERS HILL HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 9 Soldiers Hill Heritage Precinct Map, shown as "H" on the Proposed Ballarat Urban Heritage Precincts Map

The Soldiers Hill Precinct is located directly to the north of the Ballarat City centre, within urban Ballarat. It is characterised by a heterogeneous combination of substantially intact residential buildings, which were constructed from the early 1860s (or possibly earlier) to the 1940s, and into the early 1950s. They are interspersed with a notable collection of cultural/community, commercial and educational buildings constructed from the early 1860s onwards. The precinct is also characterised by the formal grid layout of nearly all of its streets, many of which feature avenues of mature to semi-mature trees; by scattered areas of grassed and treed public and private open space including the Walter Jones Memorial Reserve, the lawns of the Ballarat North Bowling Club, and school grounds; and by numerous well-maintained private gardens, some of which contain notable mature tree specimens. Furthermore, the

precinct is specially distinguished by the substantial integrity of its original engineering infrastructure, particularly as identified by the extensive network of bluestone spoon drains and gutters that can be seen along almost every road in the precinct, generally in conjunction with wide gravel/grass shoulders.

The precinct is predominantly bounded on the north by a short stretch of Howitt Street. The east boundary begins at the south-east corner of the intersection of Howitt Street with Ligar Street and runs in a staggered line in a south-east direction. It is generally formed by the rear boundaries of allotments located on the east or north sides (alternately) of part of Ligar Street, Howard/Sweeney Streets, Havelock Street, Napier Street, and Nicholson Street, and finishes at the Yarrowee River Channel.

The south boundary is partly formed by the edge of this Channel, which takes a curvilinear line to Nolan Street, and then by the fenced reserve of the Melbourne to Ballarat railway line and associated land alongside Lydiard Street North. This irregularly shaped edge then turns to curve in a north-west direction along the edge of the fenced reserve of the Ballarat to Ararat railway line, which forms the west boundary of the precinct from Lydiard Street North to Macarthur Street. North of Macarthur Street, the west boundary generally runs along the rear boundaries of allotments located on the west side of Crompton Street before turning just north of Howard Street to run along the east side of the Gnarr Creek Channel to Howitt Street.

The Ballarat North precinct generally includes land bounded by Ligar, Howard, Havelock, Napier and Nicholson Streets and the Yarrowee River Channel. The area became known as Soldiers Hill as it housed a second military camp for additional police and military at the height of the goldrush.

Land at Soldiers Hill was first sold in 1859. By 1862 the high land around Seymour Crescent had been developed residentially. The area was attractive for residential use as it was elevated above the city and away from much of the major industrial activity.

The local population was catered for by local shops in Macarthur Street and hotels scattered throughout the precinct. The Macarthur Street School was constructed in 1877 and the local churches in the mid 1860's. The St Johns Anglican Church is of particular interest for its west window, chancel and the Fincham and Hobday pipe organ.

Many of the buildings and street plantings were completed by the late 1890's and early 1900's. The precinct still retains some of the early evidence of the commercial and light industry such as the Macarthur Street shops, the North Star Hotel, the former chaff mill on the corner of Doveton and Brougham Street and the former Boot factory in Nolan Street. The precinct also retains essentially the same street pattern as subdivided in the 1860's and the allotments are based on the 19th century government survey.

The precinct is architecturally important for its original and intact Victorian, Federation and Interwar and early Post War era residential buildings. Typically these are single storey (although some 1 ½ and 2 storey residences exist), roofs are hipped and/or gabled and clad with corrugated galvanised iron, slate or Marseilles tile terra cotta tiles. The buildings are either weatherboard or brick construction with unpainted brick chimneys, include eaves and verandahs, decorative detailing, timber doors and double hung or casement windows.

The precinct also includes original and intact Victorian, Federation and Inter war commercial, educational and cultural/community buildings. These buildings display similar characteristics to the residential buildings but have parapets, predominantly brick. Commercial buildings also have recessed entries and display early signage painted on sidewalls and complex and individual detailing and decoration. The cultural/community and educational buildings have steeper roofs and complex and individual detailing and decoration.

The important visual qualities of the precinct include the views toward the city centre, to Black Hill, the surrounding residential areas in the east, west and south of the Soldiers Hill. Also important are the views towards the former Myer Woollen Mills and Selkirk Bricks and the Railway Station.

Key landmarks in the precinct are the Scots and Presbyterian Church with its spire, the St Columba's Church with its campanile tower, the schools and associated buildings. The shops provide a focal interest in the streetscape and help to define many of the street intersections. The open landscape of Walter Reserve and the stand of mature cypress trees provide a scenic garden focus in a residential setting.

The precinct also includes mature and juvenile street tree plantings and private gardens with mature canopy trees, private and public open space, grass/gravel road shoulders and turf footpaths and nature strips. These create a varied garden setting for the precinct. The substantial integrity of the original engineering infrastructure shows an early and now rarely used construction technology and the excellence of traditional craftsmanship. This is displayed in the extensive network of bluestone spoon or channel drains and bluestone inverted gutters with bluestone pitcher kerbs and wrought iron guards.

SOLDIERS HILL HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Soldiers Hill Precinct is **historically** significant at a **LOCAL** level (AHC criteria A.4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a.4) importance for association with events, developments or cultural phases which have had a significant role in the human occupation and evolution of the nation, State, region or community*
- (h) the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.*

The Precinct is a broad historical townscape founded in 1850s, associated with the expansion of military presence on the Ballarat gold fields following the Eureka uprising in 1854, when the original Police Camp, located in Lydiard Street, was reinforced by the establishment of a large military and police encampment nearby, on Soldiers Hill.

The Soldiers Hill Precinct was laid out under neoclassical auspices of hierarchy and axial ordering. It was surveyed by the colonial Government Surveyor W.S.Urquhart in late 1851, and the first lands sales took place in 1859 to the late 1860s. The area is historically important as it is an early example of a highly desirable mid 19th century goldfields residential area. Its popularity was due to its elevated position away from nearby gold mining activities and noxious industries. The early phase of development with its rectilinear street layout pattern reflects typical 19th century geometric neoclassical planning style based on public order with scattered clusters of commercial activities sited on major road intersections, interspersed with a range of denominational landmark ecclesiastical buildings and schools and uniform residential allotments. There was a significant phase of re-building and architectural consolidation during the late 19th century together with urban beautification schemes associated with major avenue re-planting of gums and pines with elms and plane trees, and infrastructure development identified by the extensive network of significantly intact bluestone channel drains, gutters and kerbs. The area remains predominately residential although later architectural development and infill became more eclectic in style. Through this process of consolidation and infill over the past 120 years, the urban fabric has been extended on the same pattern as the first mid 19th century layout and the harmony of the overall townscape has been retained.

The Soldiers Hill Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

- (d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;*

The Precinct is a significant 19th and early 20th century example of residential area representing the development of modern urbanism, initiated by the 1850s gold rush in rural Victoria. The economic success of the town due to gold mining allowed for the development of a city that responded to the needs of a rising middle class. The new ideas that underpinned the urban plan of Soldiers Hill Precinct, resulting from

concern of the civic role of public spaces and the need for natural light and ventilation to foster public hygiene, is also reflected by its collection of architectural buildings. The buildings demonstrates many original and intact design qualities associated with a diverse range of small scale predominately single-storey residential Victorian, Federation, and later Inter-War and early Post-War era buildings as well as a notable ensemble of commercial, cultural/community and educational development constructed between the 1860s and 1940s, and into the early 1950s. Many of the churches were designed by leading Victorian architects such as those designed by architects, J. A Doane (Weslyan Church), Leonard Terry (St. John's Anglican Church) and Figgis & Molloy (Scots Church). In contrast to the dominant elements of the churches other landmark structures in the precinct include examples of former industrial buildings such as the galvanised corrugated iron walling of the former Chaff Mill. Of particular significance in the hierarchical ordering of space and elements in the precinct is the adaptation of the urban plan to the introduction of the motor vehicle in the early 20th century and resulting design response to private garages which are sited at the rear of dwellings. The success of a unifying aesthetic ideal derived from overseas 19th century and early 20th century architectural and planning ideas adapted to a provincial Australian model is evidenced by the diverse array of often eclectic building styles in the precinct which collectively contribute to a visually unified townscape of beauty.

The Soldiers Hill Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct demonstrates important visual qualities that reflect the historical, cultural and architectural development of the precinct, and contribute to its 19th century urban plan and townscape setting. The 19th century neo-classical town planning concepts based on a regular grid with wide streets and absolute regularity of its grid gives way in the west and south to a number of crescents in response to abrupt changes in topography and introduction of the railway reserve. These features provide its special visual qualities, including complex views across and through the Precinct to other parts of Ballarat as well as east to Black Hill and further south-east to Mount Warrenheip. Despite a considerably variation in allotment sizes and topography, important internal urban and architectural views are created by the harmonious collection of a diverse range of residential architectural styles of similar scale, setback, orientation and construction material set within in a rigid geometric layout of tree lined avenues. Also of importance are the views of highly significant 19th century engineering infrastructure, including the Gnarr Creek Channel, which transects the residential area in the west part of the Precinct.

Further important aesthetic qualities of the Precinct include the variety of significant urban landmarks, a number of which can be seen from outside of the Precinct. These comprise each of the churches and their associated buildings, but particularly the Scots Presbyterian Church in Lydiard Street North with its dominant spire, and the St. Columba's Catholic Church with its notable campanile-like tower; each of the schools and their associated buildings, but particularly the dominant two-storey Macarthur Street State School No.2022; the numerous corner shops and hotels (both present and former), as well as the small shops visible along various residential streetscapes, which provide focal points of interest to the long streets and particularly help to define

many of the street intersections to the extent that many have become local landmarks; and the open landscape of the Walter Jones Reserve and the associated stand of mature cypress trees, which provide a scenic garden focus within the dominant residential area of this part of the Precinct.

The important visual qualities of the Precinct are also enhanced by the mature and juvenile street tree plantings that are a significant component of many of the streetscapes; by the gravel/grass road shoulders and turf nature strips or footpaths; by areas of grassed and variously landscaped public and private open spaces such as the Walter Jones Reserve, school grounds, and the many private gardens with their mature canopy trees. These landscaped and treed areas provide the Precinct with a garden setting of considerable variety. Furthermore, the visual qualities of the Precinct are specially enhanced by the substantial integrity of the original engineering infrastructure, particularly as identified by the extensive network of bluestone spoon or channel drains, and bluestone inverted channel gutters with bluestone pitcher kerbs, and by the wrought iron drainguards.

The Soldiers Hill Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C.2 and F1).

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The substantial integrity of the original engineering infrastructure, particularly as identified by the extensive network of bluestone drains is of importance for demonstrating the modern concepts of urban planning based on new order, hygiene and services. The use of bluestone pitchers as the principal material to form this type of engineering infrastructure also demonstrates an early, and now rarely used construction technology and the excellence of traditional craftsmanship.

The Soldiers Hill Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;

The Precinct is recognized and highly valued by the local community for its early and ongoing residential, commercial, social, educational, and recreational associations. It is furthermore recognized and highly valued by the local community for its past industrial associations.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
201	Armstrong Street North	SOLDIERS HILL VIC 3350
204-206	Armstrong Street North	SOLDIERS HILL VIC 3350
302	Armstrong Street North	SOLDIERS HILL VIC 3350
306	Armstrong Street North	SOLDIERS HILL VIC 3350
313	Armstrong Street North	SOLDIERS HILL VIC 3350
317	Armstrong Street North	SOLDIERS HILL VIC 3350
319	Armstrong Street North	SOLDIERS HILL VIC 3350
406	Armstrong Street North (not including the front fence)	SOLDIERS HILL VIC 3350
407	Armstrong Street North	SOLDIERS HILL VIC 3350
409	Armstrong Street North	SOLDIERS HILL VIC 3350
409A	Armstrong Street North	SOLDIERS HILL VIC 3350
506	Armstrong Street North	SOLDIERS HILL VIC 3350
1/509	Armstrong Street North	SOLDIERS HILL VIC 3350
2/509	Armstrong Street North	SOLDIERS HILL VIC 3350
3/509	Armstrong Street North	SOLDIERS HILL VIC 3350
514	Armstrong Street North	SOLDIERS HILL VIC 3350
516	Armstrong Street North	SOLDIERS HILL VIC 3350
517	Armstrong Street North	SOLDIERS HILL VIC 3350
518	Armstrong Street North	SOLDIERS HILL VIC 3350
519	Armstrong Street North	SOLDIERS HILL VIC 3350
527	Armstrong Street North	SOLDIERS HILL VIC 3350
603	Armstrong Street North	SOLDIERS HILL VIC 3350
609	Armstrong Street North	SOLDIERS HILL VIC 3350
612	Armstrong Street North	SOLDIERS HILL VIC 3350
613	Armstrong Street North	SOLDIERS HILL VIC 3350
621	Armstrong Street North	SOLDIERS HILL VIC 3350
814A	Armstrong Street North	SOLDIERS HILL VIC 3350
815B	Armstrong Street North	SOLDIERS HILL VIC 3350
817	Armstrong Street North	SOLDIERS HILL VIC 3350
106	Brougham Street	SOLDIERS HILL VIC 3350
202	Brougham Street	SOLDIERS HILL VIC 3350
207	Brougham Street	SOLDIERS HILL VIC 3350
1	Chesterfield Court	SOLDIERS HILL VIC 3350
2	Chesterfield Court	SOLDIERS HILL VIC 3350
3	Chesterfield Court	SOLDIERS HILL VIC 3350
4	Chesterfield Court	SOLDIERS HILL VIC 3350
1/8	Chisholm Street	SOLDIERS HILL VIC 3350
2/8	Chisholm Street	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
3/8	Chisholm Street	SOLDIERS HILL VIC 3350
4/8	Chisholm Street	SOLDIERS HILL VIC 3350
5/8	Chisholm Street	SOLDIERS HILL VIC 3350
6/8	Chisholm Street	SOLDIERS HILL VIC 3350
9	Chisholm Street	SOLDIERS HILL VIC 3350
2/107	Chisholm Street	SOLDIERS HILL VIC 3350
201	Chisholm Street	SOLDIERS HILL VIC 3350
201	Chisholm Street	SOLDIERS HILL VIC 3350
1/204	Chisholm Street	SOLDIERS HILL VIC 3350
2/204	Chisholm Street	SOLDIERS HILL VIC 3350
3/204	Chisholm Street	SOLDIERS HILL VIC 3350
305	Chisholm Street	BLACK HILL VIC 3350
306	Chisholm Street	BLACK HILL VIC 3350
4	Clarendon Street	SOLDIERS HILL VIC 3350
7	Clarendon Street	SOLDIERS HILL VIC 3350
12	Clarendon Street	SOLDIERS HILL VIC 3350
203	Clarendon Street	SOLDIERS HILL VIC 3350
304A	Clarendon Street	SOLDIERS HILL VIC 3350
305	Clarendon Street	SOLDIERS HILL VIC 3350
408	Clarendon Street	SOLDIERS HILL VIC 3350
1/410	Clarendon Street	SOLDIERS HILL VIC 3350
2/410	Clarendon Street	SOLDIERS HILL VIC 3350
2	Clissold Street	BLACK HILL VIC 3350
4	Clissold Street	BLACK HILL VIC 3350
6	Clissold Street	BLACK HILL VIC 3350
8	Clissold Street	BLACK HILL VIC 3350
107	Clissold Street	BLACK HILL VIC 3350
113	Clyde Street	SOLDIERS HILL VIC 3350
1/121	Clyde Street	SOLDIERS HILL VIC 3350
2/121	Clyde Street	SOLDIERS HILL VIC 3350
128	Clyde Street	SOLDIERS HILL VIC 3350
205	Clyde Street	SOLDIERS HILL VIC 3350
208	Clyde Street	SOLDIERS HILL VIC 3350
209	Clyde Street	SOLDIERS HILL VIC 3350
212	Clyde Street	SOLDIERS HILL VIC 3350
218	Clyde Street	SOLDIERS HILL VIC 3350
307	Clyde Street	SOLDIERS HILL VIC 3350
20	Crompton Street	SOLDIERS HILL VIC 3350
116	Crompton Street	SOLDIERS HILL VIC 3350
201	Crompton Street	SOLDIERS HILL VIC 3350
1/204	Crompton Street	SOLDIERS HILL VIC 3350
2/204	Crompton Street	SOLDIERS HILL VIC 3350
3/204	Crompton Street	SOLDIERS HILL VIC 3350
4/204	Crompton Street	SOLDIERS HILL VIC 3350
5/204	Crompton Street	SOLDIERS HILL VIC 3350
6/204	Crompton Street	SOLDIERS HILL VIC 3350
208	Doveton Crescent	SOLDIERS HILL VIC 3350
1/612	Doveton Street North	SOLDIERS HILL VIC 3350
2/612	Doveton Street North	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
3/612	Doveton Street North	SOLDIERS HILL VIC 3350
32	Doveton Street North	BALLARAT CENTRAL VIC 3350
227	Doveton Street North	SOLDIERS HILL VIC 3350
303	Doveton Street North	SOLDIERS HILL VIC 3350
503	Doveton Street North	SOLDIERS HILL VIC 3350
504	Doveton Street North	SOLDIERS HILL VIC 3350
509	Doveton Street North	SOLDIERS HILL VIC 3350
513	Doveton Street North	SOLDIERS HILL VIC 3350
514	Doveton Street North	SOLDIERS HILL VIC 3350
516	Doveton Street North	SOLDIERS HILL VIC 3350
519	Doveton Street North	SOLDIERS HILL VIC 3350
525	Doveton Street North	SOLDIERS HILL VIC 3350
601A	Doveton Street North	SOLDIERS HILL VIC 3350
1/618	Doveton Street North	SOLDIERS HILL VIC 3350
2/618	Doveton Street North	SOLDIERS HILL VIC 3350
3/618	Doveton Street North	SOLDIERS HILL VIC 3350
619	Doveton Street North	SOLDIERS HILL VIC 3350
1/620	Doveton Street North	SOLDIERS HILL VIC 3350
2/620	Doveton Street North	SOLDIERS HILL VIC 3350
3/620	Doveton Street North	SOLDIERS HILL VIC 3350
621	Doveton Street North	SOLDIERS HILL VIC 3350
622	Doveton Street North	SOLDIERS HILL VIC 3350
623	Doveton Street North	SOLDIERS HILL VIC 3350
632	Doveton Street North	SOLDIERS HILL VIC 3350
711	Doveton Street North	SOLDIERS HILL VIC 3350
713	Doveton Street North	SOLDIERS HILL VIC 3350
1/802	Doveton Street North	SOLDIERS HILL VIC 3350
2/802	Doveton Street North	SOLDIERS HILL VIC 3350
3/802	Doveton Street North	SOLDIERS HILL VIC 3350
813	Doveton Street North	SOLDIERS HILL VIC 3350
815	Doveton Street North	SOLDIERS HILL VIC 3350
207	Gregory Street	SOLDIERS HILL VIC 3350
209	Gregory Street	SOLDIERS HILL VIC 3350
210	Gregory Street	SOLDIERS HILL VIC 3350
212	Gregory Street	SOLDIERS HILL VIC 3350
214	Gregory Street	SOLDIERS HILL VIC 3350
218	Gregory Street	SOLDIERS HILL VIC 3350
1/501	Gregory Street	SOLDIERS HILL VIC 3350
2/501	Gregory Street	SOLDIERS HILL VIC 3350
3/501	Gregory Street	SOLDIERS HILL VIC 3350
4/501	Gregory Street	SOLDIERS HILL VIC 3350
507	Gregory Street	SOLDIERS HILL VIC 3350
4	Havelock Street	BALLARAT EAST VIC 3350
10	Havelock Street	BLACK HILL VIC 3350
201A	Havelock Street	SOLDIERS HILL VIC 3350
209	Havelock Street	SOLDIERS HILL VIC 3350
211	Havelock Street	SOLDIERS HILL VIC 3350
211A	Havelock Street	SOLDIERS HILL VIC 3350
211B	Havelock Street	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
215	Havelock Street	SOLDIERS HILL VIC 3350
300	Havelock Street	BLACK HILL VIC 3350
1/301	Havelock Street	SOLDIERS HILL VIC 3350
2/301	Havelock Street	SOLDIERS HILL VIC 3350
3/301	Havelock Street	SOLDIERS HILL VIC 3350
4/301	Havelock Street	SOLDIERS HILL VIC 3350
303	Havelock Street	SOLDIERS HILL VIC 3350
306	Havelock Street	BLACK HILL VIC 3350
406	Havelock Street	BLACK HILL VIC 3350
411	Havelock Street	SOLDIERS HILL VIC 3350
415	Havelock Street	SOLDIERS HILL VIC 3350
1/417	Havelock Street	SOLDIERS HILL VIC 3350
2/417	Havelock Street	SOLDIERS HILL VIC 3350
3/417	Havelock Street	SOLDIERS HILL VIC 3350
4/417	Havelock Street	SOLDIERS HILL VIC 3350
501	Havelock Street	SOLDIERS HILL VIC 3350
505	Havelock Street	SOLDIERS HILL VIC 3350
510	Havelock Street	BLACK HILL VIC 3350
511B	Havelock Street	SOLDIERS HILL VIC 3350
511A	Havelock Street	SOLDIERS HILL VIC 3350
513	Havelock Street	SOLDIERS HILL VIC 3350
517	Havelock Street	SOLDIERS HILL VIC 3350
518	Havelock Street	BLACK HILL VIC 3350
602A	Havelock Street	BLACK HILL VIC 3350
616	Havelock Street	SOLDIERS HILL VIC 3350
618	Havelock Street	BLACK HILL VIC 3350
701	Havelock Street	SOLDIERS HILL VIC 3350
1	Howard Street	SOLDIERS HILL VIC 3350
1A	Howard Street	SOLDIERS HILL VIC 3350
4A	Howard Street	SOLDIERS HILL VIC 3350
4	Howard Street	SOLDIERS HILL VIC 3350
101	Howard Street	SOLDIERS HILL VIC 3350
102	Howard Street	SOLDIERS HILL VIC 3350
105	Howard Street	SOLDIERS HILL VIC 3350
106	Howard Street	SOLDIERS HILL VIC 3350
204	Howard Street	SOLDIERS HILL VIC 3350
208	Howard Street	SOLDIERS HILL VIC 3350
304	Howard Street	SOLDIERS HILL VIC 3350
1/305	Howard Street	SOLDIERS HILL VIC 3350
2/305	Howard Street	SOLDIERS HILL VIC 3350
3/305	Howard Street	SOLDIERS HILL VIC 3350
402A	Howard Street	SOLDIERS HILL VIC 3350
404	Howard Street	SOLDIERS HILL VIC 3350
405	Howard Street	SOLDIERS HILL VIC 3350
407	Howard Street	SOLDIERS HILL VIC 3350
502	Howard Street	SOLDIERS HILL VIC 3350
508	Howard Street	SOLDIERS HILL VIC 3350
601	Howard Street	SOLDIERS HILL VIC 3350
603	Howard Street	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
606	Howard Street	SOLDIERS HILL VIC 3350
704A	Howard Street	SOLDIERS HILL VIC 3350
707	Howard Street	SOLDIERS HILL VIC 3350
207	Ligar Street	SOLDIERS HILL VIC 3350
208	Ligar Street	SOLDIERS HILL VIC 3350
212	Ligar Street	SOLDIERS HILL VIC 3350
215	Ligar Street	SOLDIERS HILL VIC 3350
330	Ligar Street	SOLDIERS HILL VIC 3350
403	Ligar Street	SOLDIERS HILL VIC 3350
415	Ligar Street	SOLDIERS HILL VIC 3350
422	Ligar Street	SOLDIERS HILL VIC 3350
1/430	Ligar Street	SOLDIERS HILL VIC 3350
2/430	Ligar Street	SOLDIERS HILL VIC 3350
3/430	Ligar Street	SOLDIERS HILL VIC 3350
4/430	Ligar Street	SOLDIERS HILL VIC 3350
506A	Ligar Street	SOLDIERS HILL VIC 3350
510	Ligar Street	SOLDIERS HILL VIC 3350
511	Ligar Street	SOLDIERS HILL VIC 3350
1/513	Ligar Street	SOLDIERS HILL VIC 3350
2/513	Ligar Street	SOLDIERS HILL VIC 3350
3/513	Ligar Street	SOLDIERS HILL VIC 3350
518	Ligar Street	SOLDIERS HILL VIC 3350
602	Ligar Street	SOLDIERS HILL VIC 3350
614	Ligar Street	SOLDIERS HILL VIC 3350
618	Ligar Street	SOLDIERS HILL VIC 3350
801A	Ligar Street	SOLDIERS HILL VIC 3350
10	Little Clyde Street	SOLDIERS HILL VIC 3350
2/11	Little Clyde Street	SOLDIERS HILL VIC 3350
3/11	Little Clyde Street	SOLDIERS HILL VIC 3350
21	Little Clyde Street	SOLDIERS HILL VIC 3350
31	Little Clyde Street	SOLDIERS HILL VIC 3350
37	Little Clyde Street	SOLDIERS HILL VIC 3350
37A	Little Clyde Street	SOLDIERS HILL VIC 3350
201	Lydiard Street North	SOLDIERS HILL VIC 3350
308	Lydiard Street North	SOLDIERS HILL VIC 3350
313	Lydiard Street North	SOLDIERS HILL VIC 3350
325	Lydiard Street North	SOLDIERS HILL VIC 3350
406	Lydiard Street North	SOLDIERS HILL VIC 3350
412B	Lydiard Street North	SOLDIERS HILL VIC 3350
425	Lydiard Street North	SOLDIERS HILL VIC 3350
1/502	Lydiard Street North	SOLDIERS HILL VIC 3350
2/502	Lydiard Street North	SOLDIERS HILL VIC 3350
3/502	Lydiard Street North	SOLDIERS HILL VIC 3350
4/502	Lydiard Street North	SOLDIERS HILL VIC 3350
5/502	Lydiard Street North	SOLDIERS HILL VIC 3350
1/503	Lydiard Street North	SOLDIERS HILL VIC 3350
2/503	Lydiard Street North	SOLDIERS HILL VIC 3350
3/503	Lydiard Street North	SOLDIERS HILL VIC 3350
4/503	Lydiard Street North	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1/504	Lydiard Street North	SOLDIERS HILL VIC 3350
2/504	Lydiard Street North	SOLDIERS HILL VIC 3350
3/504	Lydiard Street North	SOLDIERS HILL VIC 3350
601	Lydiard Street North	SOLDIERS HILL VIC 3350
604	Lydiard Street North	SOLDIERS HILL VIC 3350
604A	Lydiard Street North	BALLARAT CENTRAL VIC 3350
1/606	Lydiard Street North	SOLDIERS HILL VIC 3350
2/606A	Lydiard Street North	SOLDIERS HILL VIC 3350
3/606B	Lydiard Street North	SOLDIERS HILL VIC 3350
4/606C	Lydiard Street North	SOLDIERS HILL VIC 3350
608	Lydiard Street North	SOLDIERS HILL VIC 3350
624	Lydiard Street North	SOLDIERS HILL VIC 3350
626	Lydiard Street North	SOLDIERS HILL VIC 3350
706	Lydiard Street North	SOLDIERS HILL VIC 3350
805	Lydiard Street North	SOLDIERS HILL VIC 3350
807	Lydiard Street North	SOLDIERS HILL VIC 3350
808	Lydiard Street North	SOLDIERS HILL VIC 3350
810	Lydiard Street North	SOLDIERS HILL VIC 3350
812	Lydiard Street North	SOLDIERS HILL VIC 3350
812A	Lydiard Street North	SOLDIERS HILL VIC 3350
3	Macarthur Street	SOLDIERS HILL VIC 3350
4	Macarthur Street	SOLDIERS HILL VIC 3350
110	Macarthur Street	SOLDIERS HILL VIC 3350
1/408	Macarthur Street	SOLDIERS HILL VIC 3350
2/408	Macarthur Street	SOLDIERS HILL VIC 3350
414	Macarthur Street	SOLDIERS HILL VIC 3350
2	Napier Street	BLACK HILL VIC 3350
9	Napier Street	BLACK HILL VIC 3350
13	Napier Street	BLACK HILL VIC 3350
14	Napier Street	BLACK HILL VIC 3350
16	Napier Street	BLACK HILL VIC 3350
16A	Napier Street	BLACK HILL VIC 3350
201	Neill Street	SOLDIERS HILL VIC 3350
203	Neill Street	SOLDIERS HILL VIC 3350
205	Neill Street	SOLDIERS HILL VIC 3350
207	Neill Street	SOLDIERS HILL VIC 3350
208	Neill Street	SOLDIERS HILL VIC 3350
210	Neill Street	SOLDIERS HILL VIC 3350
212	Neill Street	SOLDIERS HILL VIC 3350
1/301	Neill Street	SOLDIERS HILL VIC 3350
2/301	Neill Street	SOLDIERS HILL VIC 3350
3/301	Neill Street	SOLDIERS HILL VIC 3350
314-316	Neill Street	SOLDIERS HILL VIC 3350
412	Neill Street	SOLDIERS HILL VIC 3350
415	Neill Street	SOLDIERS HILL VIC 3350
416	Neill Street	SOLDIERS HILL VIC 3350
418	Neill Street	SOLDIERS HILL VIC 3350
420	Neill Street	SOLDIERS HILL VIC 3350
422	Neill Street	SOLDIERS HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
424	Neill Street	SOLDIERS HILL VIC 3350
426	Neill Street	SOLDIERS HILL VIC 3350
428	Neill Street	SOLDIERS HILL VIC 3350
430	Neill Street	SOLDIERS HILL VIC 3350
432	Neill Street	SOLDIERS HILL VIC 3350
507	Neill Street	SOLDIERS HILL VIC 3350
512	Neill Street	SOLDIERS HILL VIC 3350
516	Neill Street	SOLDIERS HILL VIC 3350
518	Neill Street	SOLDIERS HILL VIC 3350
607	Neill Street	SOLDIERS HILL VIC 3350
609	Neill Street	SOLDIERS HILL VIC 3350
1/611	Neill Street	SOLDIERS HILL VIC 3350
2/611	Neill Street	SOLDIERS HILL VIC 3350
3/611	Neill Street	SOLDIERS HILL VIC 3350
616	Neill Street	SOLDIERS HILL VIC 3350
618	Neill Street	SOLDIERS HILL VIC 3350
618A	Neill Street	SOLDIERS HILL VIC 3350
1/619	Neill Street	SOLDIERS HILL VIC 3350
2/619	Neill Street	SOLDIERS HILL VIC 3350
3/619	Neill Street	SOLDIERS HILL VIC 3350
4/619	Neill Street	SOLDIERS HILL VIC 3350
5/619	Neill Street	SOLDIERS HILL VIC 3350
704A	Neill Street	SOLDIERS HILL VIC 3350
309	Nicholson Street	BLACK HILL VIC 3350
310	Nicholson Street	BLACK HILL VIC 3350
315	Nicholson Street	BLACK HILL VIC 3350
318	Nicholson Street	BLACK HILL VIC 3350
321	Nicholson Street	BLACK HILL VIC 3350
403	Nicholson Street	BLACK HILL VIC 3350
414-418	Nicholson Street	BLACK HILL VIC 3350
420	Nicholson Street	BLACK HILL VIC 3350
422	Nicholson Street	BLACK HILL VIC 3350
424	Nicholson Street	BLACK HILL VIC 3350
304	Peel Street North	BLACK HILL VIC 3350
305	Peel Street North	BLACK HILL VIC 3350
1/312	Peel Street North	BLACK HILL VIC 3350
2/312	Peel Street North	BLACK HILL VIC 3350
3/312	Peel Street North	BLACK HILL VIC 3350
1/314	Peel Street North	BLACK HILL VIC 3350
2/314	Peel Street North	BLACK HILL VIC 3350
1/324-326	Peel Street North	BLACK HILL VIC 3350
2/324-326	Peel Street North	BLACK HILL VIC 3350
3/324-326	Peel Street North	BLACK HILL VIC 3350
4/324-326	Peel Street North	BLACK HILL VIC 3350
5/324-326	Peel Street North	BLACK HILL VIC 3350
6/324-326	Peel Street North	BLACK HILL VIC 3350
330	Peel Street North	BLACK HILL VIC 3350
406	Peel Street North	BLACK HILL VIC 3350
409	Peel Street North	BLACK HILL VIC 3350

HO 170 SOLDIERS HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
415	Peel Street North	BLACK HILL VIC 3350
1/416	Peel Street North	BLACK HILL VIC 3350
2/416	Peel Street North	BLACK HILL VIC 3350
3/416	Peel Street North	BLACK HILL VIC 3350
4/416	Peel Street North	BLACK HILL VIC 3350
417	Peel Street North	BLACK HILL VIC 3350
418	Peel Street North	BLACK HILL VIC 3350
422	Peel Street North	BLACK HILL VIC 3350
502	Peel Street North	BLACK HILL VIC 3350
506	Peel Street North	BLACK HILL VIC 3350
509	Peel Street North	BLACK HILL VIC 3350
511	Peel Street North	BLACK HILL VIC 3350
27B	Rowe Street	BLACK HILL VIC 3350
33	Rowe Street	BLACK HILL VIC 3350
60	Rowe Street	BLACK HILL VIC 3350
7	Seymour Crescent	SOLDIERS HILL VIC 3350
9	Seymour Crescent	SOLDIERS HILL VIC 3350
12	Seymour Crescent	SOLDIERS HILL VIC 3350
102	Seymour Street	SOLDIERS HILL VIC 3350
104	Seymour Street	SOLDIERS HILL VIC 3350
106	Seymour Street	SOLDIERS HILL VIC 3350
201	Seymour Street	SOLDIERS HILL VIC 3350
203	Seymour Street	SOLDIERS HILL VIC 3350
205	Seymour Street	SOLDIERS HILL VIC 3350
207	Seymour Street	SOLDIERS HILL VIC 3350
209	Seymour Street	SOLDIERS HILL VIC 3350
1/408	Seymour Street	SOLDIERS HILL VIC 3350
2/408	Seymour Street	SOLDIERS HILL VIC 3350

LYDIARD STREET HERITAGE PRECINCT

Description / Precinct Boundaries

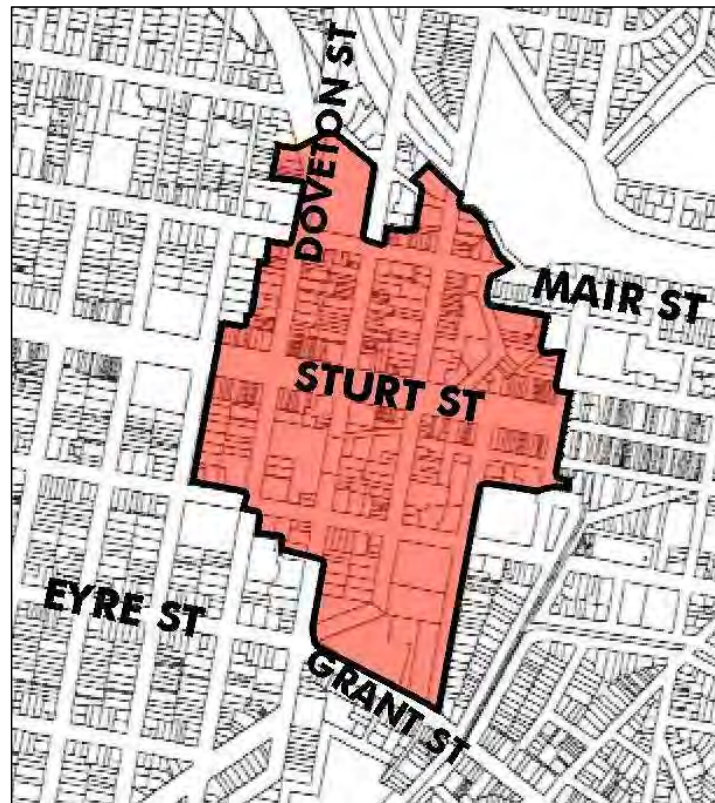


Figure 10 Lydiard Street Heritage Precinct Map, shown as "I" on the Proposed Ballarat Urban Heritage Precincts Map

The Lydiard Street Precinct is dissected by Sturt Street running east / west from Dawson Street to the Bridge Mall and Lydiard Street north / south from the railway to Grant Street. The northern boundary follows Market Street and turns southwards at Armstrong Street to include properties on the northern side fronting Mair Street and both sides of Lydiard Street to the railway area. It then returns south crossing Mair Street to include Camp Street then east along Field Street, south along Cattan Street and along the property boundary east to Grenville Street. The eastern boundary follows Grenville Street to Little Bridge Street where it aligns with the rear of the properties fronting Lewis Street to Albert Street. The southern boundary is formed by Grant Street between Albert and Armstrong Streets and then along property boundaries until Dana Street to Doveton Street. The western boundary extends along Dawson Street and includes buildings fronting Sturt Street to Dawson Street, and Doveton Street to Mair Street.

The Lydiard Street precinct is of state significance.

The precinct was first surveyed by the government surveyor William Urquart, who laid out the city centre on the plateau using a four-block grid pattern. In that plan, Lydiard and Armstrong Streets were main thoroughfares and Mair, Dana and Sturt Streets were cross streets. The survey did not extend east beyond Lydiard Street being the site of the government camp. The camp was the administrative centre established to keep order on the goldfields and was strategically located at the edge of the township where it had views across the diggings.

The precinct includes Ballarat's significant civic, institutional, religious and commercial buildings and monuments. The collection of buildings reflects the wealth that the 1851 gold discoveries brought to Ballarat influenced by the Anglo Saxon immigrants who diversified into other occupations following the gold rush.

Buildings and features in the precinct show the features associated with the civic and commercial development of the area from the 1850's. Notable contemporary architects, such as Casselli & Figgis and Leonard Terry designed many of the civic and commercial buildings. The significant and contributory buildings are predominantly Victorian, Federation, Edwardian and Inter War styles and feature ornate detailing, verandahs and intact interiors and exteriors.

Subdivision of parts of the government camp in the late to mid 1880's was followed by the construction of 'boom style' architecture on the new lots which included the Ballarat Fine Art Gallery, the Old Colonialists Hall, the Mining Exchange, the Ballarat Commercial Club and Bones Buildings. Together with the Post Office and the Victorian buildings on the west side of Lydiard Street, this group of buildings created a distinctive 'boom style' streetscape.

The opening of the railway line attracted hospitality businesses and warehouses to Lydiard Street north, while Lydiard Street South became the focus for the legal and financial businesses. The oldest operating theatre in mainland Australia, Her Majesty's theatre is a substantial presence in Lydiard Street south. Substantial churches were established at the corner of Dana and Lydiard Streets and added to the importance of Lydiard Street.

The character of Sturt Street was being defined in the 1860's with the development of the dual carriageway divided by a mudbank, later planted with shrubs and trees known as the Camp Street gardens. The central median strip provided a civic space for structures, monuments and memorials.

Sturt Street originally housed timber buildings but by the 1870's these were replaced by brick shops. Other significant commercial and institutional buildings include the Town Hall, the Myer building and Golden City Hotel.

Key features of the precinct include the retention of the original street grid pattern, the topographical setting of the escarpment, the gracious boulevard of Sturt Street, and significant landmarks. Also included are the intact bluestone kerbs and gutters and remnants of cobblestone paved lanes, two areas of original street paving of large bluestone flagstones, a retained section of tramlines and timber block paving along the north edge of the median strip in Sturt Street near the corner of Armstrong Street, an early cast iron post box in Lydiard Street.

LYDIARD STREET HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Lydiard Street Heritage Precinct is **architecturally and aesthetically** significant at a **STATE** level (AHC criteria D.2, E.1 and F).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments;
(e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;
(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Precinct is aesthetically and architecturally significant as an outstanding example of 19th century provincial city centre representing the development of modern urbanism, initiated by the 1850s gold rush in rural Victoria. As a model of a mid 19th century classical European city it is an excellent testament of European colony planning where urban design and perspective views were adapted to the local context and can be appreciated in all its magnitude. The natural physical framework along with the built is used as a theatrical backdrop with rectilinear streets lined by buildings of similar neo-classical facades and similar heights that define the socio- political functions and cultural centre of Ballarat.

The historic urban development and character of the Precinct is architecturally important to Ballarat, as the first large goldfields town surveyed by W.S. Urquhart, which is regarded as his most successful in Victoria. The primary focus of the British Colonial Office was the design and layout of streets as well as provision of law and order on the goldfields, with local private capital generated by the gold fields financing the buildings.

The Precinct is aesthetically and architecturally significant as an excellent model representing 19th century neo-classical town planning based on a new order, hygiene and services that sharply distinguishes it from East Ballarat. The absolute regularity of the grid street pattern gives way dramatically in the east to a basalt escarpment, which overlooks the former chaotic gold mining area along Yarrowee Creek and East Ballarat. The juxtaposition between order and chaos is further reinforced by the street names which were all named after Police Commissioners and Officers of the Native Police controlling the goldfields and comprise the following, Sturt (Commandant of the Melbourne City Police), Lydiard (Officer Lydiard of the Native Police from Goulburn area, later full Commissioner), Dana (Captain Dana of the Native Police), Mair (Melbourne Police Magistrate and Inspector of Police), Doveton (Commissioner Doveton), Armstrong (Assistant to Commissioner Doveton).

The creation of the Precinct between 1850 and 1880s is particularly significant as it coincided with the early boom of the gold fields and because the legacy of mid 19th century historic street pattern, urban fabric and buildings have retained their authenticity and integrity to a high degree, in terms of the historic architecture and types of function. The historic area is one of a few examples of this type in Australia where the early collection of grand buildings and infrastructure are well protected and well managed. Although the Precinct has been subject to urban growth which still continues, the urban fabric has been extended on the same pattern as the first plan and the historic core has not been subject to drastic transformations.

Ballarat architecture in Lydiard and Sturt Streets represented its *éclat*, its style. The architecture best symbolized the *belle époque* of the gold mining boom, it was initiated by the wealth generated from the alluvial and deep leads and sustained by the growth of quartz gold mining from the late 1850s. This was emphasized by major landmark buildings that defined the focal point of the major intersections of the grids.

The economic success of the town allowed for the development of a city that responded to the social aspirations of a rising middle class and serviced the needs of the mining industry. The success of a unifying aesthetic ideal derived from overseas 19th century and early 20th century architectural and planning ideas adapted to a provincial Australian model is evidenced by the remarkable collection of landmark neo-classical building styles in the precinct which collectively contribute to a visually unified streetscape of great classical beauty.

The early construction of opulent buildings in Lydiard Street was due to the specific characteristics of the Ballarat gold fields. It was the discovery of gold at Ballarat in 1851 that resulted in Victoria's gold boom. Ballarat was recognized as probably the richest alluvial goldfields in the world at its peak between 1852 and 53. Unlike the great alluvial goldfield at Mt Alexander, Castlemaine, Ballarat was a unique field. It had both surface alluvial, deep lead and quartz mining that led to a more permanent stable population than most other mining areas, where the rise of syndicates and companies became common. It also led to increased tension between government authorities and miners which after the Eureka Rebellion in 1854, provided for the development of new courts of mines and mining legislation that underpins mining activities throughout Australia today. It also paved the way for rapid and orderly growth of capitalist mining and accumulation of vast wealth.

The Precinct is also architecturally and historically significant for its associational links with the development of mining law related to underground mining practices. The many disputed claims in the area gave rise to a substantial growth in legal chambers and fine architectural buildings that lined Lydiard Street by 1860s. A gaol (1857) and Supreme Court (1868) were built in Lydiard Street South and the area became the centre of legal and business offices and many buildings still house these functions today. A Church Precinct at the corner of Lydiard and Dana Streets contributed to the importance of this area of Lydiard Street and creates a spectacular backdrop to the centre city.

The Precinct is also architecturally and historically significant for its group of six outstanding neo-classical banks in Lydiard Street designed by notable Melbourne architect Leonard Terry in the 1860s, clustered around the corner of Lydiard and Sturt Streets. These include from the northern corner the former Bank of Australasia, the National Bank, former Colonial Bank of Australasia and the Bank of New South Wales which were all built in a row. On the southern corner, the London Chartered Bank and the nearby Union Bank buildings continued the theme. It is also the site of the Mining Exchange (1887-89) which replaced an earlier exchange located near the south-west corner of Sturt and Lydiard Streets. The earlier exchange building (now the library of the Ballarat Mechanic's Institute) had been the scene for broker's offices, major transactions, and where the disclosure of important gold discoveries were made.

In the early 1860s the Government Camp (the site of the former Gold Commissioners Police Camp in Camp Street) was subdivided and other uses were located there. These include, the Market Reserve, Ballarat Free Library and Reading Rooms Reserve and Benevolent Asylum Reserve. Between 1891 and 1925 these Reserves were redeveloped along Sturt and Camp Streets with shops dating 1895 – 1901 on

the corner of the streets, and a Library (1895- 1901). However the former function of area was reinstated when the Police Court (1903-4) and new State Government Offices and Courthouse were erected in Camp Street in 1941. The Chief Government Architect, Percy Everett, designed a building which became a “*dramatic new element in the street.*” The Police Station (1961) was the only new building built in the Camp Street area in the post World War II period.

Further subdivision of the Government Camp site in the mid to late 1880s was followed by the construction of five boom-style buildings including the Ballarat Commercial Club (later the Alexandra Tearooms, 26-34 Lydiard Street), Bones Building, the Ballarat Fine Art Gallery, Old Colonists’ Hall and the Mining Exchange, all with frontages along Lydiard Street. These buildings along with the Post Office (begun 1864) on the corner of Sturt and Lydiard Streets and the Victorian buildings on the west side of Lydiard Street, formed a distinctive ‘boom style’ streetscape. Imposing buildings such as the Chamber of Commerce (1859), the Ballarat Mechanic’s institute (commenced 1860) and Post Office (commenced 1864) were early additions to Sturt Street. By the 1870s timber shops had been replaced by brick shops. By the 1860s the boulevard character of Sturt Street was being defined with the development of a dual carriageway.

Around 1862, the northern end of Lydiard Street became the focus of a specific type of buildings which addressed the needs of the new railway station and the grand neo-classical styled Railway Hall. Two two-storey bluestone warehouses were built on the corner sites for Lister and Angel and McDowall and Gray close to the railway and at the north end of Lydiard Street other warehouses concentrated with premises such as Holmes, White & Co and merchant Robert Dunn both built in 1862. Hotels already established in the area included the George in 1852 and William Irwin’s Provincial Hotel in 1863, later relocated and rebuilt nearby others include the Alexandra Tea Rooms and Reid’s Coffee Palace. The Craig’s Hotel was established in 1852 in Lydiard Street South. Between 1865 and 1890 the sites were developed into a “*series of distinctive two-storey commercial and civic buildings.*”

The Precinct is architecturally significant for the outstanding collection of 19th century civic and commercial buildings associated with the commercial life of Ballarat. These include, the City of Ballarat Town Hall, the Myer Building and the Golden City Hotel in Sturt Street, the William Booth Citadel in Albert Street, South British Insurance Company on the corner of Dana and Armstrong Streets, The Ballarat Club, the former Ballarat Brewery building in Dana Street, Electra Hall, the Trades Hall and the YMCA building in Camp Street, The former Gas Company building, Ballarat Water Board Office, Manchester Unity Hall and Protestant Hall in Grenville Street. A late development to the Lydiard Street and Sturt Street corner was the 1905 National Mutual Building designed by J.J. and E.J. Clarke Architects of Melbourne. The most notable buildings in the block between Sturt and Dana Street are Her Majesty’s Theatre, which is the oldest operating theatre in mainland Australia and Craig’s Royal Hotel. The office buildings in this block include Counsel Chambers, Booths Buildings, Chancery house, and buildings located at 50, 54 and 56 Lydiard Street South.

The lower part of Sturt Street includes the former Union and Unicorn Hotels, the Camp Hotel, Edinburgh Buildings, the blue tile faced commercial premises at 23 Sturt Street and the Australian Natives Association building which has a parapet decorated with a Kangaroo and Emu.

The Precinct is architecturally significant for its high quality of substantially intact buildings with examples by notable contemporary architects from all periods ranging from 1860s-1950s. It demonstrates many original and early architectural design

qualities associated with the civic and commercial development of the area from the 1850s. The main building characteristics include a solid masonry form of usually stone or ashlar render, similar heights and scale, Italianate detailing and other strongly related elements which constituted a single “composition.” This together with a commonly held aesthetic ideal, where the hierarchy of decoration and ornaments, columns, cornices, framing of windows and sculpted motifs delineated spatial composition, contributed to the unity of a monumental streetscape. The predominantly symmetrical design of Renaissance Revival Victorian and Beaux Arts Edwardian architecture with elaborately ornate street verandahs, tree lined avenues, asphalt footpaths and 19th century engineering infrastructure have created an historic centre of great unity and visual coherence.

The Precinct has aesthetic significance for its outstanding visual qualities of its setting, urban layout and architecture. The important visual qualities reflect the historical, cultural and architectural development of the precinct, and contribute to the contextual setting of Ballarat.

The qualities include the urban foci, notably many prominent and larger civic buildings, the dramatic topographical setting on the escarpment, intact Victorian streetscapes, the grid street pattern and gracious boulevard of Sturt Street. The important visual qualities of the Precinct are also enhanced by the street landscape design and layout that has contributed to the appearance of a gracious provincial City.

The Lydiard Street Precinct is **historically** significant at a **LOCAL** level (AHC criterion A, A4, Band H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a.4) the importance for association with events, developments or cultural phases which have had a significant role in the human occupation and evolution of the nation, State, region or community;*
- (b) the place's possession of uncommon, rare or endangered aspects of Australia's cultural history;*
- (h) the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.*

The Precinct was surveyed by the colonial Government Surveyor W.S.Urquhart in late 1851 and is an excellent example of the lasting influence of his work.

The Precinct is historically important for its association with the discovery of gold in the early 1850s. The alluvial rushes in Victoria commenced in August 1851 in the Ballarat area and were of major national and international significance. The Precinct is significant as the site of the Gold Commissioners Camp and the activities of the Native Police, the first police force on the goldfields. It provides the historical context and setting for Eureka Stockade rebellion in 1854 which was an outstanding event in Australia. The Eureka Rebellion as an historical event and the associated rebel miners' Southern Cross flag, have become symbols for democracy in Australia. The original Southern Cross flag is held in the Ballarat Fine Art Gallery located in the Precinct. The area is significant because of its potential to yield archaeological evidence of underground deposits or artifacts associated with the Government Camp.

The Precinct is historically important for its major contribution to the unified character of Ballarat's urban design that still retains the harmony of its foundation years. It has historic significance for its association with a number of significant activities that links together some of the main themes in the historical, social and architectural development of Ballarat.

The Precinct is associated with the early settlement of the area from squatters, demonstrated by the original use of Sturt Street, the formal layout of a township in the 1850s to the development of a municipality. Many of the individual civic buildings in the Precinct are designed by notable contemporary architects, and have associations with notable Ballarat citizens from the 1850s beyond.

The Lydiard Street Precinct is **scientifically** significant at a **LOCAL** level (AHC criterion C.2 and F).

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history;

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Precinct is of importance for contributing to the history of infrastructure development in Ballarat West, identified by intact bluestone kerbs and gutters.

The Lydiard Street Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognized and highly valued by the wider community for civic, commercial and religious reasons. The Precinct is culturally important as it demonstrates the particular social structure of Ballarat during the 19th century which was conducive to a universally admired aesthetic.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 171 LYDIARD STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
	Phoenix Foundry Mall	BALLARAT CENTRAL VIC 3350
104	Armstrong Street South	BALLARAT CENTRAL VIC 3350
5	Doveton Street North	BALLARAT CENTRAL VIC 3350
5A	Doveton Street North	BALLARAT CENTRAL VIC 3350
5B	Doveton Street North	BALLARAT CENTRAL VIC 3350
19	Doveton Street North	BALLARAT CENTRAL VIC 3350
25	Doveton Street South	BALLARAT CENTRAL VIC 3350
305	Dana Street	BALLARAT CENTRAL VIC 3350
406-408	Dana Street	BALLARAT CENTRAL VIC 3350
43	Lydiard Street North	BALLARAT CENTRAL VIC 3350
8	Mair Street (excepting the bluestone retaining wall at south east corner of the property abutting Mair Street)	BALLARAT CENTRAL VIC 3350
37	Mair Street	BALLARAT CENTRAL VIC 3350
43	Mair Street	BALLARAT CENTRAL VIC 3350
401	Mair Street	BALLARAT CENTRAL VIC 3350
308	Sturt Street	BALLARAT CENTRAL VIC 3350
310	Sturt Street	BALLARAT CENTRAL VIC 3350
312	Sturt Street	BALLARAT CENTRAL VIC 3350
329	Sturt Street	BALLARAT CENTRAL VIC 3350
3/315	Sturt Street	BALLARAT CENTRAL VIC 3350
302-306	Sturt Street	BALLARAT CENTRAL VIC 3350
401	Sturt Street	BALLARAT CENTRAL VIC 3350
403A	Sturt Street	BALLARAT CENTRAL VIC 3350
403B	Sturt Street	BALLARAT CENTRAL VIC 3350
405	Sturt Street	BALLARAT CENTRAL VIC 3350
405A	Sturt Street	BALLARAT CENTRAL VIC 3350

CREEKS AND RIVER CHANNELS HERITAGE PRECINCT

Description / Precinct Boundaries

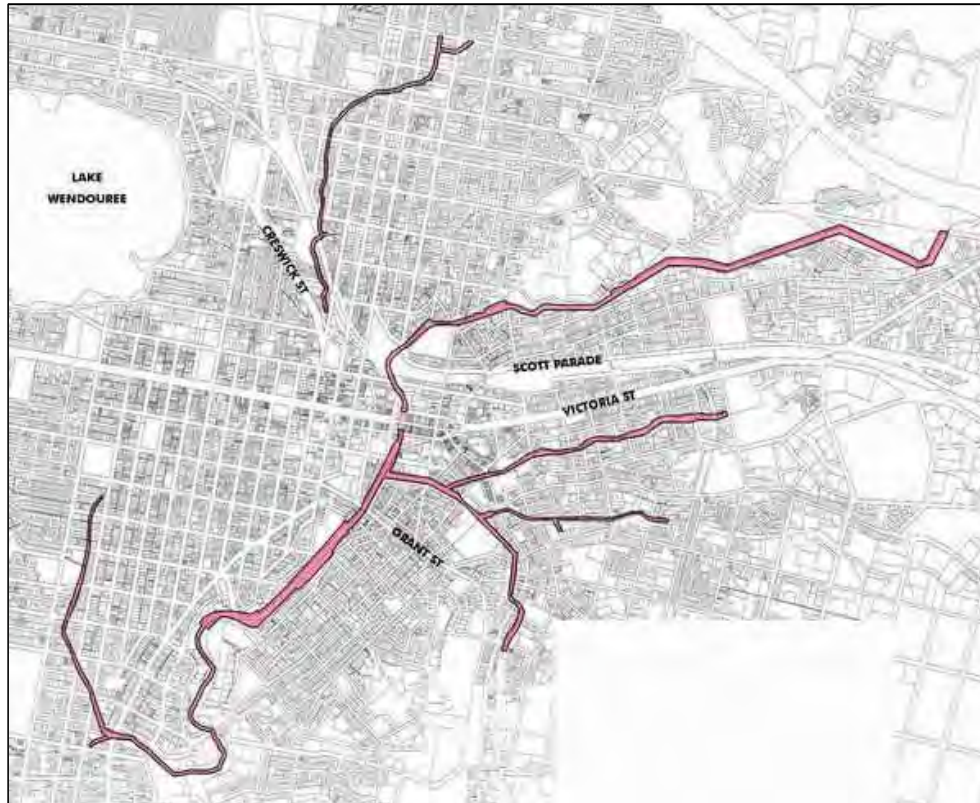


Figure 11 Creeks and River Channels Heritage Precinct Map, shown as “J” on the Proposed Ballarat Urban Heritage Precincts Map

The Creek and River Channels Precinct is characterised by an important and extensive network of timber, bluestone, brick, and concrete lined channels, along with associated bluestone and brick culverts, associated bridges with wrought iron or steel lattice girder balustrades and bluestone abutments, wing walls, piers and parapets, associated early concrete or steel lattice girder footbridges, and the notable brick ventilation shaft at the intersection of Creswick Road and Doveton Street North.

The built form of the channels and associated structures today is the result of extensive engineering works undertaken throughout the mid to late 1800s and into the 1900s, which resulted in the permanent lining of the Yarrowee and its main tributaries (the Canadian Creek, Gnarr Creek, Redan Creek, Specimen Vale Creek and the waterway along Warrenheip Gully) within the Ballarat city area.

The first gold discoveries in the area centred on the Yarrowee and its tributaries. Initially, the formation of timber lined channels was needed to repair the considerable damage done in the early years to the natural drainage lines of the waterways, and also facilitate a flow of water to the gold diggings (and remove the build-up of

sludge), as well as to try and decrease the impact of floods to the buildings erected along these watercourses as parts of Ballarat became more than a tent city. The channels were also increasingly used to dispose of stormwater and, for many years, of unsanitary and polluting effluent. Although some channels were lined quite early with bluestone, it was generally not until the still widespread gold mining activities began to wane in the early 20th century, and Ballarat began its process of transformation into a 'modern' city, that the sections of channels that were not yet lined, or only timber lined, were formed with permanent materials such as bluestone, brick and concrete. The channels were also further extended as the city's population grew, and people began to settle permanently in former mining areas.

The precinct boundaries of the Creek and River Channels Precinct comprise the reserve of the Canadian Creek Channel from the south side of the Lal Lal Street Bridge to its junction with the Yarrowee Channel; the reserve of the Gnarr Creek Channel (and its tributary, the Bullock Gully Creek Channel) from their respective positions on the south side of Landsborough Street to the junction of the Gnarr Creek Channel with the Yarrowee Channel; the reserve of the Redan Creek Channel from the south side of Essex Street to the end of the formed channel east of Skipton Street; the reserve of the Warrenheip Gully Channel from its commencement as a formed structure between Rodier and Joseph Streets to its junction with the Canadian Creek Channel; the reserve of the Specimen Vale Creek Channel from the west side of Stawell Street to its junction with the Canadian Creek Channel; and the Yarrowee Channel from its commencement as a partially lined waterway east of Nicholson Street to its conclusion as a fully formed channel some distance to the south of Hill Street. The structures of all these channels are considered to be significant to the precinct, as are the early and associated structures and branch channels identified in the Description section.

Historical Overview

The first licence to formally prospect for gold at Golden Point (as the spur and flats alongside the Yarrowee where gold was first discovered became known) was issued on 20 September 1850 and, according to early historian, W.B. Withers, who arrived in the area in November 1852:

By the time the first week was over there had gathered near 100 diggers at the Point, the riches unearthed there quickly attracting not only all the other prospectors, but setting the colony on fire with excitement from end to end. The quiet Ballarat sheep run, with its grassy slopes and shadowy glades, and its green valley where the Yarrowee poured its limpid waters, became suddenly transformed by the wand of an enchanter The axe of the digger quickly made inroads upon the forest all round; the green banks of the Yarrowee were lined with tubs and cradles, its clear waters were changed to liquid, yellow as the yellowest Tiber flood, and its banks grew to be long shoals of tailings.¹⁵

The Yarrowee River and the other creeks that ran into it were of vital importance to the early settlement of Ballarat. Not only did they provide drinking and cooking water for the thousands who rushed the new goldfield, but they were also essential to the process of gold mining. By day the banks were crowded with men operating cradles, pans, dishes and barrels to wash the dirt brought from their claims in their search for gold. In a matter of months, the pristine water was cloudy and muddied and the banks eroded. Contemporary drawings of Golden Point show intense human activity

¹⁵ W.B. Withers, *History of Ballarat* (first published 1870) and *Some Ballarat Reminiscences* (first published 1895/96), combined facsimile edition published by Ballarat Heritage Services, 1999, pp.22 & 23.

with lines of men working shoulder to shoulder, washing their dirt for gold, along the course of the creek.¹⁶

In just a matter of months from the initial discovery of gold in 1851, the natural course of the Yarrowee was altered for the first time to facilitate the search for gold. According to historian Weston Bate:

*The demand for water was so great, that a channel was cut to bring the Yarrowee to deep pools on the flat. When mapped at the end of the year they measured several hundred yards across, and although a map could not convey the drama of what had happened to that once-beautiful terrain, a journalist could. In the Melbourne Daily News of 25 October [1851] Gibbons described Golden Point as a citadel thrown to the ground.*¹⁷

In early December 1851, the Government Surveyor, W.S. Urquart, was instructed to lay out a township in the vicinity of these goldfields. Before deciding on its location, he first surveyed the general features of the land for a few miles around Golden Point, and proceeded to set out the nucleus of a township with a strictly gridded layout on the grassy plateau that rose above the diggings. In laying out the usual reserve around the town he avoided the land that had been vastly altered by the gold diggers to the east of the main river, which he named Yarrowee, although he did incorporate more than a mile of river frontage as the town's eastern boundary.¹⁸

The Ballarat Township was proclaimed in mid-1852 and it was in December 1852, according to Withers, that the first attempt was made at water supply. He noted that the Government Camp authorities at the time employed men to build a small dam across the Gnarr Creek at the spot where the creek ran on the northern side of Mair Street, close under what became the railway terminus hill. The little dam intercepted the overflow from Yuille's Swamp (Lake Wendouree) and the water that the Gnarr Creek brought from Soldiers' Hill and the ranges beyond, and 'served mainly for the Camp use.'¹⁹ Elsewhere, however, it seems that the diggers constantly polluted, as well as drank and bathed in, the waters of the Yarrowee and its tributaries.²⁰

The municipality of West Ballarat, on the west side of the Yarrowee and incorporating the government-surveyed township, was proclaimed in 1855. It was first known as the Borough of Ballarat, and became a City some years later. The municipality of East Ballarat, on the east side of the Yarrowee with its ad-hoc street layout, was proclaimed in 1857 and became known as the Town of Ballarat East.

According to another historian, A.W. Strange:

*The construction of main channels for the Yarrowee Creek and its tributaries was the greatest need in Ballarat in the early days of local government. The original course of the natural drainage system had long been obliterated by millions of tons of mining debris, and heavy rains . . . caused much flooding with the resultant costly damage. The level of Main road afterwards was often feet higher. . . . Below the Grant Street Bridge the creek spread over acres of ground which became an odorous cesspool in summer and a constant menace to public health. Similar conditions prevailed in many parts of Ballarat East.*²¹

¹⁶ For example, see the drawings of D Tulloch reproduced in Weston Bate, *Lucky City. The First Generation at Ballarat: 1851-1900*, Carlton: Melbourne University Press, 1978. Reprinted 1979, pp17-18.

¹⁷ *Ibid.*, pp16-17.

¹⁸ W Bate, *Lucky City*, op.cit., p.25

¹⁹ W.B. Withers, *History of Ballarat*, op.cit, p.157 & 221.

²⁰ W.Bate, *Lucky City*, op.cit., p.30

²¹ A.W.Strange, *Ballarat: the Formative Years*, 1982, p.39

Until their amalgamation in 1921, the two councils were variously responsible for the engineering works required in the channelling of the creeks and rivers that ran through Ballarat.

Before 1921, the City of Ballarat was responsible for works on the Gnarr Creek, the Redan Creek, the Wendouree Creek and, jointly with the Town of Ballarat East, the Yarrowee. The Town of Ballarat East was responsible for works on the Caledonian (now Canadian) Channel (sometimes as part of joint works with the City of Ballarat), the No.4 (Specimen Vale Creek) Channel and the No.3 (Warrenheip Gully) Channel. The relevant Municipality also constructed various tributaries that ran into the various channels (such as the Wendouree Creek Channel, which is part of the Central Ballarat Precinct rather than this Precinct).

It appears that the first major engineering works involving the Yarrowee River and the Caledonian Channel (as the present Canadian Channel was then called) occurred in 1861 when the two Municipalities formed them as 'sludge channels'.²² The construction works, shown in a series of historic engineering drawings held by the present City of Ballarat, involved the sinking of timber piles along the sides and bases of the channels, the laying of joists along the bases, and the sheeting of both the sides and bases with timber planks. The section between the railway culvert and the junction of the Yarrowee with the Caledonian was formed to a width of 25' at the base and a depth of some 6'. From the junction to the White Flat (or Grant Street) bridge, the Yarrowee channel was widened to 30' at the base, and made a little deeper to allow for the required fall. Beyond the bridge the Yarrowee was not to be lined but excavated only, for a length of 4 chains, to form a 30' wide channel. The course of the Yarrowee by that time had already been altered from its original line around the area of Sturt and Grenville Streets²³ and a straight reserve had also been laid out to run southwards from Market Street South (the present Curtis Street), to Bridge Street and onwards to Little Bridge. To this day, the line of this reserve and of length of the channel running from the reserve down to Grant Street is essentially the same.

The line of the Caledonian Channel, as formed in 1861, is also essentially the same as at present, running from the junction with the Yarrowee as far as Main Road. From Main Road to Barkly Street, the Caledonian Channel had a width at the base of 20', which increased to 25' from Barkly Street to the Yarrowee junction, and a depth of almost 6'. The engineering drawings also showed that sheeting the sides and bottoms of a number of inlets into the Caledonian Channel was also required. These inlets would appear to be in essentially the same location as those of the present day Specimen Vale and Warrenheip Gully channels.

Further channels that were to be constructed, according to the engineering drawings, included the No.6 channel that ran into the Yarrowee Channel from the intersection of Peel and Bridge Street and a secondary channel (No.7) that ran into No.6 from mid-way down Bridge Street. The original lines of these channels have also been retained to the present day.

All of these channels can be seen in a map compiled in October 1861 by Government Surveyor J. Braché,²⁴ and appear to have been used in part to drain

²² Engineering Drawing 1861/009.01, 'Sludge Channels at Ballarat', dated September 1861; and Engineering Drawing 1862/003.

²³ See Engineering Drawings 1862/006, 007, 008, and 022 for these early lines

²⁴ 'Surveyor General's Office by J Brache, 21st October 1861', Central Highlands Library, Australian Collection, Ballarat Branch.

large sludge reserves that had been formed on the eastern side of Main Road. Water, brought in by race lines from the forest, eventually swept the soil, as slime, into these two sludge dams from which drains had been dug to remove it to the newly channelled Yarrowee.²⁵

In 1862 the Borough of Ballarat began the work of forming the Gnarr Creek into a channel - a short length of the Gnarr Creek, where it met the Yarrowee, had its sides and base lined with planking and the course of the Gnarr Creek was realigned in this area to its present position. (Originally it crossed Mair Street, below Lydiard Street, and met the Yarrowee some distance to the south in Grenville Street). Through the 1860s, culverts with bluestone arches, walls and bases were constructed along the course of the Gnarr Creek over Lydiard Street and Creswick Road. Timber bridges were erected over Armstrong Street and Doveton Street. In 1869 work began on forming a culvert through which the Gnarr Creek would run from the Creswick Road culvert to the Lydiard Street culvert, this included forming culverts under Armstrong and Doveton Streets. This underground channelling of the Gnarr Creek was also constructed fully of bluestone and was completed in 1870. The works straightened the line of the original creek, which was subsequently filled in, and were considered to have been the means 'by which a great nuisance and eyesore has been abated'.²⁶

In the late 1860s, further engineering works were carried out along the Yarrowee and these included the piling and planking of some 466 lineal feet of the western bank opposite the Eastern Oval, and a further extension of the lining of the channel southwards beyond Grant Street by some 50'. A larger bridge was also constructed over the Yarrowee in line with Grant Street. Much further south, the first works in conjunction with the Redan Creek commenced with the construction in 1869 by the Borough of Ballarat of a bluestone lined culvert in place of a timber bridge where Skipton Street crossed the creek.

Over the early years of Ballarat's establishment, devastating flash floods proved to be a regular occurrence along the lower reaches of the Yarrowee River and were particularly troublesome for storekeepers along the low-lying portions of Main Street and Bridge Street in Ballarat East. Flood waters rose to unusually high levels in October 1869, causing collateral damage to businesses in East Ballarat.²⁷ In the early 1870s joint Council work on the main channels in Ballarat continued, with most of the extensive works involved the deepening and widening of sections of the Yarrowee and Caledonian Channels, which included the laying of further timber planking and the placement of additional piles. The section of the Yarrowee that was widened extended from the south side of Grant Street Bridge northwards. The west side of the channel was widened 10' from the Grant Street Bridge to the Dana Street Bridge, while the east side was widened 10' from the Grant Street Bridge to the commencement of a new curve into the Caledonian Channel. These new widths generally correspond to the present day widths of these sections of the channels. The Caledonian Channel was initially widened from its junction with the Yarrowee by 5' on its north side with the 5' running out in the curve a short distance beyond the east side of the Humffray Street Bridge. A year or so later it appears that the channel was widened for a further distance eastward from beyond the same bridge.

The early 1870s also saw the forming of an earth channel, 6' wide at the base, for the Specimen Vale Creek between Chamberlain and Queen Streets, and a ford was created further downstream when Otway Street was formed from Victoria to Eureka

²⁵ W. Bate, *Lucky City*, op cit, p.165

²⁶ City Council of Ballarat, *Mayor's Annual Report*, November 1870

²⁷ W Bate, *Lucky City*, op cit, p174.

Streets. It also appears that by the early 1870s, part of the present line of the No.3 (Warrenheip Gully) Channel - from its junction with the Caledonian Channel to the Main Road Bridge and straight on until it abruptly changes direction - had already been formed as an earth channel.

In the 1870s further work was also undertaken on the newly completed Gnarr Street culvert. From 1873 to 1878 the arch and walls of the culvert rebuilt section by section to enlarge it by some 4', bringing it up to its present height. In late 1878 it was reported that the 'long desired completion of the Gnarr Creek culvert [had been] effected by the expenditure of a Government Grant for that purpose'.²⁸

By 1880, the need to further channel and line the Gnarr Creek had become of major concern to the City of Ballarat. The Mayor reported in August 1880 that he hoped:

*. . . the Council will not allow the subject of the Gnarr Creek to rest until the Government is induced to take up the matter commensurate with its importance. Construction of sludge channels have always been recognised as State works and the necessities of the Gnarr Creek are analogous. It receives the watershed of an extensive area outside the municipal boundaries and the floods of successive years have worn a deep and tortuous course: if neglected any longer the [city's] health and safety will be endangered. With the exception of the culvert traversing the heart of the city, nothing has been done to this line of main drainage: in its present state it is a blot on the city which should be effaced without delay.*²⁹

In 1881, work began on enclosing the still open Gnarr Creek between Lydiard Street and the Yarrowee by extending the bluestone culvert from the east end of the existing culvert (the east side of Lydiard Street) to the junction at the Yarrowee Channel. In August 1883, the Mayor reported that before the close of the Municipal year the Gnarr Creek Culvert would be completed between the eastern boundary and 'Laing's Mill' on the Creswick Road, a ventilating shaft, towards which the Government had promised grant money, being the only item yet to be constructed. The Mayor further noted that:

*The finishing of the Culvert, and the rapid filling up of the unsightly hollow over its course, will soon enable completion of the direct communication between Webster Street and the Railway Station, and then the greatest improvement of which our City is capable will have been achieved.*³⁰

The present distinctive brick ventilation shaft over the line of the Gnarr Creek culvert near the junction of Creswick Road and Doveton Street was completed in 1884, and around the same time the culvert was extended a further 195' northwards from where it ended under Creswick Road. A small bluestone culvert was also constructed 10' along the line of the Wendouree Creek, leading towards Lake Wendouree. A few years later, in 1888, the present culvert over the Gnarr Creek at Holmes Street, with its bluestone arch, base, wing walls and parapets, was constructed. A year later, the present bluestone culvert at Macarthur Street was completed.

In the early 1880s, additional work to the Caledonian Channel comprised further cutting and embanking of the Channel from Main Road to Lal Lal Street, generally along its present line.

²⁸ City Council of Ballarat, *Mayor's Annual Report*, August 1878

²⁹ City Council of Ballarat, *Mayor's Annual Report*, August 1880, p.4.

³⁰ City Council of Ballarat, *Mayor's Annual Report*, August 1883, p.1.

Improvements were also made to the No.4 (Specimen Vale) Channel in the early 1880s. Part of the works involved raising the roadway at the Main Road Bridge and erecting a new bridge, under which there appears to have already been constructed a brick walled channel with a bluestone base extending a short distance downstream towards Barkly Street. Further works undertaken around that time appear to have included creating a more defined course to the channel for some distance to the east of the Main Road Bridge (upstream) and the construction of an additional length of permanent channelling with brick walls and a bluestone lined base. Some of this structure may still be in place. In 1886 a brick 'teardrop' shaped culvert with bluestone wing walls was constructed at Princes Street, and in 1888 a broken down bridge at King Street South was replaced with a culvert with a bluestone arch and walls, and bluestone wing walls and base. (More recent works enclosing the Specimen Vale Channel up to King Street may have resulted in the destruction of all the wing walls but it would appear that the culverts are still in place.) In 1889 a road ford was formed over the Specimen Vale creek at Queen Street.

In the mid-1880s, some works were undertaken on the No.3 (Warrenheip Gully) Channel, which was widened by additional cutting of the straight earth channel from the east side of the Main Road Bridge for a distance of some 200'. The north side of the channel was to be sheeted throughout to a height of 5' above the bed of the creek.

In 1888, a small amount of work was also undertaken in relation to the Redan Creek, with the construction of the present culvert at Darling Street comprising a bluestone arch, walls and base, and bluestone wing walls and parapets.

Works on the Yarrowee during the early 1880s were varied with one of them being the commencement of a thorough survey of the Yarrowee with the intention of forming a wide reserve in a more or less direct line from Grant Street to Hill Street (or Sunny Corner as it was also known). This was the first step taken to enable the two Councils to form a permanent channel, which was considered to be 'a valuable sanitary work' since at the time it was the receptacle for the drainage of a large part of Ballarat.³¹ Around the same time a major joint Council undertaking was the rebuilding of the bridge at the junction of Wills and Mair Street, and the repairing and improving of the Yarrowee Channel from the south side of the arched railway culvert to the south building line of Wills Street, which included constructing 12' of the Gnarr Creek culvert at its junction with the Yarrowee. The bridge was constructed with bluestone abutments (much of which are probably still there despite recent major alteration to the roadway above) and a slight diversion in the line of the bridge was made to provide for the intended realignment of the channel to run alongside (instead of in) Grenville Street and enable this street to be opened to its full width. The base of the channel section between the bridge was lined with bluestone pitchers, and the sides were also constructed of bluestone, laid in courses of an even height.

Other structures erected along the Yarrowee in the 1880s through joint Council works included the erection of a bridge with bluestone abutments, wing walls and counterfoils over the Yarrowee at the junction of Nolan Street and Scotts Parade. By that time the eastern side of the creek, alongside the Eastern Oval and up to Peel Street, appears to have already been sheeted with timber planks, which were taken down where required for construction of the bridge and wing walls with the rest made good. (The later removal of the Nolan Street Bridge has unfortunately left only the bluestone abutments and a single curved parapet in evidence.) A bridge was also

³¹ City Council of Ballaarat, *Mayor's Annual Report*, August 1882, p.3.

constructed much further downstream at Hill Street which, for the first time, connected the South Ward of the town with the vicinity of Mount Pleasant. This bridge, with its stone abutments and wing walls was replaced in the early 1900s.

Another major work carried out in the 1880s in relation to the Yarrowee was the extension in 1887 of the twin tunnel viaduct under the railway embankment. Under Railway Department Contract No.2832, signed on 16 April 1887, the tunnels were extended by 58' to the north with a bend at the north end.³²

In 1890 the first substantial permanent improvements were made to the Caledonian Channel with the construction of two lengths of brick walling (with stone coping) on the eastern banks of the creek. Both of these walls appear to be extant and substantially intact. One wall runs in a curving line northwards from the west side of the Main Road bridge, finishing south of the present Clayton Road footbridge. The other wall runs in a north-western direction from the north side of the York Street bridge and was contracted to be 1180 links in length before being joined into the existing timber walling of the creek bank located further downstream.

Further permanent improvements were also made to the Gnarr Creek during the 1890s and involved extending the channel northwards - a work that the Mayor had identified in his 1889 report as having 'long been needed, but its magnitude naturally causes it to be put off as long as possible'.³³ The works were undertaken in sections with the first in 1892 being an extension of the existing structure, part of this being a further length of culvert with the remainder being the first section of open channel to be constructed. Around the same time, but further to the north, the present substantial bluestone culvert was erected at Brougham Street. This replaced an early wooden culvert, which was located further to the east. A few years later, in 1895, the present bluestone culvert at Howard Street was constructed, as well as a short length of open bluestone walled and lined channel running southwards. These structures also replaced an early wooden culvert, which was located some distance to the west at the intersection of Howard and Crompton Streets (and over the original course of the Gnarr Creek), and contributed to the permanent straightening of the course of the creek in this area.

From 1897 onwards the open channel extension of the main Gnarr Creek Culvert that ran to the Yarrowee was further extended to the Holmes Street culvert, and permanent channels were constructed from the north side of the Macarthur Street culvert as far as Gregory Street. These channels were constructed, as previously, with a bluestone base but for the first time, concrete (with a bluestone coping) was used for the walls. In August 1899, the Mayor noted that 'several very important sanitary works [had] been completed chief among which being an impervious lining to the Gnarr Creek, to Gregory Street, excepting that portion from Holmes to Macarthur Streets'.³⁴ This latter section, however, was not left as open creek for long and on 5 January 1901 this last length of was completed thereby permanently channelling the Gnarr Creek from Gregory Street to the Yarrowee 'leaving the culvert at Gregory Street yet to be completed'.³⁵

In August 1890 the Mayor of the City of Ballarat remarked that 'the South Ward can rejoice in the commencement of a work (to be continued by Government aid next year) which will constitute the main drainage of the Ward i.e. the channelling of the

³² Andrew C. Ward and Associates, 'Review of Railway Sites of Cultural Significance within the City of Ballarat', February 1991, p.82

³³ City Council of Ballarat, *Mayor's Annual Report*, August 1889, p.1.

³⁴ City Council of Ballarat, *Mayor's Annual Report*, August 1899, p.3.

³⁵ City Council of Ballarat, *Mayor's Annual Report*, August 1901, p.7.

Redan Creek - a great work of sanitation.³⁶ From 1890 to 1899 almost the entire length of the Redan Creek Channel was formed. Although the works were carried out in different, usually unconnected sections, by the end of the decade a permanent bluestone walled and lined channel had been constructed from the south side of Essex Street to the north side of George Street (the present Cooke Street), and the original course of the Redan Creek had been substantially straightened. Along this length, the present arched bluestone culvert under the intersection of Bell and Ripon Streets was also constructed as well as flat decked culverts, with vertical bluestone walls, at Lonsdale Streets, and under the intersection of Leith and Talbot Streets, both of which have recently been replaced. Flat decks appear to have been laid over the open channels in the other streets, except Darling Street where a culvert had already been erected in 1888.

It appears that little work was carried out by the Town of Ballarat East along either the Specimen Vale Creek or the No.3 (Warrenheip Gully) Channel during the 1890s. In 1891 the present bluestone culvert was constructed at Rodier Street over the Specimen Vale Creek, replacing an old timber footbridge and comprising part of the works to form Rodier Street. A few years later in 1895 part of the course of the same creek was straightened and gravelled. A drawing dated 17/01/1896 contains details for the construction of a brick walled culvert under Joseph Street, through which the Warrenheip Gully Creek would run, but it has not been established if any of this work was undertaken, or if it forms part of the present culvert, which was erected some years later.

In contrast, however, a great deal of work was undertaken during the 1890s along the Yarrowee by the Town of Ballarat East, either singly or as joint works with the City of Ballarat. Part of these works comprised the realignment and reconstruction of the channel in 1891 from the Mair/Wills Street Bridge to the Alfred Hall (formerly on the north side of Curtis Street). The course of the channel was moved over to its present line so that it no longer ran down part of Grenville Street and the walls were lined with rock faced bluestone laid in even courses to correspond with the abutments of the bridge. They finished at the existing brick walls under the Alfred Hall. The base of the channel was also lined with bluestone pitchers. The Mayor of the Town of Ballarat East saw this as 'the most important work undertaken by the City and Town Councils for some time'.³⁷

In the early 1890s the Town of Ballarat East also began to erect permanent channel walls to replace the timber lining on the east side of the Yarrowee channel, north of the railway culvert. Bluestone walls, with bluestone coping, were constructed from the railway culvert to the abutments of the Nolan Street Bridge, and from the north side of the bridge to the abutment of the Peel and Rowe Street Bridge. This latter bluestone abutment was constructed in 1894, under the existing timber bridge, as the final part of the works to line the channel. The City of Ballarat erected the northern abutment in 1896 but a new bridge was not erected until 1903. The base of the channel in this section remained unlined for some years but the bluestone pitching of the base of the Yarrowee, from the north end of Alfred Hall to a distance south of Little Bridge Street, continued through the 1890s. So did the lining of the channel walls - those from Little Bridge Street to a distance of 10 chains southwards were constructed with bricks from the old Powder Magazine. It was around this location (the area where Grenville Street once turned to meet the Yarrowee) that the permanent forming of the Yarrowee Channel ended in 1898. A little further downstream, however, bluestone abutments had been erected in 1897 to support a

³⁶ City Council of Ballarat, *Mayor's Annual Report*, August 1890, p.1

³⁷ Town of Ballarat East, *Mayor's Annual Report*, August 1891, p.4

new box girder bridge that was erected at the intersection of Dana and Eastwood Streets, over the Yarrowee.

The early years of the 20th century saw a marked increase in the extent of works undertaken by both Municipalities in permanently lining the channels, most of whose courses had already been well-established over the years. The most substantial of these works was the construction of the present Yarrowee Channel from just north of the Dana/Eastwood Street Bridge down to the Hill Street Bridge and the Woollen Mill. In the latter part of the year 1900, a Joint Committee of the City and Town Councils adopted the plans and specifications that had been prepared by the City of Ballarat Engineer for this major improvement of the Yarrowee. In April 1901 the tenders of two contractors were accepted for the job, which had been divided into two sections, the division being in line with South Street. Part of the works in the northern section also included forming a short distance of channel up the Caledonian Channel, where it curved to meet the Yarrowee. The full works comprised the lining of the walls with concrete (with a bluestone coping) and the pitching of the channel base and invert with bluestone, along the course that had been surveyed and reserved in the early 1880s. The Mayor of the Town of Ballarat noted in his 1901 Annual Report that 'when completed this will be the best sanitary improvement effected in Ballarat for years'³⁸ and the Mayor of the City of Ballarat was equally enthusiastic, remarking that 'this work means a very great improvement to the sanitation of the City and Town' in his Annual Report.³⁹ The two Councils contributed equally to the cost of the scheme, which was completed in 1903, while the Government bore half of the cost, altogether totalling some £25,000.

In 1903 and 1904 further work was undertaken in upgrading the bridges along the Yarrowee, the most notable being the construction of the present bridge at Grant Street, which was completed in April 1904. The bluestone abutments had been constructed a little earlier in conjunction with the permanent forming of the Yarrowee Channel and the bridge was constructed with steel girders under the road deck. A decorative lattice girder was installed on each side as a balustrade between the partly dressed bluestone parapets, which curve in line with the wing walls below. A footbridge comprising steel lattice girder sides with a timber deck (since replaced with metal plate) was also erected in 1904, connecting Gladstone and Sebastopol Streets; and the new bridge at the Peel and Rowe Street intersection was finally installed.

The City of Ballarat also undertook some additional works to the Gnarr and Redan Creek Channels shortly after the turn of the century. Along the Gnarr Creek, the channel was further extended northwards with the construction in 1907 of a culvert under Gregory Street and a channel with concrete walls and a bluestone base up to Howitt Street. A few years earlier the old bluestone invert lining of the oldest part of the Gnarr Creek Culvert (from a little to the north-west of Doveton Street North to the junction with the Yarrowee) had been replaced with a moulded concrete invert. Along the Redan Creek, the channel was completed between Cooke and Skipton Streets in 1905, and a branch channel formed to Rubicon Street.

In 1903, the Town of Ballarat East began the first of the works undertaken over the next few years to permanently form the No.3 (Warrenheip) Channel. This initial work comprised constructing a deep bluestone spoon channel from the Sth Britannia Mining Company (once located just east of King Street) to Otway Street and on to Joseph Street. A few years later, in 1908, the present substantial culvert under Joseph Street was constructed with a brick arch, bluestone sides and base, and

³⁸ Town of Ballarat East, *Mayor's Annual Report*, August 1901, p.12-13

³⁹ City Council of Ballarat, *Mayor's Annual Report*, August 1901, p.7

bluestone abutments and wings. This culvert is particularly notable because it drops some distance to accommodate the fall in the land from one side of Joseph Street to the other. At the same time a further length of bluestone spoon drain was constructed eastwards from the culvert, towards Rodier Street.

Other works undertaken by the Town of Ballarat East during these years comprised a major upgrade of the Caledonian (Canadian) Channel in conjunction with additional work on the No.3 (Warrenheip) Channel, and the erection of bridges with bluestone abutments at Lal Lal Street and York Street, both over the Caledonian Creek. The condition of this channel, from its junction with the Yarrowee to the Town Mission Reserve in the vicinity of Eureka Street, was now of great concern to the Council - it had originally been planked and lined many decades earlier in the 1860s. In his Annual Report of August 1906, the Mayor of the Town of Ballarat East stated that:

The wooden lining of the watercourse has become decayed, and is falling to pieces in many parts, and the wooden bridges over it at the intersection of Peel and Humffray Streets are rapidly showing signs of dilapidation..... As to the creek itself, the work must now be completely saturated with the sewage from the town, and consequently from a sanitary point of view there is good reason for the construction of a stone channel. The state of the creek is also made worse by the accumulations of sand and sludge in it and this is another reason why alterations should be made. If a good stone channel be constructed the silt from the mines will flow away just as it does now in the main Yarrowee Creek. Indeed this is one of the sludge troubles of Ballarat East. The advantage and necessity of having properly lined channels in a mining township, to keep the sewers clear and to prevent the accumulation of sludge, are forcibly shown by the Board in their report, where they stated:

'The Yarrowee channel itself, from the Caledonian junction down to the Woollen Mills being lined with dressed stone and having a fall of about 22 feet per mile is under practically all conditions self cleansing, so that the solids entering it from tributaries are carried through to the unlined portions. No complaint has been made about this channel as everything passes quickly through.'

*The execution of a similar class of work therefore in the Caledonian channel would improve sanitation of the town, as well as cause a minimising of the sludge nuisance. The desirability of doing this work should be readily admitted, and the Council therefore approached the Government with a view of obtaining a monetary assistance. The Premier promised that if we submit a proposal to him he would consider the request in framing next year's estimates.*⁴⁰

The proposal was obviously successful and in 1908 the Caledonian Channel was lined with brick and pitched with bluestone from its junction with the No.3 Channel to the edge of the previously constructed section of the Caledonian Channel adjoining the Yarrowee. Bluestone abutments were also constructed under the intersection of Humffray and Peel Streets in preparation for the laying of a new wide bridge to replace the two separate bridges already in place. As part of the works on the Caledonian Channel, a length of the Specimen Vale Channel was lined with brick and pitched with bluestone from its junction with the Caledonian to the edge of Steinfeld Street.

It also appears that the still-unlined downstream section of the No.3 Channel (adjoining the Caledonian Channel) was permanently formed at the same time, and

⁴⁰ Town of Ballarat East, *Mayor's Annual Report*, August 1906, p.22

with the same materials of brick and bluestone, to a little beyond its junction with the Pennyweight Gully Creek. A short stretch of channel up this creek was also constructed, probably at the same time.

The extent of all these works was praised by the Mayor in his August 1908 Annual Report⁴¹ in which he stated that 'in regrading and relining the No. 3 and Caledonian channels the council is just completing the best sanitary work it has ever undertaken.' He went on further to pronounce that:

the good results of this class of work cannot be overestimated, for it must be a means of preventing the outbreak of infectious diseases. Where formerly existed a long series of stagnant pools the surface and household drainage now has free and unobstructed flow.

Interestingly, segments of the old timber base in the section between the end of the permanently lined channel (in the area of the junction with the Warrenheip Gully Channel) and Main Road were not replaced at this time, although there is a more recent length of concrete base can be seen north of the York Street Bridge. The historical value of these segments of timber base is highly significant and they represent possibly the oldest formed creek construction in the City of Ballarat. However, they are now in urgent need of restoration.

By the end of 1908 the Town of Ballarat East had also carried out some work along the Specimen Vale Channel - the early Princes Street culvert was extended, and bluestone culverts with brick arches were erected at Chamberlain and Otway Streets. The culvert at Queen Street was probably also erected around this time. It seems, however, that work on this channel with regards to fully lining it (except for some short lengths around Main Road and adjoining the Caledonian Channel) was still some years off.

For the next few years further work by either of the Councils on the channels slowed dramatically as, by then, much of the infrastructure had already been substantially completed within the central area of town.

However, in August 1913 the Mayor of Ballarat East reported that 'the No.4 Channel, one of the few main sewers that need relining with stone, was further extended in this manner, a notable sanitary improvement being the result'.⁴² He also noted a few years later, in 1916, that 'another very useful sanitation work has been completed by the construction of the Specimen Vale Creek from Queen Street to a point west of the King Street culvert'.⁴³

A few years earlier, the two Councils invited the Minister of Public Works to inspect two sections of the Yarrowee Creek that urgently required attention. A dry summer at the end of 1914 had created problems in the parts of the Yarrowee Creek between Nolan and Rowe Streets and below the Hill Street Bridge. The Councils felt 'that in the interests of public health something had to be done'⁴⁴ and requested financial assistance from the Government, which was forthcoming. By August 1916, the contractors had almost completed the work between the Nolan Street Bridge and the Rowe/Peel Street Bridge, which comprised pitching the base and lining the north- west side with concrete walls (with bluestone coping). The opposite bank had

⁴¹ Town of Ballarat East, *Mayor's Annual Report*, August 1908, pp.14-15

⁴² Town of Ballarat East, *Mayor's Annual Report*, August 1913, p.32. Unfortunately it has not yet been fully established where these works were carried out.

⁴³ Town of Ballarat East, *Mayor's Annual Report*, August 1916, p.23

⁴⁴ City Council of Ballarat, *Mayor's Annual Report*, August 1915, p.9

already been lined with bluestone over twenty years earlier. The same contractors were also responsible for pitching the base of the channel beyond the Hill Street Bridge, and lining both sides with concrete (with bluestone coping), and they completed this section a little later. They also rebuilt the Hill Street Bridge on a 'proper alignment'. The Mayor of Ballarat West considered the new single span bridge with a reinforced concrete deck to be 'a great improvement on the old three-span bridge in wrong alignment'.⁴⁵ He also observed that 'by the carrying out of these works, the intolerable nuisances in the two localities have been removed, to the advantage of the health of the citizens generally, more particularly to those residing in the vicinity. It is a pity that a further section could not have been completed while the matter was in hand.'⁴⁶

In the two decades following the end of World War I, the work on permanently lining the channels was essentially completed. After 1921, all additional works became the responsibility of the newly amalgamated Municipality.

Only a small amount of work appears to have been required along the Caledonian Channel and this mainly comprised the construction, in 1925, of a reinforced concrete footbridge, almost in line with Anderson Street. East of Main Road, the northern side of the Canadian Creek (as it seems to have been called in this area) was lined for some distance with a concrete wall in 1922. In 1924, at Lal Lal Street a new reinforced concrete deck was laid over the existing bluestone abutments.

In 1920 a concrete channel for the Redan Creek was constructed on the east side of the Skipton Street culvert, extending the existing channel almost 400' further towards its junction with the Yarrowee River. Upstream, a new reinforced concrete deck was installed over the Redan Creek channel at Latrobe Street.

The most extensive amount of work undertaken on the channels during the 1920s concerned Specimen Vale. From August 1924 to February 1925, day labour was used to line the walls and base of the channel between King Street and Main Road with concrete. A little earlier concrete culverts were erected over Barkly, Eastwood and Steinfeld Streets across Specimen Vale.

The 1930s saw an unusual escalation in engineering works on a number of the channels due to the availability of 'relief' or 'sustenance' workers. During the Great Depression the unemployed were supported by programs funded jointly by the State Government and local councils and carried out under the auspices of the state Public Works Department. Eligible unemployed men worked for two days each week. Projects usually focussed on unskilled labour intensive work, with the unemployed joining existing council work gangs.

In 1930, the Mayor's Annual Report contained details of relief works. He explained that:

Owing to the prevailing depression an extensive Relief Works programme has been entered into. . . . The works to be done are in the main very suitable for unemployed, as they require a large proportion of unskilled labour. Particularly does this apply to the Stormwater Channel in Specimen Vale Creek, between Queen and Chamberlain Streets, which is built mainly of old flagstones taken up from the City streets from time to time.

⁴⁵ City Council of Ballarat, *Mayor's Annual Report*, August 1916, p.11

⁴⁶ *Ibid.*, p.7

The sections of this Creek from Chamberlain Street to Stawell Street are being built in concrete, sufficient flagstones were not available. These jobs require a large amount of labouring work in excavating, filling and placing concrete.⁴⁷

The Ballarat City Council supervised these, and other, projects on behalf of the Public Works Department.⁴⁸ Along Specimen Vale, the forming of a large semicircular channel between Queen and Chamberlain Streets with flagstones, and the lining, with concrete, of the walls and base of the channel between Chamberlain and Rodier Streets, and Rodier and Stawell Streets was completed in early 1931. During 1930/1931, the relief workers also completed the last section of the Yarrowee Channel between Peel and Nicholson Streets. Part of the base upstream from the Rowe/Peel Street Bridge had already been lined with bluestone in 1916, and the remainder up to the Nicholson Street Bridge was finished with concrete, as were the walls for the entire length of this section. In 1931 the Mayor noted that 'the bottom of the Yarrowee Creek is the first large creek channel in Ballarat to be constructed solely of concrete, though several smaller channels have been similarly constructed.'⁴⁹

The year 1931 also saw the commencement of major works, undertaken under Relief Contracts, in extending the Gnarr Channel further northwards. During that year a concrete channel was constructed between Doveton Street North and Armstrong Street. From 1932 to 1933 this concrete channel was further extended to Lydiard Street North, then to Walker Street and up to Landsborough Street. A tributary called the Bullock Gully Creek was also lined with concrete from its junction with the Gnarr Creek, halfway between Walker and Landsborough Streets. It ran eastwards under Ligar Street and, in 1934, was completed up to Landsborough Street. Concrete culverts were also formed over most of the crossing streets, replacing old timber bridges, culverts or footbridges. In August 1933 the Mayor described the Gnarr Creek as 'now self-cleansing and sanitary throughout the greater portion of the populated area of Ballarat North and . . . a great improvement to the locality'.⁵⁰

Relief works continued to be carried out in Ballarat until the late 1930s, although the most severe years were during the early years of the decade. In 1936 the final section of the Specimen Vale Channel, between Barkly and Steinfeld Streets, was completed. The walls were lined with concrete, and the base with old tramway pitchers. Concrete culverts at Eastwood and Barkly Streets were also erected by Relief labour. In 1938, relief workers replaced the timber bridge over the Yarrowee Creek at Nicholson Street [near the Eastern Oval] with a new steel and concrete structure.⁵¹

The latter half of the 20th century generally saw few engineering works carried out on the channels other than the upgrade of the road decks for the various bridges. In many instances the early substructure (abutments and wing walls) and other elements such as piers and parapets have been retained. Unfortunately, however, the replacement and realignment of the bridge at Nolan Street in 1962 led to the removal of the original parapets, except for one partially intact curved section which sits hidden in the undergrowth on the north-west side of the present bridge.

In the immediate post-war years some work was carried out along the Redan Creek channel with the extension of the last section of concrete channel further eastwards

⁴⁷ City Council of Ballarat, *Mayor's Annual Report*, August 1930, p.30.

⁴⁸ *Ibid.*, pp14-15.

⁴⁹ City Council of Ballarat, *Mayor's Annual Report*, August 1931, p.13.

⁵⁰ City Council of Ballarat, *Mayor's Annual Report*, August 1933, p.12.

⁵¹ City Council of Ballarat, *Mayor's Annual Report*, August 1938, p.20.

in 1948. A few years later, in the early 1950s, the concrete retaining walls alongside the Canadian Creek between Main Road and Lal Lal Street were extended. Additional walls in this area were constructed in the early 1960s to prevent further erosion and flooding of adjacent properties.

The most noticeable alteration to the visual impact of the network of channels throughout Ballarat in the latter half of the 20th century was the permanent decking of much of the Yarrowee from Mair Street to just north of the Dana/Eastwood Street Bridge.

From its earliest formation in the 1860s to its later realignment alongside Grenville Street (instead of down the middle) in the early 1890s, and after its permanent lining during the 1890s, the Channel was predominantly open to view. In 1904 the municipality of Ballarat East first covered the Yarrowee Channel on both sides of Bridge Street with steel girders and red gum decking so that, according to the Mayor, the surface could be better 'utilized by the buildings and conveniences intended to be erected thereon.'⁵² The Mayor also noted that some of the business proprietors facing the new deck were erecting glass shop fronts and that it was the intention of the Council to turn this decked area into a 'resting place ... beautified with ferns and pot plants in the summer time.' In 1908 *The Australasian* published a photograph of this decked and 'beautified' area, which shows long seats placed down the centre, street lamps hanging from the adjacent buildings, and numerous glass shop fronts.⁵³ The wooden deck appears to have been constructed a little like a pier - with gaps between the planks.

This semi-permanent structure was replaced decades later with the present reinforced concrete deck and other pavement treatments, and the formerly timber decked channel now lies beneath the Colosseum Walk and the walk-through area of Norwich Plaza. The early timber bridges at Little Bridge, Bridge and Curtis Streets were also replaced with permanent concrete decks from the 1950s onwards and, after the Alfred Hall was demolished in 1956, the area north of Curtis Street was turned into a carpark. Around the same time the present Elderly Citizens Club was erected over the line of the Yarrowee Channel, further covering it up. The later formation of the Eastwood Carpark completed the covering up of the Channel along this section.

The built form of the channels and associated structures today is thus the result of extensive engineering works undertaken throughout the mid to late 1800s and into the 1900s. From the beginning the intention was both to facilitate a flow of water to the gold diggings and to try and decrease the impact of floods along these watercourses. As gold mining waned in the early 20th century and Ballarat city developed, the need to control the water flow along the channels continued but by then they had also become a major network for the drainage of stormwater throughout the township and, unfortunately for many years, also of unsanitary and polluting effluent that was discharged from the hospital, as well as various factories and mills. Until 1883, when it was abolished, a drain carried raw sewage from the Hospital to the Yarrowee along Sturt Street. Waste from a soapworks, the woollen mill, the Chinese village, the gaol, the gasworks and other factories all flowed directly into the creek, adding to its polluted state.⁵⁴ After the construction of a sewerage system throughout Ballarat from the early 1920s, the channel system became solely a network for the drainage of stormwater.

⁵² Town of Ballarat East, *Mayor's Annual Report*, August 1904, p.12

⁵³ *The Australasian*, 29 February 1908, p.523

⁵⁴ W.Bate, *Lucky City*, op.cit., p.249.

Important and significant elements of these early engineering works that remain along the Creek and River Channels Precinct include but are not limited to: the extensive network of bluestone, red brick and concrete lined channels, the associated bluestone and brick culverts, the associated bridges with bluestone abutments, wing walls, piers and parapets, the associated early concrete or steel lattice girder footbridges, and the notable brick chimney vent at the intersection of Creswick Road and Doveton Street North.

BIBLIOGRAPHY

- Weston Bate, *Lucky City. The First Generation at Ballarat: 1851-1901* Carlton: Melbourne University Press, 1978. Reprinted 1979.
- Jacobs, Lewis, Vines, *Ballarat Conservation Study*, Part 1, 1978 & Part 2, 1980
- Peter Lumley, John Dyke, Roger Spencer, Eve Almond, *Ballarat Historic Landscapes, Trees and Gardens*, Royal Botanic Gardens, Melbourne & Department of Crown Lands & Survey, 1983
- Mayor's Annual Reports for the City of Ballarat and the Town of Ballarat East held in the Australian Collection, Central Highlands Library, Ballarat Branch.
- See also the notes taken from additional historical source material and chronologically listed according to the channel name in the associated Appendix.

Physical Attributes

As the network of channels within the Creek and River Channels Precinct cover many lineal kilometres, and comprise a combination of various structural materials, the following approach to describing them has been used.

Firstly, there is a general descriptive section that gives an overview of the type of materials that have been used in constructing the channels, and some of the associated structures. Secondly, each channel is listed in alphabetical order and broadly described using the information accumulated by the Assets Department of the City of Ballarat, the information compiled from general and more specific historical research (and detailed in the Appendix to this document), and information gathered during extensive field survey by the consultants.

The most relevant descriptive information from the database produced by the Assets Department can be seen in the small table accompanying the relevant section of channel (also as identified by the Assets Department). The City of Ballarat Asset No. that has been attached to each channel section is also included but it should be noted that a number of sections or structures that make up some of the channels do not appear to have as yet been identified by the Assets Department. Any further notes pertaining to the description are appended under the table. The source material that supports the Date of Construction can be found in the Appendix to this document. The superscript number following the date provides a link to the relevant dated source in the Appendix.

Materials

Wood:

This was the earliest material used to line the creek beds and walls to form the early sludge channels. The only remaining evidence of this method can be seen in Canadian Creek upstream from its junction with the Warrenheip Gully Channel and

from the York Street Bridge. The remaining structure comprises heavy timber planks, probably laid on transverse timber joists fixed to piles driven deep into the creek base. The planks are laid longitudinally with the flow of water and are generally in urgent need of restoration.

Bluestone:

Bluestone is used in a variety of ways within this precinct and can be found to varying degrees within every channel or as part of an associated structure.

Where bluestone forms the lining of the bottom of a channel it is generally arranged with:

- the side sections constructed of partly dressed bluestone pitchers laid perpendicular to the walls, and
- the central drain section (the invert) constructed of partly dressed bluestone pitchers laid parallel to the walls (longitudinal with flow of water), the centremost row being at the lowest point of the channel

Note: in some sections of the Gnarr Creek Channel, the bluestone pitchers of the side sections are also laid parallel to the walls (longitudinal with flow of water). In a few sections of the Warrenheip Gully Channel, bluestone pitchers have been used to form deep spoon drains. All these sections have been noted within their relevant description information.

Where bluestone forms the lining of the bottom of a culvert it is generally arranged with:

- the whole base constructed of partly dressed bluestone pitchers laid parallel to the walls (longitudinal with flow of water), the centremost row being at the lowest point of the channel

Where bluestone forms the lining of the channel walls, or makes up the main structure of abutments, wing walls, end walls, piers and parapets of bridges and culverts it is generally seen as:

blocks of rough faced bluestone laid in even courses, often finished with a coping of a single row of rough-faced blocks of bluestone

Brick:

Red face bricks can be found to varying degrees as part of almost every channel in the precinct or as part of an associated structure. They have either been used to line the walls of a number of the channels, or as the arched roof structure of many of the culverts. The tops of the walls generally feature a single row of projecting bricks finished on top with a rounded coping of cement render. In some instances the coping is a single row of rough-faced blocks of bluestone.

The most notable use of red face bricks within the precinct can be seen in the tapered octagonal ventilation shaft to the Gnarr Creek Culvert at the intersection of Creswick Road and Doveton Street North.

Concrete:

Poured concrete was used from the early 20th century onwards as a lining for a number of the channel walls, often in conjunction with a coping formed from a single row of rough-faced blocks of bluestone. Poured concrete was not generally used as the lining for the base of the channels until the 1920s and in the 1930s is the material most associated with the Relief Contract labour used during the Great Depression to

complete the network of formed channels.

Other materials:

Large bluestone flags taken up, over the years, from streets in the centre of the city is a notable material used to line a section of the Specimen Vale Channel between Queen and Chamberlain Streets. They have been laid so that the flags form a contiguous semicircular channel .

Significant Landmarks and Views

The important and extensive network of timber, bluestone, brick, and concrete lined channels, along with the associated bluestone and brick culverts, associated bridges with wrought iron or steel lattice girder balustrades and bluestone abutments, wing walls, piers and parapets, and the associated early concrete or steel lattice girder footbridges in themselves form a highly significant landmark element of the urban cultural landscape of Ballarat city.

Views along, across, and/or adjacent to almost every part of this network can be gained from innumerable vantage points throughout the city, and are particularly noticeable as one traverses the many bridges that cross the channels. The conspicuous bluestone parapet walls to the many culverts also form notable features along the edges of many city streets. The distinctive brick ventilation shaft at the intersection of Creswick Road and Doveton Street North is also an important urban landmark. The line of the Canadian Creek is further emphasised by the notable mature street plantings, predominantly elm and plane, along Steinfeld Street.

For further information on individual channel descriptions , refer to the *Ballarat Heritage Study Stage 2, July 2003*.

CREEKS AND RIVER CHANNELS HERITAGE PREICNCT STATEMENT OF SIGNIFICANCE

(AHC criteria D.2, G.1). The substantially intact network of many lineal kilometres of timber, bluestone, brick, and concrete lined channels, along with the associated bluestone and brick culverts, associated bridges with wrought iron or steel lattice girder balustrades and bluestone abutments, wing walls, piers and parapets, and the associated early concrete or steel lattice girder footbridges demonstrate important visual qualities that are integrally associated with the urban cultural landscape of Ballarat city. Views along, across, and/or adjacent to almost every part of this network can be gained from innumerable vantage points throughout the city, and are particularly noticeable as one traverses the many bridges that cross the channels. The conspicuous bluestone parapet walls to the many culverts also form notable features along the edges of many city streets. The distinctive brick ventilation shaft at the intersection of Creswick Road and Doveton Street North is also aesthetically significant and is an important urban landmark. The extensive network of channels and associated structures is also a cultural landscape within itself and as such is unique in the State of Victoria.

The Creek and River Channels Precinct is **historically** and **scientifically** significant at a **STATE** level (AHC criterion A4, B2, D2 and F1). The transformation from the 1860s to the 1930s of many natural waterways into the present network of channels and associated structures by the two municipalities of Ballarat East and West was a direct result of gold mining activities, which formed the basis for the establishment and development of Ballarat from the early 1850s, as well as the impetus to the development and growth of Victoria in conjunction with other goldfields. The present courses of the channels demonstrate the urgent need at a very early date to repair the damage done by gold mining activities to the natural drainage lines of the creeks, which led to the formation of lined sludge channels. The subsequent permanent lining of the channels demonstrates the need of a growing city to establish an infrastructure of durable engineering works for sanitary and stormwater drainage requirements and to mitigate flooding. The variety of structural materials used also provide a rare example, over an extensive area, of the historical development in the use of materials and technology for this type of engineering infrastructure, and of the excellence of traditional craftsmanship.

Overall, the Creek and River Channels Precinct is of **STATE** significance.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 172 CREEKS AND RIVER CHANNELS HERITAGE PRECINCT – NO SITES LISTED AS 'NOT SIGNIFICANT' TO THE PRECINCT.

MOUNT PLEASANT GOLDEN POINT HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 12 Mount Pleasant Golden Point Heritage Precinct Map, shown as "K" on the Proposed Ballarat Urban Heritage Precincts Map

Mount Pleasant/Golden Point Precinct is set to the south east of Ballarat City Centre, within urban Ballarat. The precinct acts primarily as a residential area, with some local shopping and commercial facilities and contains a strong Victorian, Federation and Inter-war heritage character.

The precinct focuses around Barkly Street (which forms the south west to north south east spine of the precinct) and part of Grant Street which forms the key East West link through the precinct). The northern boundary of the precinct is formed by Stenfield Street South. The western boundary is formed by Anderson Street North and the Yarrowee drainage line as far south as Gladstone Street. The precinct boundary then follows Gladstone Street and the property boundaries of lots fronting Barkly Street to three properties north of Morton Street. The southern boundary then returns back across Barkly Street with a staggered line to Laurie Street and up to Cobden Street. The eastern boundary is staggered from Cobden Street to Steinfeld Street and mainly includes the southern parts of Laurie Street and the northern parts of Tress Street.

The Mount Pleasant – Golden Point precinct was settled from the 1850's as a result of gold discoveries in the area. Golden Point, discovered in 1851, was one of the richest alluvial fields in the Ballarat Goldfields. A rough and ready tent town soon sprang up, providing access to such services as butchers, tradesmen and sly grog

tents. By the late 1850's underground quartz mining was occurring in Barkly Street at Gum Tree Flat and nearby.

By 1870, Golden Point was part of the urban structure of Ballarat. Once the mines began to close, the precinct consolidated into a residential area. Further residential development occurred following the electrification of the former horse drawn trams in 1904. However, the tramline was used more for recreational purposes by allowing people to access Lake Wendouree. As most people travelled to work on foot or on bicycle, there was little real benefit in having the tram line to the people of Ballarat East, although the route was extended to include a spur line along Barkly Street to Cobden Street.

The main road network was laid out by 1861 while the local roads were laid out by 1870. The layout of roads reflected the undulating topography and the presence of mining and essentially remains unchanged from the 1880's.

The precinct features a mix of residential, commercial and cultural and community building in a range of styles from the 1850's to the 1940's including Victorian, Federation and Interwar periods. Typically buildings were either weatherboard or brick, with hipped or gabled rooves, clad with galvanised iron or terra cotta tiles.

The precinct is important visually as it allows for uninterrupted views across and through the precinct to trees. Buildings also had decorative detailing, verandahs and fences appropriate to the style of the building. Landmarks such as the corner shops and pubs along Grant Street, the Mount Pleasant and the former Golden Point schools, Pearces Park and the tree-lined ridge of Magazine Hill. Views along the local roads and the rear of buildings are also visually attractive. Other features of importance are the grass verges and bluestone kerb and channels and the mature exotic street trees.

MOUNT PLEASANT GOLDEN POINT HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Mount Pleasant/Golden Point Precinct is **historically** significant at a **LOCAL** level (AHC criterion A,1,3 and H.1).

(a) the place's importance in the course, or pattern, of Australia's natural or cultural history;

(a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;

(a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct is significant as it illustrates the transition from early alluvial mining practices to highly sophisticated large engineering companies involved in quartz mining that sustained Ballarat's prosperity well into the 20th and 21st century. It is associated with three different phases of gold mining in the Ballarat region, alluvial (1851-52), Deep Lead (1853-75) and quartz mining (1854-1914). To the north east on Golden Point, lies Old Post Office Hill, the scene of the original gold discovery, which formed together with the flats along the Yarrowee Creek, the earliest and one of the richest alluvial fields on the Ballarat goldfields. The area was part of the main diggings area of Ballarat, although rivaled by Eureka and Canadian Gully fields shortly afterwards. The hilly spur of Golden Point, Mt Pleasant and the White Horse Ranges stretching south, gave rise to a series of gullies and rich Deep Leads that ran both east towards the main north-south Canadian Lead and west to Yarrowee Creek and the north-south Golden Point Lead. This latter Lead was the main stream under the basalt plateau of West Ballarat that ran south to Sebastopol. By the 1850s Golden Point was seriously mined for quartz, especially the area called Gum Tree Flat.

The Precinct is also historically significant for its associational links with the development of mining law related to underground mining practices. The many disputed claims in the Precinct gave rise to a substantial growth in legal chambers and fine architectural buildings that lined Lydiard Street by 1860s. Many of these mining claims were the subject of landmark mining legal decisions. The decisions covered the changing regulations that governed alluvial diggers and the practice of shepherding, the introduction of Frontage Regulations that controlled the register and sizes of claims allowing small parties of men to introduce larger scale mining activities that were vital to Deep Lead mining operations. It paved the way for large scale operations associated with quartz mining within the area that called for outside financial, organizational and engineering skills.

The Precinct is also historically important for its ability to add to our understanding of the many layering and complexities associated with the steady influx of a cosmopolitan mining population, including a large Chinese group of miners, in the development of an increasingly more formal built environment that became dominated by Cornish and Welsh miners, experts in quartz mining. In particular the area is associated with the Welshman, Thomas Jones who mined the No 1 Lannberris Mine, and pioneered the techniques of early quartz mining. The early road system and subsequent consolidation as a residential area from the 1850s followed a typical pattern of developing land left vacant by mine closures. In consequence, the

urban fabric and local roads developed into a distorted grid that reflected the underlying auriferous deposits and geology of the area, and aspirations of a changing local community. The majority of roads were laid out in 1870s and 1880s. The Precinct is also associated with later development following the electrification in 1904 of the former horse-drawn trams and the extension of their route to include a spur along Barkly Street to the Cobden Street intersection in Mount Pleasant.

The potential for archaeological investigation extends to the former Old Post Office Hill and former Chinese miners village.

The Mount Pleasant/Golden Point Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique); (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct is a significant, highly heterogeneous mix of mid 19th century to early 20th century residential, commercial and institutional buildings developed within an intensely worked gold mining area. The predominance of residential buildings is a powerful illustration of the impact of new mining laws that were introduced following the nearby Eureka Rebellion and Commission of Inquiry in 1854 and 1855. This included permitting residential development to co-exist alongside industrial mining activities. The resulting security of tenure made possible by the introduction of Miners Rights (later termed Residential Area Right Leases) encouraged a more permanent settlement to occur. The many original and intact residential, commercial, and cultural/community development of the Mount Pleasant/Golden Point are important as a collection of buildings that testify to an area in a state of constant change between 1850s and the 1940s. Generally, as miners lived within close proximity to their mine operations, the wide range of sizes and styles of houses in close juxtaposition reflects the status and occupation of their residents, with wealthy mine managers and owners acquiring the largest and best sites for their homes. The most rudimentary cottages reflect the transitory nature of the early mining settlement in the northern area around Golden Point. In contrast, the predominately substantial later Victorian and Edwardian residences are associated with quartz mining and are dispersed evenly throughout the precinct. There is a strong correlation between different sized allotments, different architectural styles, various front and side setbacks, changing orientation of dwellings and apparent randomness in the location of cultural buildings and parks, with different types, prosperity, duration and location of former gold mining operations, and the subsequent speculative development that followed. In contrast with West Ballarat, the cultural significance of the architecture fabric of the precinct reflects the impact and vagaries of alluvial, Deep Lead and quartz gold mining operations, rather than an over arching urban planning ideal.

The Mount Pleasant/Golden Point Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique); (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The important visual qualities of the heritage landscape of Golden Point and its surrounds in conjunction with the former Flats of Yarrowee Creek, illustrates the evolution and development of a largely spontaneous unplanned historic 19th century mining precinct, a contextual landscape for the major historic mining tourist site of Sovereign Hill. In particular these qualities include the complex views from the elevated undulating hills of Mt Pleasant/Golden Point and the White Horse Ranges across the alluvial flats inclusive of Winters, Golden Point, Gum Tree Flats and Yarrowee Creek through the Precinct to other parts of Ballarat; especially the escarpment defining the edge of the basalt plateau of West Ballarat. The area itself forms a visually important contextual setting from many historic vantage points around the City of Ballarat. There are panoramic views of the area from the escarpment as well as Camp Street, the site of the former Police Camp, which overlooked the generally centralized alluvial diggings. As there are no large scale developments that dominate the skyline, early views remain, and it is possible to clearly see different aspects of the areas that were the subject of mid 19th century illustrations depicting life on the early gold diggings. The area provides a unique visual insight into the architectural aspirations that represent the changing life styles of different types of miners towards residential buildings during the transition from alluvial, Deep Lead and underground quartz mining. These examples include differing treatment of civic infrastructure development, including the design of road layout, kerbs, gutters and street planting. Other important aesthetic qualities include notably the corner shops, Grapes Hotel along Grant Street; Mount Pleasant and former Golden Point schools; Pearces Park and rotunda; and the tree-lined ridge of Magazine Hill.

The Mount Pleasant/Golden Point Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognized and highly valued by the local community for residential, commercial, cultural, religious, and recreational reasons. The area is socially and culturally significant for the legacy of paintings, illustrations and wealth of historical records that document the gold mining history of the area and its many mining disputes.

The Central Ballarat Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C and F).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;
(f) importance for its technical, creative, design or artistic excellence, innovation or achievement.

The Precinct is of importance for contributing to a history of the infrastructure development of this area particularly as identified by the extensive network of significantly intact bluestone spoon or channel drains, and bluestone inverted channel gutters with bluestone pitcher kerbs. The use of bluestone pitchers as the principal material to form much of this engineering infrastructure also demonstrates an early, and now rarely used construction technology, as well as the excellence of traditional craftsmanship. Many buildings and associated structures also demonstrate high standards of construction and craftsmanship.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 173 MOUNT PLEASANT/GOLDEN POINT PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
5-7	Albion Street	GOLDEN POINT VIC 3350
8	Albion Street	GOLDEN POINT VIC 3350
10	Albion Street	GOLDEN POINT VIC 3350
11	Albion Street	GOLDEN POINT VIC 3350
12	Albion Street	GOLDEN POINT VIC 3350
11	Anderson Street East	GOLDEN POINT VIC 3350
301	Barkly Street	GOLDEN POINT VIC 3350
316	Barkly Street	GOLDEN POINT VIC 3350
319	Barkly Street	GOLDEN POINT VIC 3350
321	Barkly Street	GOLDEN POINT VIC 3350
403	Barkly Street	GOLDEN POINT VIC 3350
524	Barkly Street	GOLDEN POINT VIC 3350
611	Barkly Street	GOLDEN POINT VIC 3350
613	Barkly Street	GOLDEN POINT VIC 3350
616-620	Barkly Street	GOLDEN POINT VIC 3350
617	Barkly Street	GOLDEN POINT VIC 3350
634A	Barkly Street	GOLDEN POINT VIC 3350
640-642	Barkly Street	GOLDEN POINT VIC 3350
1/823	Barkly Street	MOUNT PLEASANT VIC 3350
2/823	Barkly Street	MOUNT PLEASANT VIC 3350
3/823	Barkly Street	MOUNT PLEASANT VIC 3350
825	Barkly Street	MOUNT PLEASANT VIC 3350
825A	Barkly Street	MOUNT PLEASANT VIC 3350
4A	Blair Street	GOLDEN POINT VIC 3350
8	Blair Street	GOLDEN POINT VIC 3350
14	Blair Street	GOLDEN POINT VIC 3350
502	Bond Street	GOLDEN POINT VIC 3350
504	Bond Street	GOLDEN POINT VIC 3350
628	Bond Street	GOLDEN POINT VIC 3350
1/628	Bond Street	GOLDEN POINT VIC 3350
629-631	Bond Street	GOLDEN POINT VIC 3350
630	Bond Street	GOLDEN POINT VIC 3350
2	Boyle Street	GOLDEN POINT VIC 3350
4	Boyle Street	GOLDEN POINT VIC 3350

HO 173 MOUNT PLEASANT/GOLDEN POINT PRECINCT

1/6	Boyle Street	GOLDEN POINT VIC 3350
2/6	Boyle Street	GOLDEN POINT VIC 3350
3/6	Boyle Street	GOLDEN POINT VIC 3350
4/6	Boyle Street	GOLDEN POINT VIC 3350
8	Boyle Street	GOLDEN POINT VIC 3350
7	Bradshaw Street	GOLDEN POINT VIC 3350
1/8	Bradshaw Street	GOLDEN POINT VIC 3350
2/8	Bradshaw Street	GOLDEN POINT VIC 3350
3/8	Bradshaw Street	GOLDEN POINT VIC 3350
4/8	Bradshaw Street	GOLDEN POINT VIC 3350
106	Bradshaw Street	GOLDEN POINT VIC 3350
402	Bradshaw Street	GOLDEN POINT VIC 3350
403A	Bradshaw Street	GOLDEN POINT VIC 3350
13	Cameron Street	GOLDEN POINT VIC 3350
110	Cobden Street	MOUNT PLEASANT VIC 3350
8	Eddy Street	GOLDEN POINT VIC 3350
9	Eddy Street	GOLDEN POINT VIC 3350
104	Grant Street	GOLDEN POINT VIC 3350
1/216	Grant Street	GOLDEN POINT VIC 3350
2/216	Grant Street	GOLDEN POINT VIC 3350
208	Grant Street	GOLDEN POINT VIC 3350
211	Grant Street	GOLDEN POINT VIC 3350
217	Grant Street	GOLDEN POINT VIC 3350
221	Grant Street	GOLDEN POINT VIC 3350
302	Grant Street	GOLDEN POINT VIC 3350
305	Grant Street	GOLDEN POINT VIC 3350
408	Grant Street	GOLDEN POINT VIC 3350
411	Grant Street	GOLDEN POINT VIC 3350
502	Grant Street	GOLDEN POINT VIC 3350
309	Humffray Street South	GOLDEN POINT VIC 3350
408	Humffray Street South	GOLDEN POINT VIC 3350
506	Humffray Street South	GOLDEN POINT VIC 3350
516	Humffray Street South	GOLDEN POINT VIC 3350
522	Humffray Street South	GOLDEN POINT VIC 3350
524	Humffray Street South	GOLDEN POINT VIC 3350
602A	Humffray Street South	GOLDEN POINT VIC 3350
604	Humffray Street South	GOLDEN POINT VIC 3350
606	Humffray Street South	GOLDEN POINT VIC 3350
609	Humffray Street South	GOLDEN POINT VIC 3350
610	Humffray Street South	GOLDEN POINT VIC 3350
615	Humffray Street South	GOLDEN POINT VIC 3350
617	Humffray Street South	GOLDEN POINT VIC 3350
627	Humffray Street South	GOLDEN POINT VIC 3350
2A	James Street	GOLDEN POINT VIC 3350
6	James Street	GOLDEN POINT VIC 3350
8	James Street	GOLDEN POINT VIC 3350
12	James Street	GOLDEN POINT VIC 3350

HO 173 MOUNT PLEASANT/GOLDEN POINT PRECINCT

CA 3C	Magpie Street	GOLDEN POINT VIC 3350
1/8	Peake Street	GOLDEN POINT VIC 3350
2/8	Peake Street	GOLDEN POINT VIC 3350
53	Peel Street South	GOLDEN POINT VIC 3350
54	Peel Street South	GOLDEN POINT VIC 3350
65	Peel Street South	GOLDEN POINT VIC 3350
77	Peel Street South	GOLDEN POINT VIC 3350
79	Peel Street South	GOLDEN POINT VIC 3350
6	Steinfeld Street South	GOLDEN POINT VIC 3350
8	Steinfeld Street South	GOLDEN POINT VIC 3350
1/10	Steinfeld Street South	GOLDEN POINT VIC 3350
20	Steinfeld Street South	GOLDEN POINT VIC 3350
1	Stocks Street	GOLDEN POINT VIC 3350
3	Stocks Street	GOLDEN POINT VIC 3350

BLACK HILL HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 13 Black Hill Heritage Precinct Map, shown as “L” on the Proposed Ballarat Urban Heritage Precincts Map

The Black Hill Precinct is especially characterised by the Black Hill Public Park Reserve, by adjacent open and treed Crown Land to the south and east of the Reserve, and by a small number of cottages adjacent to the south-eastern boundary of the Reserve.

The Precinct centres around land surrounding the Black Hill Reserve. The northern boundary follows the rear of properties fronting Chisholm Street. The southern boundary generally follows Clissold Street. The East and west boundaries follow the parkland.

The Black Hill precinct includes the Black Hill public reserve and some privately owned land in Clissold and Chisholm Streets. Black Hill was originally known as ‘Bowdun’ by the Watha Wurrung people and was described as “Black Hill” by William Urquart the government surveyor who surveyed the region in 1851.

Black Hill forms part of the auriferous quartz ranges in the Ballarat region. The post contact history of Black Hill was characterised by gold mining over three different eras. Shallow alluvial mining occurred in 1851 – 1852, followed by the working of deep alluvial lead from 1853 – 1875 and finally the development and working of quartz reefs in the underlying bedrock in 1854-1918.

Black Hill was a difficult area to mine, as the area had no water supply to wash dirt and remove the gold. Miners had to bag the dirt, roll the bags down the hill and wash it in the Yarrowee Creek. By 1853/54 a windmill was erected to supply power to drive a four-head battery. In 1855 the battery was relocated to the Historical Overview

bottom of the hill and converted to run on steam power. It is thought that this battery was the first to be erected in Australia. Changes in technology also wrought changes to the landscape. From the late 1850's to early 1900's the landscape was pitted with shafts, mullock heaps, debris, tramway trestle bridges over the Yarrowee Creek and almost bare of vegetation. South of the Yarrowee Creek contained water reservoirs and mullock heaps on land now bounded by Princes, Morres and Newman Streets. Six companies were working the area by 1860.

Open cut mining commenced in earnest in the late 1850's by the Black Hill Quartz Crushing Company, later became the Black Hill Company Limited. Open cut mining became the sole method of mining until 1864. In 1861, a new sixty-head battery was installed and the Black Hill Company was processing 100 tons of quartz per week. The company purchased the surrounding claims and held about 40 acres, encompassing much of the hill and land to the south of Yarrowee Creek.

Open cut mining continued with tunnels extended more than half a mile long and the distinctive cliff began appearing from about 1863. Between 1862 and 1870, the company produced 1019 kg of gold, the processing site included a large steam driven battery which would have been located opposite the present Newman Street footbridge, a transport railway and foundry. By 1907 mining operations decreased and the area became popular as a public recreation facility. Reservation of land to form the reserve began in 1907 and the last reservation occurred in 1983. A brickworks and the Davey's Paint Factory also co-located on the Hill and as the ceased operations, became incorporated into the public reserve.

Revegetation activities occurred at various sites in the reserve. On Arbor Day in 1913, boys from state schools planted trees to make the hill "a more sheltered and attractive lookout". The Black Hill Progress Association was formed in 1917 with the aim of the beautification of the locality. On Arbor Day 1917, boys from Humffray Street, Black Hill and Queen Street State Schools planted over 1,000 pines in avenues. A lookout was also erected and paths formed from the streets to the reserve and lookout.

Further tree planting occurred to the 1980's by various community groups and the Council. The reserve also benefited from sustenance and relief work between 1927 and 1932, constructing pathways, planting trees and fencing. The tourist roadway was constructed in 1940 to provide a scenic look to the Reserve.

Key remnants of mining activity remains including the visible scarring and debris from the open cut era, vertical and horizontal shafts, foundations that may be attributed to the crushing battery, two concrete structures possibly used to house explosives and brick kerbing. A few residential buildings are located in the south east of the precinct and are Victorian vernacular in style. It is possible that one or two may date as early from the 1860's.

The Black Hill precinct is important as one of the few visible and generally untouched mining sites left in Ballarat. The site is pivotal in its role in the economic and social development of Ballarat from 1851 and for the remaining artifacts that can contribute to a better understanding of the place and the technology used. The site is important

for the views from the precinct to Ballart and as a significant landmark. afforestation. The precinct is also important as a location for public recreation and culturally important for its association with community groups.

BLACK HILL HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Black Hill Precinct is **historically** and **scientifically** significant at a **LOCAL** level (AHC criterion A, C.2 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;*
- (a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.*
- (c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;*

The Precinct is particularly significant as a cultural landscape that possesses mining sites which reflect the whole period of gold mining activity that characterized the Ballarat goldfields, including three different mining operations, alluvial mining between 1851-52, followed by deep alluvial lead mining from 1853-75 and the development of quartz reef mining from 1854-1918. In this regard the Precinct is significant as one of the few sites left in Ballarat with such visible evidence of gold mining operations, and one which has been largely untouched by later residential infill development.

The Precinct is associated with the auriferous quartz ranges that spawned a number of important gold leads in Ballarat's mining history which played a pivotal role since 1851 in the economic and social development of Ballarat, as well as the rest of Victoria.

The hill itself is of significance as it provides key examples of early open-cut quartz gold mining, ranging from an immense cutting, a deep gorge created by the open cut mining that was blasted out of the sides of the hill, to remnant tunnels and shafts, and foundations. The Precinct is also important for its association with various gold mining companies, particularly the Black Hill Quartz Mining Company, which later became the Black Hill Mining Company and was integrated into the Victoria United Mining Company that operated on Black Hill between c.1854 and c.1915.

The Precinct is of archaeological importance for its potential to yield artefacts and technology evidence associated with quartz mining, and later for its association with a Brickworks industry that operated on or near the site of the former Black Hill Quartz Mining Company crushing battery.

The Black Hill Precinct is **aesthetically and socially** significant at a **LOCAL** level (AHC criteria D.2, E.1 G.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);
(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.
(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Black Hill Precinct is a place of strong aesthetic value and is a significant foci of the Ballarat area. The attributes include the undeveloped park-like character of the hill itself, in such close proximity to the centre of Ballarat, the very visible south face of the hill with its dramatic appearance brought about by years of open-cut mining, and dark patches of *Pinus radiata*, re-forestation. The man-made cultural landscape visually defines the limits of 19th century urban growth of Ballarat in this area. The Black Hill Reserve also provides a unique vantage point, a popular lookout spot providing panoramic across the city of Ballarat and the surrounding districts to Mount Warrenheip and distant countryside views.

The Precinct is highly valued for recreational purposes by the local community. The area was reserved as early as 1907 as a public recreation area by the East Ballarat Council who wanted to ensure the land remained free from urban development. Various community groups in particular the Black Hill Progress Association. Black Hill, a community based voluntary association, with the aim of 'beautification of the locality' began re-forestation of parts of Black Hill, using predominantly *Pinus radiata*, not long afterwards. In 1917 in collaboration with local schools, they planted over 1000 pines in avenues and in 1940 a tourist road was constructed to the Black Hill lookout.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 174 BLACK HILL PRECINCT – NO SITES LISTED AS 'NOT SIGNIFICANT' TO THE PRECINCT.

HUMFFRAY STREET HERITAGE PRECINCT

Description / Precinct Boundaries

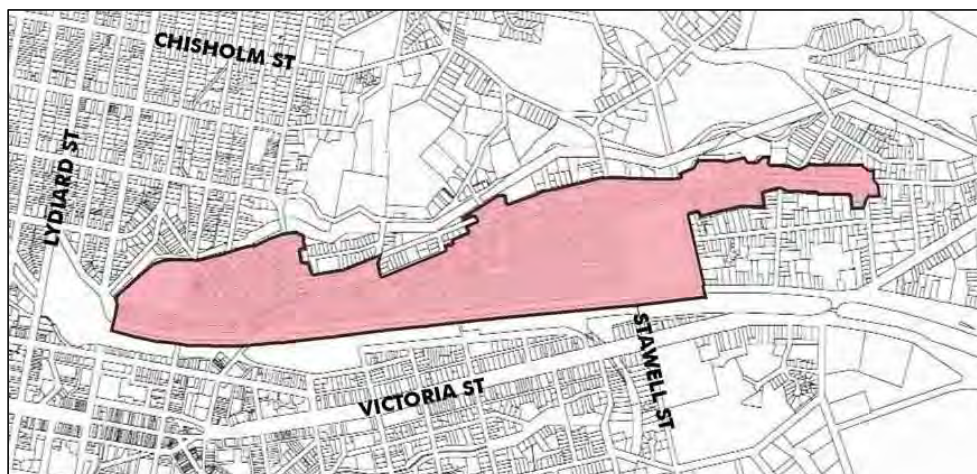


Figure 14 Humffray Street Heritage Precinct Map, shown as “M” on the Proposed Ballarat Urban Heritage Precincts Map

The Humffray Street Precinct is located to the north-east of the Ballarat City centre, within urban Ballarat. It is characterised by a heterogeneous combination of substantially intact, single storey, detached residential buildings constructed from around the 1860s to the 1940s and interspersed with a small number of commercial and cultural/community buildings constructed from the 1860s onwards. A small number of the residences also feature attached shops. The precinct is also characterised by the street tree plantings along many of the streets, including Humffray Street North, by areas of grassed and landscaped public and private open space including Eastern Oval, Russell Square, the reserve between Scotts Parade and the railway line, and a number of mature trees in private gardens. Furthermore, the precinct is distinguished by the retention of much of its original engineering infrastructure, particularly as identified by the numerous stretches of bluestone or brick spoon drains, and bluestone or brick kerbing and channel gutters.

Humffray Street North Precinct forms an important east-west axis down the centre of much of the Humffray Street North/Ballarat East Precinct and is one of the main north-eastern entries into Ballarat. The east boundary is effectively the narrowest part of the precinct and is formed along the outer boundaries of the easternmost allotments on the corner of Humffray Street North and Thompson Street. The south boundary runs from this intersection for a short distance to Haines Street generally along the rear boundaries of the allotments facing Humffray Street North. The remainder of the south boundary, from the east side of Haines Street to the west boundary, is formed by the edge of the Railway reserve, which is marked in parts by a high fence and is located adjacent to the wide landscaped reserve on the south side of Scotts Parade.

The west boundary of the Humffray Street North Precinct is bounded by the Yarrowee River Channel, which curves around the Eastern Oval and forms part of

the north boundary of the precinct until just east of Princes Street, where it becomes the Yarrowee River. From this point the north boundary then takes a staggered line eastwards. Between the rear boundaries of the allotments on the east side of Princes Street and Stawell Street this boundary generally runs along the north side of Morres Street, with an indentation to the north side of Finch Street between Newman and Queen Street, and a staggered extension to the junction of Oliver Street with the Yarrowee River between Queen and Rice Streets. Between Stawell Street and the east boundary, the north boundary runs along the north edge of the last stretch of Morres Street, and then generally along the rear boundaries of the allotments on the north side of Humffray Street North.

Humffray Street was formerly an early established bullock track but was once the main entry into Ballarat in the 1850's and 1860's. The precinct runs parallel to the railway line and the Yarrowee River channel and extends from near the Eastern Oval to the corner of Humffray and Thompson Streets. The precinct includes a mixture of commercial, cultural, educational and recreational places.

Parts of Humffray Street precinct was first surveyed by the government surveyor in the 1850's. Sections were subdivided into residential lots by Government and private subdivision. The layout of the regular lots reflects area surveyed by the government. The irregular shaped lots were in the areas where Miners Rights leases dominated.

The precinct is important as it contains many original and early examples of Victorian, Federation and Interwar residential, educational, community and cultural buildings. The residential buildings are typically one storey in height with hipped and /or gabled roofs, mostly clad in corrugated galvanised iron. They are predominantly made of horizontal weatherboard, occasionally brick, with either polychromatic or unpainted brick chimneys and verandahs. Other features are decorative detailing, timber doors and timber framed double hung or casement windows. The commercial and cultural/community buildings are typified by their domestic scale and one or two storey height, clad with galvanised corrugated iron or Marseilles pattern terra cotta tiles, horizontal weatherboards or brick walls, parapeted facades, timber doors and windows and decorative detailing.

Some of the key landmark buildings include the Brown Hill Uniting Church, the Eastern Oval Reserve and grandstand, the former Eastern Station Hotel, smaller shops along Humffray Street, the former Ballarat Female Refuge and former Alexandra Babies Home and the Greek Orthodox Church Hall. Also visually important are the significant mature trees in the precinct.

Other features of the precinct are the grass/gravel road shoulders and turf nature strips, open landscaped or treed reserves and stretches of unmade road, combine to provide a less urbanised setting. The retention of much of the original bluestone or brick spoon drains and bluestone or brick kerb and channelling is also a feature.

HUMFFRAY STREET HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Humffray Street Precinct is **historically** significant at a **LOCAL** level (AHC criterion A and H.1).

(a) the place's importance in the course, or pattern, of Australia's natural or cultural history;

(a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;

(a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct is associated with the early track, Humffray Street, the main access route that followed the Yarrowee River to the major alluvial gold finds near Black Hill and the northern-eastern section of Eureka Lead at Brown Hill, later known as Little Bendigo.

The Precinct is also of historical importance for its association with the rich quartz and open cut company mining at Black Hill, which was first exploited by a group of French miners, and the environmental degradation of the Yarrowee River and flats that followed. The environmental impact of the mining in this area had major repercussions with sludge, debris that contaminated dams and polluted water, causing havoc with flash flooding down stream. Water Boards were set up early in 1860s to provide safe and secure water supplies, and to reduce the high rates of diseases. Major engineering infrastructure projects were undertaken to control water courses. It included the construction of a vast network of bluestone and brick channels, storm water drains as well as bluestone, kerbs and deep gutters that are a vital part of Ballarat's heritage. The northern section of the Precinct (in the general area now bounded by Princes, Morres and Newman Streets) is historical important as an example of environmentally degraded mining wasteland land that was only reclaimed recently for the construction of Housing Commission houses in the 1950s, while other areas along the Yarrowee River channel remain vacant.

The Precinct is also of historical significance for its association with early recreational activities held in Ballarat, particularly at Eastern Oval which became the home of the Ballarat Cricket Club in the mid-1850s, and the headquarters of the Ballarat Bowling Club in the mid-1860s. The Yarrowee Creek that runs around the oval is an important example of early timber lined canalization project in 1860s which was later upgraded with bluestone in 1880s.

The Humffray Street/Ballarat East Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct demonstrates many original and intact design qualities associated with the residential, educational, and cultural/community development of this early mining area of East Ballarat between the 1860s and the 1940s.

The particular mining character of this area is important to Ballarat as it retains the atmosphere of an early mining settlement more strongly than elsewhere. By the late 1850s Humffray Street had progressed from a rough bullock-dray track following the ridge line above Yarrowee River to a wide thoroughfare fronted with houses and the occasional store and hotel. The urban consolidation of the 1860s was based on a town layout plan prepared by the town surveyor John Curruthers. By 1880s the area included a mixed collection of housing, hotels, industry such as brick kilns and tanneries, shops, schools and a Female Refuge, and associated Alexander Steam Laundry and Alexander Babies Home. There are several notable Churches; the Primitive Methodist Church designed by J.A Doane (1860 2) the Bible Christian Church designed by carpenter S. H. Lugg, (1867) and Methodist Brown Hill Church, designed by J.A Doane (1869).

The built form and urban appearance of Humffray Street is important as it still retains the organic form of an unplanned commercial thoroughfare, typical of many ephemeral 19th century mining settlement, featuring long winding roads and closed vistas. These particular historic streetscape qualities are created by commercial buildings with post verandahs located at street corners interspersed by a diverse collection of largely 19th century modest vernacular timber weatherboard cottages. Many of the rear lanes and side streets remain undeveloped, others contain evidence of very small early miners cottages.

Despite the quite varied residential allotment sizes and widths, the Precinct is architecturally important for its high numbers of substantially intact examples of small scale Victorian, Edwardian and Inter War style cottages and villas set in mature gardens. The subdivision pattern varies considerably with local streets of varying widths in the western sector of the Precinct, which also contains the smallest allotment sizes and dense small scale residential development, characterized by predominately single-storey timber weatherboard cottages.

The Humffray Street/Ballarat East Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique); (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct demonstrates important visual qualities that reflect the historical, cultural and architectural development of the Precinct, that contribute to its historic mining landscape setting. These qualities include the complex views across and through the Precinct to other parts of Ballarat including north to Black Hill. Other important aesthetic qualities include a variety of significant urban landmarks, a number of which can be seen from outside of the Precinct. These include but are not limited to the Brown Hill Uniting Church, the Eastern Oval reserve with its notable grandstand and mature trees including the W.G.Grace Dutch Elm, the former Eastern Station Hotel and various commercial and cultural/community buildings along Humffray Street North as well as the former Ballarat Female Refuge and former Alexandra Babies Home in Scotts Parade. Exotic trees such as mature Corsican and Monterey Pines mature oaks and other pines dominate many viewsapes, which

together with a number of grassy ovals provide an open recreational landscape focus within residential surroundings.

The important visual qualities of the Precinct are also enhanced by the gravel/grass road shoulders and turf nature strips or footpaths; by the stretches of unmade roads; and by private gardens with mature canopy trees. Together with the various treed and landscaped reserves they provide the Precinct with a less urbanised setting of considerable variety. Furthermore, the visual qualities of the precinct are specially enhanced by the retention of much of its original engineering infrastructure, particularly as identified by the numerous stretches of bluestone or brick spoon drains, and bluestone or brick kerbing and channel gutters

The Humffray Street/Ballarat East Precinct is **scientifically** significant at a **LOCAL** level (AHC criterion C.2 and F).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;

(f) importance for its technical, creative, design or artistic excellence, innovation or achievement.

The Precinct is of importance for contributing to our knowledge of the infrastructure development of East Ballarat associated with efforts to minimize the environmental degradation caused by mining operations. This is evidenced by intact stretches of bluestone and brick spoon drains, kerbing and channel gutters, and stormwater drainage channel with its unusual cast-iron pipe culvert. Furthermore the precinct contains highly significant specimens of Tasmanian Blue Gum (*Eucalyptus globulus subsp. globulus*) and Corsican Pine (*Pinus nigra var. corsicana*). There is also a notable specimen of a Dutch Elm (*Ulmus x hollandica*) that is also on the Significant Tree Register.

The Humffray Street/Ballarat East Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognized and highly valued by the local community for residential, religious, and recreational reasons.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 175 HUMFFRAY STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1	Coffield Street	BALLARAT EAST VIC 3350
2	Coffield Street	BALLARAT EAST VIC 3350
3	Coffield Street	BALLARAT EAST VIC 3350
4	Coffield Street	BALLARAT EAST VIC 3350
5	Coffield Street	BALLARAT EAST VIC 3350
6	Coffield Street	BALLARAT EAST VIC 3350
8	Coffield Street	BALLARAT EAST VIC 3350
10	Coffield Street	BALLARAT EAST VIC 3350
12	Coffield Street	BALLARAT EAST VIC 3350
14	Coffield Street	BALLARAT EAST VIC 3350
4	Davies Street	BALLARAT EAST VIC 3350
11	Ebden Street	BALLARAT EAST VIC 3350
13	Ebden Street	BALLARAT EAST VIC 3350
20	Ebden Street	BALLARAT EAST VIC 3350
32	Ebden Street	BALLARAT EAST VIC 3350
302	Finch Street	BALLARAT EAST VIC 3350
303	Finch Street	BALLARAT EAST VIC 3350
311	Finch Street	BALLARAT EAST VIC 3350
326	Finch Street	BALLARAT EAST VIC 3350
406	Finch Street	BALLARAT EAST VIC 3350
408	Finch Street	BALLARAT EAST VIC 3350
410	Finch Street	BALLARAT EAST VIC 3350
413	Finch Street	BALLARAT EAST VIC 3350
415	Finch Street	BALLARAT EAST VIC 3350
1/501	Finch Street	BALLARAT EAST VIC 3350
514	Finch Street	BALLARAT EAST VIC 3350
112	Haines Street	BROWN HILL VIC 3350
114	Haines Street	BROWN HILL VIC 3350
1/66	Humffray Street North	BALLARAT EAST VIC 3350
2/66	Humffray Street North	BALLARAT EAST VIC 3350
72	Humffray Street North	BALLARAT EAST VIC 3350
75	Humffray Street North	BALLARAT EAST VIC 3350
81	Humffray Street North	BALLARAT EAST VIC 3350
82	Humffray Street North	BALLARAT EAST VIC 3350
86	Humffray Street North	BALLARAT EAST VIC 3350

NO.	STREET NAME	SUBURB & POSTCODE
88	Humffray Street North	BALLARAT EAST VIC 3350
96	Humffray Street North	BALLARAT EAST VIC 3350
97	Humffray Street North	BALLARAT EAST VIC 3350
115	Humffray Street North	BALLARAT EAST VIC 3350
126	Humffray Street North	BALLARAT EAST VIC 3350
128	Humffray Street North	BALLARAT EAST VIC 3350
1/130	Humffray Street North	BALLARAT EAST VIC 3350
2/130	Humffray Street North	BALLARAT EAST VIC 3350
3/130	Humffray Street North	BALLARAT EAST VIC 3350
154	Humffray Street North	BALLARAT EAST VIC 3350
1/160	Humffray Street North	BALLARAT EAST VIC 3350
172	Humffray Street North	BALLARAT EAST VIC 3350
187	Humffray Street North	BALLARAT EAST VIC 3350
192	Humffray Street North	BALLARAT EAST VIC 3350
193	Humffray Street North	BALLARAT EAST VIC 3350
213	Humffray Street North	BALLARAT EAST VIC 3350
224	Humffray Street North	BALLARAT EAST VIC 3350
225B	Humffray Street North	BALLARAT EAST VIC 3350
229	Humffray Street North	BALLARAT EAST VIC 3350
1/232	Humffray Street North	BROWN HILL VIC 3350
2/232	Humffray Street North	BROWN HILL VIC 3350
3/232	Humffray Street North	BROWN HILL VIC 3350
4/232	Humffray Street North	BROWN HILL VIC 3350
5/232	Humffray Street North	BROWN HILL VIC 3350
6/232	Humffray Street North	BROWN HILL VIC 3350
1/238	Humffray Street North	BROWN HILL VIC 3350
2/238	Humffray Street North	BROWN HILL VIC 3350
3/238	Humffray Street North	BROWN HILL VIC 3350
4/238	Humffray Street North	BROWN HILL VIC 3350
5/238	Humffray Street North	BROWN HILL VIC 3350
249	Humffray Street North	BALLARAT EAST VIC 3350
252A	Humffray Street North	BROWN HILL VIC 3350
258B	Humffray Street North	BROWN HILL VIC 3350
261	Humffray Street North	BALLARAT EAST VIC 3350
267	Humffray Street North	BALLARAT EAST VIC 3350
276	Humffray Street North	BROWN HILL VIC 3350
287	Humffray Street North	BALLARAT EAST VIC 3350
289-291	Humffray Street North	BALLARAT EAST VIC 3350
293	Humffray Street North	BROWN HILL VIC 3350
295	Humffray Street North	BROWN HILL VIC 3350
299	Humffray Street North	BROWN HILL VIC 3350
317	Humffray Street North	BROWN HILL VIC 3350
319	Humffray Street North	BROWN HILL VIC 3350
321	Humffray Street North	BROWN HILL VIC 3350
323	Humffray Street North	BROWN HILL VIC 3350
339	Humffray Street North	BROWN HILL VIC 3350
341A	Humffray Street North	BROWN HILL VIC 3350

NO.	STREET NAME	SUBURB & POSTCODE
345A	Humffray Street North	BROWN HILL VIC 3350
349B	Humffray Street North	BROWN HILL VIC 3350
349	Humffray Street North	BROWN HILL VIC 3350
349A	Humffray Street North	BROWN HILL VIC 3350
355	Humffray Street North	BROWN HILL VIC 3350
359	Humffray Street North	BROWN HILL VIC 3350
4	Hunt Street	BALLARAT EAST VIC 3350
13	Hunt Street	BALLARAT EAST VIC 3350
2	Johns Street	BALLARAT EAST VIC 3350
101	Johns Street	BALLARAT EAST VIC 3350
116	Johns Street	BALLARAT EAST VIC 3350
122	Johns Street	BALLARAT EAST VIC 3350
203	Johns Street	BALLARAT EAST VIC 3350
205	Johns Street	BALLARAT EAST VIC 3350
302	Johns Street	BALLARAT EAST VIC 3350
304	Johns Street	BALLARAT EAST VIC 3350
21	King Street North	BALLARAT EAST VIC 3350
23	King Street North	BALLARAT EAST VIC 3350
8	Morres Street	BALLARAT EAST VIC 3350
17	Morres Street	BALLARAT EAST VIC 3350
20	Morres Street	BALLARAT EAST VIC 3350
23	Morres Street	BALLARAT EAST VIC 3350
29	Morres Street	BALLARAT EAST VIC 3350
104-106	Morres Street	BALLARAT EAST VIC 3350
108-110	Morres Street	BALLARAT EAST VIC 3350
118-120	Morres Street	BALLARAT EAST VIC 3350
618	Morres Street	BROWN HILL VIC 3350
712	Morres Street	BROWN HILL VIC 3350
714	Morres Street	BROWN HILL VIC 3350
716	Morres Street	BROWN HILL VIC 3350
720	Morres Street	BROWN HILL VIC 3350
103	Nelson Street	BALLARAT EAST VIC 3350
107	Nelson Street	BALLARAT EAST VIC 3350
1/109	Nelson Street	BALLARAT EAST VIC 3350
2/109	Nelson Street	BALLARAT EAST VIC 3350
116	Nelson Street	BALLARAT EAST VIC 3350
118	Nelson Street	BALLARAT EAST VIC 3350
208	Nelson Street	BALLARAT EAST VIC 3350
218	Nelson Street	BALLARAT EAST VIC 3350
301	Nelson Street	BALLARAT EAST VIC 3350
302	Nelson Street	BALLARAT EAST VIC 3350
304	Nelson Street	BALLARAT EAST VIC 3350
305	Nelson Street	BALLARAT EAST VIC 3350
306	Nelson Street	BALLARAT EAST VIC 3350
311	Nelson Street	BALLARAT EAST VIC 3350

NO.	STREET NAME	SUBURB & POSTCODE
313	Nelson Street	BALLARAT EAST VIC 3350
1/315	Nelson Street	BALLARAT EAST VIC 3350
2/315	Nelson Street	BALLARAT EAST VIC 3350
302	Nicholson Street	BALLARAT EAST VIC 3350
1A	Nunn Street	BALLARAT EAST VIC 3350
4	Nunn Street	BALLARAT EAST VIC 3350
4A	Nunn Street	BALLARAT EAST VIC 3350
7	Nunn Street	BALLARAT EAST VIC 3350
8	Nunn Street	BALLARAT EAST VIC 3350
4	Oliver Street	BALLARAT EAST VIC 3350
1/7	Oliver Street	BALLARAT EAST VIC 3350
2/7	Oliver Street	BALLARAT EAST VIC 3350
3/7	Oliver Street	BALLARAT EAST VIC 3350
11	Oliver Street	BALLARAT EAST VIC 3350
15	Oliver Street	BALLARAT EAST VIC 3350
18	Oliver Street	BALLARAT EAST VIC 3350
16	Otway Street North	BALLARAT EAST VIC 3350
202	Peel Street North	BALLARAT EAST VIC 3350
210	Peel Street North	BALLARAT EAST VIC 3350
1/222	Peel Street North	BALLARAT EAST VIC 3350
2/222	Peel Street North	BALLARAT EAST VIC 3350
3/222	Peel Street North	BALLARAT EAST VIC 3350
4/222	Peel Street North	BALLARAT EAST VIC 3350
232	Peel Street North	BALLARAT EAST VIC 3350
5	Princes Street North	BALLARAT EAST VIC 3350
15	Princes Street North	BALLARAT EAST VIC 3350
22	Princes Street North	BALLARAT EAST VIC 3350
23	Princes Street North	BALLARAT EAST VIC 3350
28	Princes Street North	BALLARAT EAST VIC 3350
32	Princes Street North	BALLARAT EAST VIC 3350
38	Princes Street North	BALLARAT EAST VIC 3350
1A	Rice Street	BALLARAT EAST VIC 3350
2	Rice Street	BALLARAT EAST VIC 3350
2A	Rice Street	BALLARAT EAST VIC 3350
4	Rice Street	BALLARAT EAST VIC 3350
6A	Rice Street	BALLARAT EAST VIC 3350
9A	Rice Street	BALLARAT EAST VIC 3350
10A	Rice Street	BALLARAT EAST VIC 3350
11	Rice Street	BALLARAT EAST VIC 3350
16	Rice Street	BALLARAT EAST VIC 3350
19	Rice Street	BALLARAT EAST VIC 3350
2-6	Rowe Street	BALLARAT EAST VIC 3350
5	Rowe Street	BALLARAT EAST VIC 3350
11	Rowe Street	BALLARAT EAST VIC 3350
14	Rowe Street	BALLARAT EAST VIC 3350
16	Rowe Street	BALLARAT EAST VIC 3350
17A	Rowe Street	BALLARAT EAST VIC 3350

NO.	STREET NAME	SUBURB & POSTCODE
1/36	Rowe Street	BALLARAT EAST VIC 3350
2/36	Rowe Street	BALLARAT EAST VIC 3350
34	Rowe Street	BALLARAT EAST VIC 3350
35	Scott Parade	BALLARAT EAST VIC 3350
41	Scott Parade	BALLARAT EAST VIC 3350
43	Scott Parade	BALLARAT EAST VIC 3350
45	Scott Parade	BALLARAT EAST VIC 3350
61-63	Scott Parade	BALLARAT EAST VIC 3350
65	Scott Parade	BALLARAT EAST VIC 3350
67	Scott Parade	BALLARAT EAST VIC 3350
69-71	Scott Parade	BALLARAT EAST VIC 3350
97	Scott Parade	BALLARAT EAST VIC 3350
103	Scott Parade	BALLARAT EAST VIC 3350
105	Scott Parade	BALLARAT EAST VIC 3350
111A	Scott Parade	BALLARAT EAST VIC 3350
113	Scott Parade	BALLARAT EAST VIC 3350
119	Scott Parade	BALLARAT EAST VIC 3350
135	Scott Parade	BALLARAT EAST VIC 3350
155	Scott Parade	BALLARAT EAST VIC 3350
157	Scott Parade	BALLARAT EAST VIC 3350
161	Scott Parade	BALLARAT EAST VIC 3350
195	Scott Parade	BALLARAT EAST VIC 3350
201	Scott Parade	BALLARAT EAST VIC 3350
221	Scott Parade	BALLARAT EAST VIC 3350
105	Stawell Street North	BALLARAT EAST VIC 3350
111	Stawell Street North	BALLARAT EAST VIC 3350
113	Stawell Street North	BALLARAT EAST VIC 3350
115	Stawell Street North	BALLARAT EAST VIC 3350
117	Stawell Street North	BALLARAT EAST VIC 3350
119	Stawell Street North	BALLARAT EAST VIC 3350
201	Stawell Street North	BALLARAT EAST VIC 3350
206	Stawell Street North	BROWN HILL VIC 3350
33	Thompson Street	BROWN HILL VIC 3350
37	Thompson Street	BROWN HILL VIC 3350
101	Thompson Street	BROWN HILL VIC 3350

BRIDGE MALL/BAKERY HILL HERITAGE PRECINCT

Description / Precinct Boundaries

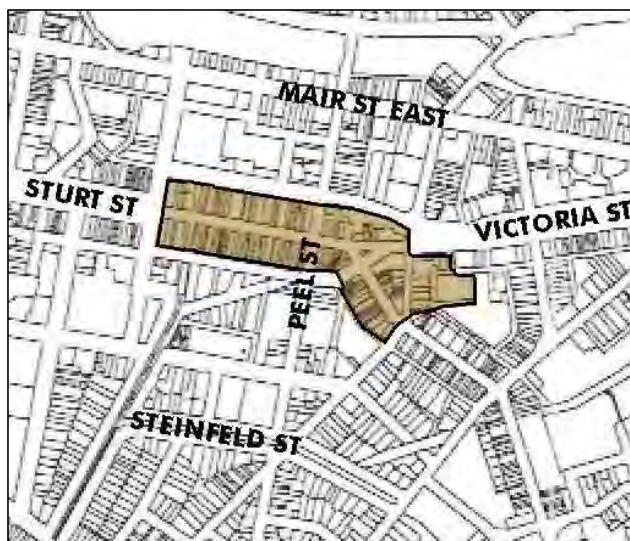


Figure 15 Bridge Mall / Bakery Hill Heritage Precinct Map, shown as "N" on the Proposed Ballarat Urban Heritage Precincts Map

Bridge Mall / Bakery Hill is a central Ballarat precinct comprising a predominantly built up commercial area with a few cultural/community and residential buildings.

The precinct focuses around Bridge Mall extending through to Curtis Street (which defines the northern border) and Little Bridge Street (which defines the southern border). The eastern section of the precinct includes the western ends of Porter Street, Main Road, Humffray Street South and Hopetoun Street (see map above). Grenville Street provides the western boundary.

Bridge Mall/Bakery Hill is one of the oldest commercial areas in Ballarat. The area was the main thoroughfare between the diggings in Ballarat Flat and the official township in Ballarat in the west. Bakery Hill played an important place in Australian history as being the meeting place for miners during the Eureka rebellion.

Buildings were known to exist along Main Road early as 1852. The first sale of land in Main Road occurred in February 1857. The government survey taken in 1857 shows mining activity occurring in this area.

Prior to 1862, Main Road extended to Grenville Street. The construction of the basic bridge over the Yarrowee Creek and the road became known as Bridge Street. The width of the bridge determined the narrow width of the road and traders built their premises in line with the road frontage. Regular flooding in the 1850's—1860's required the level of Bridge Street to be raised by six feet during that time.

The improved access Bridge Street afforded and improvements to Victoria Street encouraged traders to relocate from the further end of Main Road, consolidating Bridge Street as the main commercial focus. The horse drawn tram service and its

~~later electrification opened Bridge Street to the Ballarat west population. Public transport also enabled shopkeepers to relocate their families further out of the central Ballarat area.~~

~~By the 1960's Bridge Street had changed substantially and the verandahs were removed at this time and shopfronts altered. The pedestrian mall was created in 1981. Typically, the commercial and cultural/community buildings are 2 storey (some are 1 and 3 storey), constructed from brick or horizontal weatherboard, with hipped and/or gabled roof forms clad in galvanised corrugated iron; or tile and slate for cultural/community buildings. The buildings also feature dominant parapeted front facades, substantial clerestory rooflights, unpainted or rendered chimneys, early or original recessed shop fronts, timber or metal framed windows and individual detailing and decorations.~~

~~The key features of the precinct are the boulevard views west along Sturt Street and narrowed views east along Bridge Mall. Views to the rear of the buildings are seen from Little Bridge Street, Curtis, Victoria and Peel Streets. The precinct also retains some of the intact bluestone lanes, channels, gutters and kerbs. The kerbstones also important for the markings left in them by former verandah posts.~~

~~The precinct is architecturally important as it contains many original and early examples of Victorian, Federation and Interwar era commercial, cultural/community and residential buildings.~~

~~These include key landmark buildings such as the former Ballarat East Post Office, the former Munster Arms Hotel, the stepped series of brick buildings at 19–27 Victoria Street, the Bridge Mall Tavern, the former State Savings Bank of Victoria at 95–99 Bridge Mall and the 3 storey pair of buildings at 24–26 Bridge Mall.~~

BRIDGE MALL/BAKERY HILL HERITAGE PREICNCT STATEMENT OF SIGNIFICANCE

The Bridge Mall/Bakery Hill Precinct is **historically** significant at a **LOCAL** level (AHC criterion A & H.1).

A The place's importance in the course, or pattern, of Australia's natural or cultural history;

A.1 & H.1 Importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct is historically significant as the oldest commercial retail area in Ballarat, located in the river flats of Yarrowee River. The Precinct was the narrow pivotal meeting point in the 1850s, between Main Road and the chaotic alluvial mining and commercial centre which spread over Ballarat Flats, Yarrowee Creek and Golden Point, and the official government township surveyed in 1851 and the police camp on the high basalt escarpment overlooking Yarrowee River to the west.

The Precinct is historically significant for its association with the early settlement of East Ballarat from the 1850s as a result of gold discoveries in the area, and with the early development of this particular area of East Ballarat as a focus of commercial and cultural/community activities in contrast with the contemporary government town that was being established under neoclassical auspices of hierarchy and axial ordering in West Ballarat.

The Precinct is historically significant for its association with Bakery Hill located on the high ground at the eastern end of the precinct, the site of the much analyzed place in Australian history as the meeting point for miners during the Eureka Rebellion, which took place on the Ballarat goldfields in November and December 1854. Defiant miners gathered at Bakery Hill in their thousands, in full view of the government camp, to air their grievances over mining licenses and corrupt officialdom. They stood together on Bakery Hill as Peter Lalor symbolically raised the Eureka Flag, with its design modeled on the stars of the Southern Cross. No physical evidence of this event remains at Bakery Hill, but the location nevertheless maintains its historical importance. Bakery Hill was also the site of an important deep lead, which although rich, was difficult to work due to high water levels.

The Precinct is historically significant for its association with the early un-planned area of East Ballarat that was subject to major flooding, noise, proliferation of mine shafts, pudding machines, debris, noxious fumes, polluted water and general environmental degradation associated with gold mining. A basic bridge was erected across Yarrowee River in 1862 to provide passage over this area. The width of the bridge is reported to have determined the width of Bridge Street and accordingly, storekeepers built the frontages of their shops to align with the bridge. Throughout the 1850s and 1860s, floods regularly harassed Bridge and Main Street retailers and in the 1860s engineering works were carried out to raise the level of the street, up to six feet in some places. The present day level of Bridge Street is considerably higher than it was during the 1850s and 1860s.

In particular the continuing commercial activities along Main Road are an important reminder of its early role as a flourishing commercial and retail thoroughfare in the

1850s. The commercial buildings in Main Road, Bridge Mall and Victoria Street are also associated with continuing commercial developments in the precinct from the 1860s and into the early decades of the twentieth century. Associations with the cultural/community developments in the precinct from the 1860s and into the early decades of the twentieth century are identified by St Paul's Anglican Church, its associated Parish Hall and the former ANA Hall, which was formerly a Seventh Day Adventist Church.

The Bridge Mall/Bakery Hill Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct is architecturally important because it demonstrates many original and intact historic architectural design qualities associated with the commercial and cultural/community development of the area between the 1850s and the late 1930s.

The commercial buildings in the Bridge Mall/Bakery Hill Precinct range in their period of construction from Victorian to Federation to Inter-war, although a number of 19th-century facades have been remodeled. There is an outstanding group of very early 19th-century two-storey shops in the eastern area, which may date to the 1850s/60s and which are a scarce example of a particular type of shop design that is no longer common. Although most of the commercial buildings are two-storey in height there are a number of historic single-storey buildings within the precinct. There is also a pair of notable semi-detached three-storey buildings at 24-26 Bridge Mall and the distinctive three-storey hotel at 92 Bridge Mall (on the corner of Peel Street). Many of the historic commercial buildings feature parapets, which are a dominant element in the streetscape. The dominant style of heritage buildings in this precinct is commercial Victorian erected from c.1865-c.1900. There is also a small number of commercial Federation-styled buildings erected from c.1890-c.1918 and a small number of commercial Inter-war styled buildings. Some of these were erected on the sites of earlier buildings from c.1920-c.1940 while others are nineteenth-century buildings that have been substantially refaced.

The Precinct is architecturally important for the fine example of St Paul's Anglican Church in Humffray Street South, which forms a dramatic landmark on the skyline. Its architectural development is also important as an example of how the design and construction of buildings in this area were adapted to the risks associated with mining conditions of its site.

The Bridge Mall/Bakery Hill Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct is aesthetically significant for its distinctive heritage visual qualities that assist in understanding the historical, cultural and architectural development of the area, particularly in contrast with Ballarat West, and contribute to the gold-mining townscape of Ballarat. These views include the dramatic rear views of the buildings on the western basalt escarpment of Lydiard Street and Camp Street as well as internal rear views of the buildings within the precinct.

~~Most of these views originate from the distinctive topography of the Precinct whereby the rising ground in both directions provide enclosed vistas at each end and reinforce the sense of enclosure formed by the contrasting narrowness of Bridge Mall. These views include (but are not limited) to the confined commercial streetscape along Bridge Mall between Grenville Street and Peel Street South contrasted with the vista westwards up the wide boulevard of Sturt Street with its mature trees, memorials and dominant towers of the Town Hall and former Post Office on top of the escarpment; the views into and along Bridge Mall and Victoria Street from the eastern and western edges of the Precinct; the stepped facades of the significantly intact early buildings along the northern side of Victoria Street as it changes alignment from its intersection with Bridge Mall and inclines upwards towards the intersection with Humffray Street South; the complex vistas northwards along Humffray Street South and Main Road from the point where they intersect at a sharp angle on the south-eastern edge of the precinct; and the dynamic appearance of the rear facades of the commercial buildings throughout the Precinct, which can be seen from many locations both within and outside of the precinct, and comprise a variety of shapes, heights, sizes and building materials.~~

~~Other important aesthetic qualities are substantially demonstrated by the significant urban foci. Notably the distinctive former East Ballarat Post Office which forms a significant corner streetscape element at the south-eastern entry to the Precinct; St Paul's Anglican Church in Humffray Street South, which due to its position on the highest point of the precinct and its imposing tower, forms a dramatic landmark on the skyline and can be seen from many vantage points both within and outside of the Precinct; the Bakery Hill Tavern (the former Munster Arms Hotel) at 10 Victoria Street, and the stepped series of face brick buildings at 19-27 Victoria Street, which are both on prominent corner locations at the main eastern entry to the Precinct; the three-storey Bridge Mall Tavern (the former North Grand Hotel) at 92 Bridge Mall, which is also on a prominent corner location; the former State Savings Bank of Victoria at 95-99 Bridge Mall, which concludes the northern vista along Main Road; and the notable three-storey pair of buildings at 24-26 Bridge Mall, which can be seen from a number of vantage points both within and outside of the Precinct.~~

~~Further important aesthetic qualities are contributed by the well-detailed, stepped face brick retaining wall with a bluestone base and a rendered moulded capping and the short lengths of cast iron palisade fence with a bluestone plinth and piers of the former Ballarat East Post Office; and by the cast iron gates with heavy bluestone piers and the substantial and intricate cast iron palisade fence on a bluestone plinth of the St Paul's Anglican church site.~~

~~The Bridge Mall/Bakery Hill Precinct is **scientifically** significant at a **LOCAL** level (AHC criterion C.2).~~

~~*(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.*~~

~~*(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.*~~

~~The Precinct is of importance for contributing to a history of the infrastructure development of Ballarat East, as identified by the significantly intact bluestone lanes, channels, gutters and kerbs. The kerbstones are of additional significance for the markings left in them by former verandah posts.~~

The Bridge Mall/Bakery Hill Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

~~(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;~~

~~The Precinct is recognized and highly valued by the local community for commercial and religious reasons.~~

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 176 BRIDGE MALL/BAKERY HILL PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
Rear 10	Bridge Mall	BALLARAT CENTRAL VIC 3350
Rear 34-40	Bridge Mall	BALLARAT CENTRAL VIC 3350
Rear 20-22	Bridge Mall	BALLARAT CENTRAL VIC 3350
Rear 34	Bridge Mall	BALLARAT CENTRAL VIC 3350
Rear 52	Bridge Mall (49 Bridge Street)	BALLARAT CENTRAL VIC 3350
Rear 54	Bridge Mall (49 Bridge Street)	BALLARAT CENTRAL VIC 3350
Rear 57	Bridge Mall (fronting Curtis Street)	BALLARAT CENTRAL VIC 3350
2-4	Bridge Mall	BALLARAT CENTRAL VIC 3350
14	Bridge Mall (extending to 11 – 15 Little Bridge Street frontage)	
16	Bridge Mall	BALLARAT CENTRAL VIC 3350
21	Bridge Mall	BALLARAT CENTRAL VIC 3350
23	Bridge Mall	BALLARAT CENTRAL VIC 3350
38 - 40	Bridge Mall (extending to Little Bridge Street frontage)	
47– 49	Bridge Mall (extending to Curtis Street frontage)	BALLARAT CENTRAL VIC 3350
63 – 65	Bridge Mall	BALLARAT CENTRAL VIC 3350
79-81	Bridge Mall	BALLARAT CENTRAL VIC 3350
83	Bridge Mall	BAKERY HILL VIC 3350
Shop 3	Coliseum Walk	BALLARAT CENTRAL VIC 3350
Shop 5	Coliseum Walk	BALLARAT CENTRAL VIC 3350
26	Curtis Street	BALLARAT CENTRAL VIC 3350
28	Curtis Street	BALLARAT CENTRAL VIC 3350
30	Curtis Street	BALLARAT CENTRAL VIC 3350
32	Curtis Street	BALLARAT CENTRAL VIC 3350
34	Curtis Street	BALLARAT CENTRAL VIC 3350
22 – 24	Curtis Street	BALLARAT CENTRAL VIC 3350
58	Curtis Street	BALLARAT CENTRAL VIC 3350
102	Curtis Street	BALLARAT CENTRAL VIC 3350
46	Curtis Street (extending to a depth of 13 metres)	BALLARAT CENTRAL VIC 3350

NO.	STREET NAME	SUBURB & POSTCODE
1	Humffray Street	BAKERY HILL
8	Humffray Street	BAKERY HILL
5	Little Bridge Street	BALLARAT CENTRAL VIC 3350
23	Little Bridge Street	BALLARAT CENTRAL VIC 3350
26	Little Bridge Street	BALLARAT CENTRAL VIC 3350
28	Little Bridge Street	BALLARAT CENTRAL VIC 3350
30	Little Bridge Street	BALLARAT CENTRAL VIC 3350
32	Little Bridge Street	BALLARAT CENTRAL VIC 3350
33	Little Bridge Street	BALLARAT CENTRAL VIC 3350
45	Little Bridge Street	BALLARAT CENTRAL VIC 3350
47	Little Bridge Street	BALLARAT CENTRAL VIC 3350
110	Little Bridge Street	BALLARAT CENTRAL VIC 3350
112	Little Bridge Street	BALLARAT CENTRAL VIC 3350
25	Little Bridge Streett	BALLARAT CENTRAL VIC 3350
11	Main Road	BAKERY HILL
CA1	Norwich Plaza Bridge Mall	BALLARAT CENTRAL VIC 3350
2	Victoria Street	BAKERY HILL
2A	Victoria Street	BAKERY HILL
4	Victoria Street	BAKERY HILL
6	Victoria Street	BAKERY HILL
6A	Victoria Street	BAKERY HILL
6B	Victoria Street	BAKERY HILL
8	Victoria Street	BAKERY HILL

VICTORIA STREET HERITAGE PRECINCT

Description / Precinct Boundaries

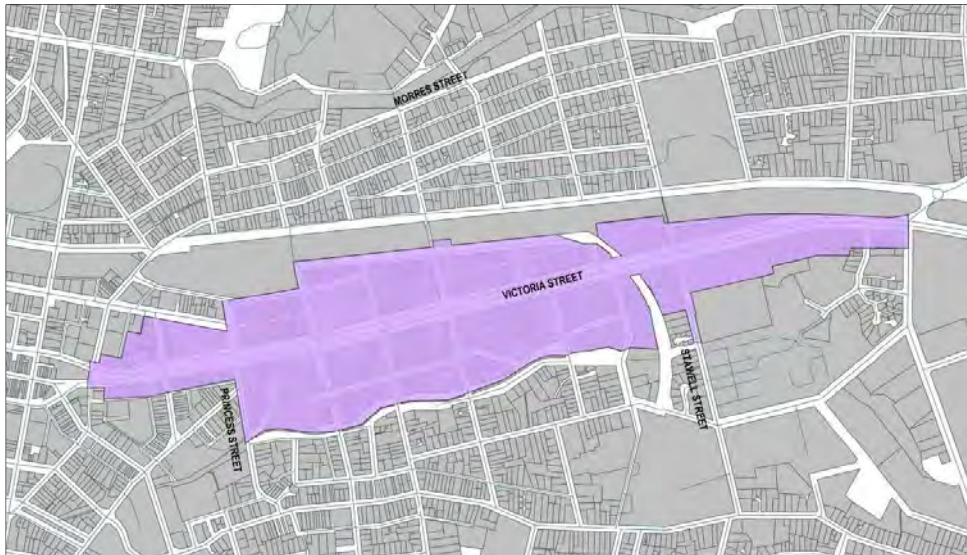


Figure 16 Victoria Street Heritage Precinct Map, shown as “O” on the Proposed Ballarat Urban Heritage Precincts Map

The Victoria Street Precinct is located to the east of the Ballarat City centre, within urban Ballarat. It is characterised by a heterogeneous combination of substantially intact residential buildings constructed from around the 1860s to the 1940s and interspersed with a notable collection of educational and cultural/community buildings constructed from the 1870s onwards. A small number of the residences also feature attached shops, and there is one former hotel building. The precinct is also characterised by the formal layout and mature to semi-mature tree avenues and plantings along Victoria Street, by other street tree plantings along many of the other streets in the precinct, and by scattered areas of grassed and landscaped public and private open space including McKenzie Reserve, school grounds, and a number of mature private gardens. Furthermore, the precinct is distinguished by the substantial integrity of much of its original engineering infrastructure, particularly as identified by the extensive network of spoon drain channels constructed of bluestone pitchers.

The precinct is effectively terminated at its easternmost end by Fussell Street and at its westernmost end by Humffray Street and the Bridge Mall/Bakery Hill Heritage Precinct. Running between Fussell Street and Humffray Street, Victoria Street provides a distinctive east-west oriented axis down the centre of the precinct, and forms the main eastern entry into Ballarat. The Melbourne to Ballarat railway line forms most of the northern boundary of the precinct (between Princes and Fussell Streets) and the Specimen Vale Creek Channel forms most of the southern boundary of the precinct (between Princes Street and Stawell Street).

The remaining part of the north boundary (to the west of Princes Street) is formed by a combination of the south side of part of Mair Street, the northern side of the small Public Reserve off Pearce Street, and the rear (north) boundaries of a small number of allotments facing Victoria Street adjacent to its intersection with Humffray Street North. The remaining part of the south boundary, to the east of Stawell Street, is

formed by the rear (south) boundaries of the allotments facing Victoria Street except for the land known as the former Ballarat Orphanage, 200 Victoria Street where the southern boundary runs approximately through the centre of this property which is along the southern boundary of the future Diary Lane. To the west of Princes Street, the precinct is bordered on the south-west side by the Ballarat East Civic Heritage Precinct, which abuts Hopetoun Street on its south edge and Princes Street on its west edge.

The Victoria Street precinct extends from Humffray Street to Fussell Street, generally between the railway line and the Specimen Vale Creek channel.

Development in the Victoria Street area was hastened by the gold discoveries. Travellers from Melbourne crossed over Woodman's Hill, towards the Yarrowee Creek along ground that became the line of Eureka Street and then along the ridge line between Specimen Creek and the Yarrowee Creek which later became the line of Victoria Street. The street is the main entry point into Ballarat from Melbourne since the 1850's.

Settlements clustered around the gold leads in the area, populated mostly from the Irish community. In 1854, the western end of Victoria Street at Bakery Hill was the site of a large meeting that was the prelude to the Eureka Stockade uprising. By the late 1850's, Victoria Street had changed from a rough track to a wide thoroughfare fronted with houses and the occasional store or hotel.

The dominant tree lined character of Victoria Street commenced in the 1860's with the planting of Tasmanian Blue gums, grown from seeds obtained by Baron von Mueller. The plantings extended from Princes Street to the Caledonian Bridge. All but one was later replaced with oaks in 1891.

Throughout the 1880's – 1890's most of the streets in the area were formed and substantial bluestone drains constructed, while from the mid 1890's – 1900's, substantial investment was made into beautifying Victoria Street. The area remains mostly as surveyed in the 1870's. Allotments were mainly regular in shape but some of those in the southern section of the precinct reflect the undulating topography and tenure held under Miners Right leases for many years.

The precinct is important as it shows many original and early examples of Victorian, Federation and Inter War era residential, educational, cultural/community places built between 1860's – 1940's. The precinct is also important as the site of the earliest establishment of a place for Catholic worship in the district, being the St Alipius group of buildings.

Typically, the residential buildings, associated shops and the former hotel are single storey in height, with hipped and/or gabled roofs clad in either corrugated galvanised iron, slate or Marseilles pattern terra cotta tiles and have eaves and verandahs. Homes were generally constructed from weatherboard or brick, with unpainted brick chimneys, decorative detailing, timber doors and timber double hung or casement windows. The educational and cultural/community buildings are one or two storey in height, steeper hipped or gabled roofs clad in corrugated galvanised iron, constructed from brick, bluestone or weatherboard, with timber windows and doors and complex and individual detailing and decoration.

Key landmark buildings include the former Baptist Church, former Sisters of Mercy convent, the St Alipius church, presbytery, hall and kindergarten. Other landmarks include the Ballarat East School No. 1998, the former hotel at the eastern end of Victoria Street, the road bridge and footbridge over the Buninyong branch line, the remains of the Sunshine Biscuit factory, the Old Curiosity shop at 7 Queen Street.

The important visual qualities of the precinct include the formal landscape treatments in Victoria Street and the mature and juvenile street tree planting (consisting of English oak, plane, Pin Oaks, claret and other ash varieties, liquid ambers, Red Flowering Gums, Horse Chestnut, ornamental plum and Box Elders), the grass/gravel road shoulders, open grassed landscaped private and public open spaces and private gardens with mature canopy trees. The landscaped and treed areas give the precinct a garden setting, particularly along Victoria Street. The intact bluestone channels, gutters and kerbs, early short span integrated concrete spoon drains and asphalt footpaths are scientifically important as they show the development of Ballarat's East engineering infrastructure.

Victoria Street Heritage Precinct Statement of Significance

The Victoria Street Precinct is **historically** significant at a **LOCAL** level (AHC criterion H.1).

A The place's importance in the course, or pattern, of Australia's natural or cultural history;
A.3 Importance in exhibiting unusual richness or diversity of built landscapes and cultural features.
A.4 & H.1 Importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct is particularly significant as a cultural landscape that is associated with the whole period of gold mining activity that once characterized the Ballarat goldfields, and in particular the spontaneous clustered settlements of the early alluvial miners on the Eureka Lead, Black Hill Lead and Old Gravel Pit Lead which prompted one of the richest alluvial gold mining rushes in the world between 1852-53.

The Precinct is historically important for its association with the site at western end of Victoria Street at Bakery Hill of a large meeting in 1854 of thousands of miners, which was the prelude to the Eureka Stockade uprising later that year.

The Precinct, in particular Victoria Street boulevard, is historically important as an early example of civic beautification movement that characterized the development of the whole of Ballarat and resulted in a visually unified townscape of beauty. The creation of a wide elegant boulevard designed in the European tradition, through a chaotic early alluvial and deep lead gold mining area reflects the community's social aspirations and universally admired aesthetic. The subsequent layout of many of the other roads during the 1870s in a partly distorted grid pattern is important as it illustrates attempts by bureaucracy to introduce a formal urban plan over the haphazard development of the area that was dominant by mining for many years in the alluvial creeks and flats and quartz-rich hills.

Victoria Street, unlike Sturt Street its counterpart in West Ballarat, which was also originally a rough cattle stock route, was not part of W.S. Urquhart's city plan. By the late 1850s, although Victoria Street had progressed to a wide thoroughfare with houses, the occasional store and hotels, the allotments remained un-surveyed. But by 1861 a map compiled by surveyor J. Brache shows the wide street reservation with most of the buildings now sited within the allotment boundaries and not on the street reserve. The area was also substantially clear of any mining works, which allowed for the development of residential buildings.

The dominant tree lined boulevard design of Victoria Street commenced in the 1860s when Tasmanian Blue Gums were planted. Blue Gum seeds were sent from Dr Mueller of the Melbourne Botanic gardens but by 1891 they were replaced with European oaks. The beautification project continued throughout the 1880s and 1890s when most of the streets in the area were formed and substantial bluestone spoon drains constructed. Early in 1900s the newly electrified tram system ran along Victoria Street to the Stawell Street terminus and by 1914 the street was regarded as the formal entrance to Ballarat from Melbourne, designed in a manner to compare

favourably with beautiful streets of the world. In 1917 planting began for Avenue of Honour with plantings continuing to 1930.

The Precinct is historically important as it demonstrates a continuous progression of urban development from the 1860s- early 1960s. The Precinct is important for its association with the earliest establishment of a place for Catholic worship in the district and development of the St Alipius Catholic parish as well as the Sisters of Mercy convent and school. Many significant historic sites are located along Victoria Street and include the sites of the St Alipius complex (church, presbytery and kindergarten), the St Alipius School, former Convent of Sisters of Mercy, and the Victoria Bowling Club and greens. It is also identified by the former Ballarat Orphanage first established in 1865 (but limited to the former Toddlers' Block; former Ballarat Orphanage State School No. 1256; memorial front garden with the Magnolia tree; two Dutch Elm trees near the front boundary; western brick boundary wall; foundation stone to the former Administrative Block, foundation stone to the former William Farrell Cottage; memorial obelisk in front of the former William Farrell Cottage with the lower plaque from 1974; along with the foundation stone to the former Service Block, Dining Room, Intermediate Cottage & Swimming Pool). Other significant larger sites include the former Ballarat East (Queen Street) Primary School No.1998 on the corner of Queen Street and Dyte Parade, the St Alipius Hall and tennis courts in Hopetoun Street, McKenzie Reserve in King Street South, and reserve adjacent to Pearse Street. The extension of the tram system in the early 1900s encouraged wealthy residential development in the area, especially the small scale retail corner shops.

The Victoria Street Precinct is **architecturally and aesthetically** significant at a **LOCAL** level.(AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct is architecturally important as it demonstrates many original and intact architectural design qualities associated with the residential, educational, and cultural/community development of this area of East Ballarat between the 1860s and the 1940s as well as some early 1960s residences.

It is important for its heterogeneous mixture of substantially intact residential buildings of varying styles which were constructed from the late 1850s to 1940s/50s, and which are distributed almost equally throughout the Precinct. Although constructed in different eras, the residences tend to be similar in scale, of a small size and simple form with dominant chimneys. There is an important collection of early small Victorian cottages and vernacular styled timber miners cottages scattered throughout the precinct, which reinforces the visually dominant historic mining character of the area and its historical context with Eureka Stockade.

The residential allotment sizes vary considerably, many are based on the 19th century Government survey others are based on the original sizes and shapes of land selected and leased by individuals under Miner's Right leases (later termed as Residential Area Right leases) from the mid-19th century onwards. In the southern section, adjacent to the Specimen Vale Creek Channel allotment sizes are predominantly irregular and reflect the distinctly undulating topography, as well as Crown land held under Miner's Right lease for many decades. While the most regular, government surveyed allotments can be seen along the axial line of Victoria Street.

The Precinct is aesthetically significant as it demonstrates important visual qualities that reflect the historical, cultural and architectural development of the Precinct, and contribute to the setting of Ballarat. Victoria Street is a place of strong aesthetic value and is a significant foci of the Ballarat area and provides the setting for a variety of significant urban landmarks, a number of which can be seen from outside of the Precinct. Other attributes include the complex views across and through the precinct to other parts of Ballarat including to the northern and southern areas of East Ballarat, to Black Hill, to the Specimen Vale Creek Channel, to the city centre, and to the adjacent former civic area of the municipality of Ballarat East.

The important visual qualities of the Precinct are also enhanced by the mature street trees that are a significant component of most of the streetscapes; by the gravel/grass road shoulders and turf nature strips or footpaths; and by extensive areas of landscaped public open spaces including school grounds and many private gardens with their mature canopy trees. These landscaped and treed areas provide the Precinct with a garden setting of considerable variety, particularly along the Victoria Street axis. The McKenzie Reserve and the grassed and treed slopes along much of the southern boundary, which provide a scenic 'rural' focus to this edge of the Precinct

Furthermore, the visual qualities of the Precinct are specially enhanced by the continued use of the former tram shelters, and by the substantial integrity of the original engineering infrastructure, particularly as identified by the extensive network of spoon drain channels constructed of bluestone pitchers.

The architectural and aesthetic important features of the Precinct are associated with many educational and cultural/community buildings including, but not limited to, the former Baptist Church, the former convent of the Sisters of Mercy, the distinctive complex of buildings associated with the St Alipius parish - the presbytery, church, and kindergarten as well as the former Ballarat East (Queen Street) School No. 1998, which forms an important focus to arrival from the only entry point on the northern side of the Precinct; the former hotel building at the eastern end of Victoria Street; the former Toddlers' Block, front memorial garden with Magnolia tree and two Dutch Elm trees, western brick boundary wall and various plaques and foundation stones at the former Ballarat Orphanage site, which has a distinctive presence in this part of Victoria Street; the road bridge and footbridges over the former branch railway line to Buninyong, the remains of the former Sunshine Biscuit Factory building on the corner of Victoria Street and East Street North; the highly decorated 'Old Curiosity Shop' and its surrounds at 7 Queen Street; the distinctive terrace row at 152-162 Victoria Street and the shops at the various corner intersections with Victoria Street.

The Victoria Street Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C2).

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Precinct is of importance for contributing to a history of the infrastructure development of East Ballarat, as identified by the extensive network of significantly intact bluestone channels, gutters and kerbs, the early short span integrated concrete kerb and spoon gutters and the asphalt footpaths. Furthermore the precinct contains a highly significant specimen of Tasmanian Blue Gum (*Eucalyptus globulus subsp. globulus*), which is believed to be some 140 years old.

The Victoria Street Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;

The Precinct is recognized and highly valued by the local community for residential, educational, religious, and recreational reasons. Of particular social significance is the surviving fabric at the former Ballarat Orphanage site (particularly the former Toddlers' Block and former Ballarat Orphanage State School No. 1256, memorial garden with Magnolia tree and the western brick boundary wall facing Stawell Street), which engenders strong personal associations for the thousands of former child residents and their families, as well as others that were part of the orphanage and wider communities, for its previous long-serving function as a welfare facility. It also has significance for the Aboriginal community of Ballarat, for the role it played in the history of the stolen generations.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 177 VICTORIA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
2	Chamberlain Street	BALLARAT EAST VIC 3350
6	Chamberlain Street	BALLARAT EAST VIC 3350
8	Chamberlain Street	BALLARAT EAST VIC 3350
CA 1	Corbett Street	BALLARAT EAST VIC 3350
3	Corbett Street	BALLARAT EAST VIC 3350
40	Corbett Street	BALLARAT EAST VIC 3350
42	Corbett Street	BALLARAT EAST VIC 3350
4	Dyte Parade	BALLARAT EAST VIC 3350
12	Dyte Parade	BALLARAT EAST VIC 3350
18	Dyte Parade	BALLARAT EAST VIC 3350
48	Dyte Parade	BALLARAT EAST VIC 3350
50	Dyte Parade	BALLARAT EAST VIC 3350
56	Dyte Parade	BALLARAT EAST VIC 3350
4	East Street North	BALLARAT EAST VIC 3350
6	East Street North	BALLARAT EAST VIC 3350
8	East Street North	BALLARAT EAST VIC 3350
10	East Street North	BALLARAT EAST VIC 3350
12	East Street North	BAKERY HILL VIC 3350
14	East Street North	BALLARAT EAST VIC 3350
16	East Street North	BALLARAT EAST VIC 3350
18	East Street North	BALLARAT EAST VIC 3350
20	East Street North	BALLARAT EAST VIC 3350
22	East Street North	BALLARAT EAST VIC 3350
24	East Street North	BALLARAT EAST VIC 3350
1	Gent Street	BALLARAT EAST VIC 3350
5	Gent Street	BALLARAT EAST VIC 3350
8	Gent Street	BALLARAT EAST VIC 3350
20	Gent Street	BALLARAT EAST VIC 3350
23	Gent Street	BALLARAT EAST VIC 3350
28	Gent Street	BALLARAT EAST VIC 3350
30	Gent Street	BALLARAT EAST VIC 3350
1/60	Gent Street	BALLARAT EAST VIC 3350
2/60	Gent Street	BALLARAT EAST VIC 3350
1	Glazebrook Street	BALLARAT EAST VIC 3350

5	Glazebrook Street	BALLARAT EAST VIC 3350
---	-------------------	------------------------

HO 177 VICTORIA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
17	Glazebrook Street	BALLARAT EAST VIC 3350
24	Glazebrook Street	BALLARAT EAST VIC 3350
28	Glazebrook Street	BALLARAT EAST VIC 3350
29	Glazebrook Street	BALLARAT EAST VIC 3350
30	Glazebrook Street	BALLARAT EAST VIC 3350
31	Glazebrook Street	BALLARAT EAST VIC 3350
34	Glazebrook Street	BALLARAT EAST VIC 3350
38	Glazebrook Street	BALLARAT EAST VIC 3350
2	Hopetoun Street	BALLARAT EAST VIC 3350
3	Hopetoun Street	BALLARAT EAST VIC 3350
8	Hopetoun Street	BALLARAT EAST VIC 3350
10	Hopetoun Street	BALLARAT EAST VIC 3350
10A	Hopetoun Street	BALLARAT EAST VIC 3350
12	Hopetoun Street	BALLARAT EAST VIC 3350
18	Hopetoun Street	BALLARAT EAST VIC 3350
28	Hopetoun Street	BALLARAT EAST VIC 3350
38	Hopetoun Street	BALLARAT EAST VIC 3350
48	Hopetoun Street	BALLARAT EAST VIC 3350
56	Hopetoun Street	BALLARAT EAST VIC 3350
58	Hopetoun Street	BALLARAT EAST VIC 3350
18	Humffray Street North	BAKERY HILL VIC 3350
7	King Street North	BALLARAT EAST VIC 3350
6	King Street South	BALLARAT EAST VIC 3350
88	Mair Street East	BAKERY HILL VIC 3350
2	Otway Street North	BALLARAT EAST VIC 3350
2A	Otway Street North	BALLARAT EAST VIC 3350
4	Otway Street North	BALLARAT EAST VIC 3350
5	Otway Street North	BALLARAT EAST VIC 3350
7	Otway Street South	BALLARAT EAST VIC 3350
13	Otway Street South	BALLARAT EAST VIC 3350
2	Princes Street North	BALLARAT EAST VIC 3350
13	Princes Street South	BALLARAT EAST VIC 3350
1	Queen Street North	BALLARAT EAST VIC 3350
2	Queen Street South	BALLARAT EAST VIC 3350
15	Queen Street South	BALLARAT EAST VIC 3350
2	Rodier Street	BALLARAT EAST VIC 3350
8	Rodier Street	BALLARAT EAST VIC 3350
15	Rodier Street	BALLARAT EAST VIC 3350
21	Rodier Street	BALLARAT EAST VIC 3350
1	Stawell Street North	BALLARAT EAST VIC 3350
6	Trevor Street	BALLARAT EAST VIC 3350
31-47	Victoria Street	BAKERY HILL VIC 3350
75-77	Victoria Street	BALLARAT EAST VIC 3350
1/242	Victoria Street	BALLARAT EAST VIC 3350
1/219	Victoria Street	BALLARAT EAST VIC 3350
1/206	Victoria Street	BALLARAT EAST VIC 3350

HO 177 VICTORIA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1/137	Victoria Street	BALLARAT EAST VIC 3350
2/137	Victoria Street	BALLARAT EAST VIC 3350
3/137	Victoria Street	BALLARAT EAST VIC 3350
200	Victoria Street Former Ballarat Orphanage. The fabric of no significance is: <ul style="list-style-type: none"> • Former Administration Block (except foundation stone). • Former William Farrell Cottage (except for memorial obelisk in the front garden with the lower plaque from 1974 and foundation stone). • Former Albert Leach Cottage incorporating the Tulloch/John Wing Unit. • Former Sloyd Room. • Former Service Block, Dining Room, Gymnasium, Intermediate Cottage & Swimming Pool (except foundation stone). • Former Bluebirds Cottage including covered area and portable classrooms. 	BALLARAT EAST VIC 3350
200A	Victoria Street	BALLARAT EAST VIC 3350
200B	Victoria Street	BALLARAT EAST VIC 3350
2/206	Victoria Street	BALLARAT EAST VIC 3350
3/206	Victoria Street	BALLARAT EAST VIC 3350
4/206	Victoria Street	BALLARAT EAST VIC 3350
2/219	Victoria Street	BALLARAT EAST VIC 3350
2/242	Victoria Street	BALLARAT EAST VIC 3350
3/242	Victoria Street	BALLARAT EAST VIC 3350
4/242	Victoria Street	BALLARAT EAST VIC 3350
16	Victoria Street	BAKERY HILL VIC 3350
18	Victoria Street	BAKERY HILL VIC 3350
23	Victoria Street	BALLARAT EAST VIC 3350
29	Victoria Street	BAKERY HILL VIC 3350
53	Victoria Street	BAKERY HILL VIC 3350
60	Victoria Street	BALLARAT EAST VIC 3350
63	Victoria Street	BAKERY HILL VIC 3350
67	Victoria Street	BAKERY HILL VIC 3350
69	Victoria Street	BALLARAT EAST VIC 3350
84	Victoria Street	BALLARAT EAST VIC 3350
87	Victoria Street	BALLARAT EAST VIC 3350
109	Victoria Street	BALLARAT EAST VIC 3350
143	Victoria Street	BALLARAT EAST VIC 3350
159	Victoria Street	BALLARAT EAST VIC 3350
167	Victoria Street	BALLARAT EAST VIC 3350
169	Victoria Street	BALLARAT EAST VIC 3350
184	Victoria Street	BALLARAT EAST VIC 3350
186	Victoria Street	BALLARAT EAST VIC 3350
190A	Victoria Street	BALLARAT EAST VIC 3350
190B	Victoria Street	BALLARAT EAST VIC 3350

201	Victoria Street	BALLARAT EAST VIC 3350
214	Victoria Street	BALLARAT EAST VIC 3350
236	Victoria Street	BALLARAT EAST VIC 3350
238	Victoria Street	BALLARAT EAST VIC 3350
239	Victoria Street	BALLARAT EAST VIC 3350
240	Victoria Street	BALLARAT EAST VIC 3350
240A	Victoria Street	BALLARAT EAST VIC 3350
246	Victoria Street	BALLARAT EAST VIC 3350
257	Victoria Street	BALLARAT EAST VIC 3350
259	Victoria Street	BALLARAT EAST VIC 3350

BALLARAT EAST CIVIC HERITAGE PRECINCT

Description / Precinct Boundaries

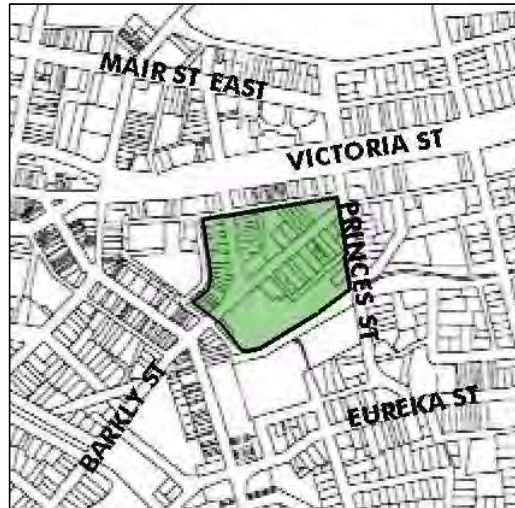


Figure 17 Ballarat East Civic Heritage Precinct Map, shown as "P" on the Proposed Ballarat Urban Heritage Precincts Map

The Ballarat East Civic Precinct covers a small area set on high ground in urban Ballarat. The precinct features a number of important early Victorian era civic and community/cultural buildings adjoined by and interspersed with a small pocket of Victorian, Federation and Inter-War era residential buildings.

The precinct is bordered by Hopetoun Street to the north, Specimen Vale to the south and Princes Street to the east. The western boundary follows a right-of-way at the rear of the residential properties on the west side of East Street South and then wraps southwards to link at the Specimen Vale Creek.

The Ballarat East Civic precinct is characterised by Victorian, Federation and Inter-war residential, civic and cultural buildings built between the 1850's and the 1930's.

This area was settled in the 1850's as a result of gold discoveries in the area. The precinct is also important being the centre for administration for the now defunct Ballarat East municipality. The remaining civic and cultural buildings are a reminder of the separate historic foundations of the municipalities of East and West Ballarat.

The area was chosen as the focus for the new municipality of East Ballarat, being one of the highest points in the area. The site commanded a view over much of the new municipality. The grandeur of the civic and cultural buildings symbolised order and civilisation of cultivated European society in the 19th century against the ad hoc nature of life below in the diggings.

The precinct contains individually significant and contributory places. Significant places include the Former Ballarat East Library, the Ballarat Fire Station, the

Synagogue and associated hall and residence and the Methodist Church and associated hall and residence.

Residential buildings within the precinct are characterised by their single storey, hipped and gabled roofs clad in corrugated iron, slate or tiles, weatherboard or brick construction, timber windows, verandahs, timber fences and regular setbacks.

The precinct is aesthetically important in that it has retained views to significant landmarks such as the Synagogue and the Canary Island pine in its grounds. These are an important focus as you come into the area from the east. Also visually important is the Ballarat East fire station, seen from many vantage points within and outside the precinct.

These features also combine with the strong streetscape features of the Methodist buildings, the Ballarat Free Library and the remains of its original fencing, the mature exotic trees in the former Ballarat East Town Hall gardens and the intact and well maintained residential buildings.

The precinct is also important scientifically as it shows the history of infrastructure development in the region, notably the intact bluestone channels, gutters, kerbs and asphalt footpaths.

BALLARAT EAST CIVIC HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Ballarat East Civic Precinct is **historically** significant at a **LOCAL** level (AHC criterion A and H).

9a) The place's importance in the course, or pattern, of Australia's natural or cultural history;

(a4) &(h1) Importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct has historical importance for its association with the discovery of gold in the early 1850s and for its close relationship with the early development of Main Road, recognized as the commercial centre of the alluvial and deep lead mining area by 1853-1854. The profits generated from the sale of services and goods from the many commercial and retail ventures stretched along the length of Main Road from Bridge Street in the north through to Golden Point in the south were often reinvested among small co-operatives of miners. This helped to facilitate the commercial cooperation between miners and storekeepers that was so crucial while exploration of the Ballarat goldfields continued. It also created an integrated social and commercial system that helped to create the municipal framework of early East Ballarat.

The Precinct has historical importance for its association with the early development of East Ballarat as a municipality, with a separate political and social identity from West Ballarat. In spite of the many difficulties associated with its development on the main alluvial diggings site, in February 1857 sale of frontages (freehold land) in Main Road provided the basis for ratepayer to elect a local government and form the municipality of Ballarat East in 1857. Plans began shortly afterwards for a collection of civic and cultural buildings in Barkly Street off Main Road including a Town Hall, Police Court, Mechanics Institute, Museum and Public Library.

The Precinct has historical importance for its substantially intact physical evidence, scarce examples of the now defunct transient mining development along Main Road which because of its flood prone, low lying ground made it a most unsuitable site for a permanent commercial centre. The priority given to alluvial and deep lead mining interests in this area helps to explain the distinctive street pattern through the Ballarat East Civic precinct. Streets and lanes developed organically from the main arteries and the urban pattern is in stark contrast to the formal surveyed grid layout of Ballarat West.

The Ballarat East Civic Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;

The Precinct is recognised and highly valued by the local community for civic, religious and educational reasons. Collectively, the civic buildings surviving in East Ballarat are symbols of the way in which the residents of East Ballarat developed and

indeed, cultivated a separate municipal, political and social identity from the township above on the plateau.

The Ballarat East Civic Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct is architecturally important for its association with the location of the new civic centre and municipality of East Ballarat, which was built on one of the highest points in the area with commanding views over much of mining activity in Yarrowee creek below. The new town hall (1861demolished 1949) with its later formal botanic garden glasshouse and fernery was a symbol of order and civilization in contrast with the ad hoc transient nature of life on the diggings. The associated civic buildings incorporated the full range of facilities symbolic of cultivated European society in the nineteenth century inclusive of a museum and library for education and self-improvement and a police court as an instrument of law and order. Contemporary maps show that the site was one of few locations left relatively untouched by direct mining works such as the nearby shafts of the Britannia United Shaft, Eastern Star Extension and Sulieman Pasha No. 2 mining sites. Although the Town Hall was demolished in 1949, other buildings in the civic precinct remain. These include 1867 the Ballarat East Free Library (1867) and the Ballarat Fire Station and brick tower (1864-67) which has historical significance as one of the few remaining examples of nineteenth century fire stations. Other buildings include the Wesleyan Methodist Church and the Jewish Synagogue, hall and Rabbi's residences which are among the oldest buildings in the Precinct, constructed in 1860 and 1861 respectively.

The Precinct is architecturally important for it demonstrates many original and intact architectural design qualities associated with the residential, civic, and cultural/community development of the area between the 1850s and the late 1930s.

While civic and cultural life was the primary function of buildings within this precinct, scattered pockets of residential buildings developed from the late 1850s onwards. The eastern end of Barkly Street was constructed within the vicinity of the Gravel Pits Lead and the Fire Brigade Reef while there was also shallow alluvial mining activity in the surrounding area. The cottages provided accommodation for miners. The precinct still contains scattered examples of very early cottages, possibly built under the provisions of the Miner's Right. By 1866, Crown sales of small residential allotments with frontages of between 26 feet and approximately 75 feet had taken place along East and Barkly Streets. The Precinct also contains examples of later Victorian style housing constructed towards the latter part of the nineteenth century when mining was becoming a less dominant force within East Ballarat. Similarly, there are a number of examples of buildings erected from the turn of the century to the end of the inter-war period, as the area developed more structured residential pockets alongside the early civic and cultural buildings

The Ballarat East Civic Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural

environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct has aesthetic significance as a 19th century gold mining townscape which demonstrates important visual qualities that reflect the historical, cultural and architectural development of the Precinct, and contribute to the setting of Ballarat. These qualities are substantially demonstrated by the significant urban foci, notably the Synagogue and associated Canary Island Pine, which form an important focus to arrival at the eastern edge of the Precinct; the Ballarat Fire station, which due to its position on high ground at the divergence of two streets and its imposing tower, forms a dramatic landmark on the skyline and can be seen from many vantage points both within and outside of the precinct; the strong streetscape elements of the former Wesleyan Methodist complex of buildings, which includes the Church, the hall, and the former parsonage; the strong streetscape element of the former East Ballarat Free Library with its associated original fence; the original fencing, entrance gates and the mature exotic trees to the former Ballarat East Town Hall Gardens, which provide a scenic garden focus along Barkly Street at the western edge of the Precinct; the original large cast-iron gas lamp in the centre of the Barkly Street and East Street South intersection; and the significant visual connections between all of the above-mentioned buildings and significant streetscape elements, and their juxtaposition with the pockets of intact and generally well-maintained residential buildings

The Ballarat East Civic Precinct is **scientifically** significant at a **LOCAL** level (AHC criterion C.2).

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

The Precinct is of importance for contributing to a history of the infrastructure development of Ballarat East, as identified by the significantly intact bluestone channels, gutters and kerbs, and the asphalt footpaths.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 178 BALLARAT EAST/CIVIC PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1/9	Barkly Street	BALLARAT EAST VIC 3350
2/9	Barkly Street	BALLARAT EAST VIC 3350
3/9	Barkly Street	BALLARAT EAST VIC 3350
14	Barkly Street	BALLARAT EAST VIC 3350
13-15	Barkly Street	BALLARAT EAST VIC 3350
30	Barkly Street	BAKERY HILL VIC 3350
3	East Street South	BALLARAT EAST VIC 3350
6	East Street South	BAKERY HILL VIC 3350
11	East Street South	BALLARAT EAST VIC 3350
12-14	East Street South	BAKERY HILL VIC 3350

EUREKA STREET HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 18 Eureka Street Heritage Precinct Map, shown as “Q” on the Proposed Ballarat Urban Heritage Precincts Map

The Eureka Street/Ballarat East Precinct is located to the south-west of the Ballarat City centre, on the edge of urban Ballarat. It is characterised by a heterogeneous mixture of substantially intact residential buildings, which were constructed from the late 1850s to the 1940s and are interspersed with a small number of commercial, industrial and cultural/community buildings constructed from the 1860s onwards. A small number of the residences also feature attached shops. The precinct is also characterised by the mature and semi-mature street tree plantings along a number of the streets, but particularly along Joseph and George Streets; by areas of grassed and variously landscaped public, private and recreational open space, which includes the Britannia Reserve and the land alongside the Specimen Vale Channel; and by a number of mature trees in private gardens. Furthermore, the precinct is distinguished by the retention of much of its original engineering infrastructure, particularly as identified by the numerous stretches of bluestone or brick spoon drains or gutters, and associated bluestone or brick kerbing.

The Eureka Street/Ballarat East Precinct is bounded for its full length on the north by the Specimen Vale Channel. The east boundary is generally formed by the west side of Rodier Street, except between the Specimen Vale Channel and Charlesworth Street where the east boundary runs along the rear of the allotments on the east side of Rodier Street. The south boundary of the precinct generally runs along the rear of the allotments facing Eureka Street with one extension running southwards down Joseph Street to the Warrenheip Gully Channel, another extension running southwards down Otway Street South to take in allotments on both sides of the street, and a third short extension running southwards down King Street. The west boundary essentially extends from the Warrenheip Gully Channel to the Specimen Vale Channel. It runs along part of the east side of Main Road to the junction with Eureka Street then turns to run along the west side of Alexander Street and the west side of the Britannia Reserve.

Eureka Street was originally part of the route to the goldfields. Development of the Eureka Street area accelerated following the discovery of the Eureka lead. Settlements clustered around the leads, mainly drawn from the Irish community. In 1854 the western end of Victoria Street was the site of a meeting that was the prelude to the Eureka Stockade Uprising. The uprising occurred on 4 December 1854, resulting in 21 men killed and was the first time arms had been raised against lawful government in Australia.

Building developed rapidly along Eureka Street but was slower away from the road due to mining activities. Over the years, the timber buildings were replaced with new buildings. The early development left the legacy of the winding road and irregular shaped lots, following the placement of mining and building sites and the ridge line between the Specimen Vale and Warrenheip Gully Creeks.

The precinct is architecturally important as it contains many original and early examples of Victorian, Federation and Interwar era residential, commercial, industrial and cultural/community buildings. These include key landmark buildings such as Town and City Mission building, the former Ballarat (Eureka Street) State School No. 1071, Montrose Cottage, Farmers Ham and Bacon Factory

Typically, residential buildings in the precinct are single storey, with hipped and/or gabled rooves, predominantly clad with galvanised corrugated iron or Marsellies pattern terracotta tiles, horizontal weatherboard or brick with polychromatic detailing, projecting verandahs or porches, decorative detailing and timber framed doors and timber casement or double hung windows.

The industrial and cultural/community buildings generally follow the same style as the residential buildings but are either single or double storied.

Other key features in the precinct is the distinctive weatherboard Federation House and the two notable weeping elm trees at 315 Eureka Street, the small shops along Eureka Street, the former Cowley's Eureka Iron Works in Rodier Street and Britannia Reserve. The mature trees in Britannia Reserve and Joseph Street and the worked over Mullock Heap from which most of the reserve was formed.

The important visual qualities of the precinct include the view across and through the precinct such as to Black Hill Reserve, to Specimen Vale Creek and Warrenheip Gully Channels, views to the civic area of Ballarat East and to the Eureka Centre and historic reserve. The views along roads running in different directions allow views of the rear of many houses and other buildings within the precinct. The visual qualities of the precinct are enhanced by the retention of original engineering infrastructure such as the bluestone or brick spoon drains and bluestone or brick kerbing.

EUREKA STREET HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Eureka Street/Ballarat East Precinct is **historically** significant at a **LOCAL** level (AHC criteria A, B H.1, G).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (b) the place's possession of uncommon, rare or endangered aspects of Australia's natural or cultural history;*
- (c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history;*
- (g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.*

The Precinct is associated with the discovery of gold in the early 1850s, in particular the alluvial and quartz mining of the Eureka and Black Hill Leads. It is significant because it provides the historical context and setting for Eureka Stockade Garden which is included on the National Heritage List for its association with Eureka Stockade rebellion. *"The gold miners' revolt against the goldfield administration, and particularly the loss of life (33 miners and 5 soldiers) resulting from the insurrection, is a major event in Australia's political and social history. While there is little above ground evidence of the event that took place at Ballarat and while the exact location is not agreed upon, Eureka Stockade Gardens is important for its association with this uncommon and highly significant event in the nation's past."* The precinct is significant because of its potential to yield archaeological evidence of the rebellion in 1854 and the likelihood of underground deposits or artifacts associated with Eureka, participants of the battle who traversed the area and the associated Eureka Lead, and other auriferous deposits being worked by the miners at the time of the revolt.

Eureka Street, the early winding road that runs through the precinct along a ridgeline between the valleys of two separate waterways, Specimen Vale and Warrenheip Creeks, is historically important as the main track to Melbourne, built at the commencement of Victoria's world famous gold rushes. The creek banks as well as the undulating hillsides were subject to extensive and long-running mining activities. The subsequent layout of many of the other roads in a partly distorted grid pattern is important as it illustrates attempts by bureaucracy to introduce a formal urban plan over the chaos and haphazard development of the area that was dominant by mining for many years on both the alluvial flats and the quartz-rich hills.

The Precinct is of further historical significance for demonstrating the influence of mining activities on the early subdivision of the surveyed sections. Settlement clustered around the Leads, in particular the Irish community was strongly identified with the Eureka Lead, although at the time of the rebellion the miners were represented by over 16 different nationalities. Most of the allotments were laid out by private selection under Miner's Right leases resulting in many irregularly shaped blocks of land. The more regularly shaped, government surveyed allotments can predominantly be seen along the east end of Eureka Street. After the rebellion the general area was still used for mining for some years, and in a piecemeal fashion, then housing development with early haphazard timber buildings being later replaced with new buildings that aligned the road reserves.

The Eureka Street/Ballarat East Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct is important for its heterogeneous mixture of substantially intact residential buildings of varying styles which were constructed from the late 1850s to 1940s/50s, and which are distributed almost equally throughout the Precinct. Although constructed in different eras, the residences tend to be similar in scale, of a small size and simple form with dominant chimneys. There is an important collection of early small Victorian cottages and vernacular styled timber miners cottages scattered throughout the Precinct, which reinforces the visually dominant historic mining character of the area and its historical context with Eureka Stockade. Some larger villas are located on Eureka and George Streets. There are in addition several small shops distributed the length of Eureka Street or located on corner sites, often built in conjunction with their residences. Only a small number of commercial, industrial and cultural community buildings were constructed from the 1860s onwards. These include the Town & City Mission and the former Eureka Street state school No 1071 which has a dominant position, as well as the former Farmer's Ham & Bacon Factory and galvanized corrugated iron factory building associated with the former Cowley's Eureka Iron Works. The eastern boundary of the Precinct was marked by an 19th century Chinese village and large Orphanage.

The Eureka Street/Ballarat East Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D & E)

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct demonstrates important visual qualities that reflect the historical, cultural and architectural development of the Precinct that contribute to its early gold mining character. The visual qualities include a variety of significant urban landmarks and focal points, some of which can be seen from outside of the Precinct. They particularly comprise the Town and City Mission building, the former Ballarat (Eureka Street) State School No.1071, Montrose Cottage at 111 Eureka Street; the former school; the various small shops along Eureka Street; the main buildings of the former Farmer's Ham and Bacon Factory, and the galvanised corrugated iron factory building associated with the former Cowley's Eureka Iron Works in Rodier Street. There are a number of vantage points throughout the precinct afforded by the steep topographical character of Specimen Vale Creek that runs through the centre of the Precinct. From the upper banks of the Creek unexpected picturesque views of the haphazard collection of small cottages with distinctive chimneys can be seen, including the row of mature oak trees on the east side of Joseph Street; and the Britannia Reserve with its perimeter plantings of mature trees, predominantly elms.

Other important aesthetic qualities include the complex views across and through the precinct to other parts of Ballarat including to Black Hill and Mount Warrenheip, to Specimen Vale Creek and Warrenheip Gully Channels. Other important vistas and view corridors link the area with the former civic area of the municipality of Ballarat East, and to the adjacent Eureka Centre and historic reserve, which commemorates

the Eureka Stockade Rebellion. There are also important views within the Precinct along north and south axis roads across the undulating topography, to the rear of many of the houses and other buildings within the Precinct, and additional truncated internal views up to and along Eureka Street which meanders along a distinctive ridgeline on the south side of the precinct.

The important historic visual qualities of the Precinct are also enhanced by the gravel/grass road shoulders and turf nature strips or footpaths; by the stretches of unmade roads; and by private gardens with mature canopy trees. Together with the variously treed and landscaped areas of open public, private and recreational land they provide the precinct with a less urbanised setting of considerable variety. Furthermore, the visual qualities of the Precinct are specially enhanced by the retention of much of its original engineering infrastructure, particularly as identified by the numerous stretches of bluestone or brick spoon drains, and bluestone or brick kerbing.

The Eureka Street/Ballarat East Precinct is **socially** significant at a **LOCAL** level (AHC criterion G)

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognised and highly valued by the local community for its association with mining the Eureka Lead, one of the best yielding leads in Ballarat, and the Eureka Rebellion. The Eureka Rebellion as an historical event and the associated rebel miners' Southern Cross flag, have become symbols for democracy in Australia. The event is ingrained in Australian culture through literature, art, poetry, film and also marked by the local commemoration ceremony, the Eureka Dawn Lantern Walk which is staged each year on Sedition Sunday. The area is significant for its association with the 1855 Commission of Inquiry into the Goldfields set up to investigate the Eureka uprising. In consequence the gold license system was replaced by the annual Miner's Rights which was introduced throughout Australia, giving miner's voting and residential rights. Furthermore, the area has strong links with Peter Lalor, the leader of the rebellion, who by the end of 1855 was elected to the Victorian parliament. The area is socially significant for ongoing residential, commercial, social, educational, industrial and recreational functions.

The Eureka Street/Ballarat East Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C and F)

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history;
(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Precinct is important for contributing to the history of the development of the infrastructure of this area of East Ballarat, particularly as identified by the extensive network of significantly intact bluestone and brick spoon drains, gutters and kerbs. The later examples of short span integrated concrete kerbs and spoon gutters, and the asphalt and early concrete footpaths demonstrates how much of the area was left undeveloped for long periods of time due to the impact of mining in the area.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 179 EUREKA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1/9	Barkly Street	BALLARAT EAST VIC 3350
2/9	Barkly Street	BALLARAT EAST VIC 3350
3/9	Barkly Street	BALLARAT EAST VIC 3350
14	Barkly Street	BALLARAT EAST VIC 3350
13-15	Barkly Street	BALLARAT EAST VIC 3350
30	Barkly Street	BAKERY HILL VIC 3350
2	Belford Street	EUREKA VIC 3350
4	Belford Street	EUREKA VIC 3350
6	Belford Street	EUREKA VIC 3350
8	Belford Street	EUREKA VIC 3350
27	Belford Street	EUREKA VIC 3350
1	Bentley Place	BALLARAT EAST VIC 3350
2	Bentley Place	BALLARAT EAST VIC 3350
3	Bentley Place	BALLARAT EAST VIC 3350
4	Bentley Place	BALLARAT EAST VIC 3350
5	Bentley Place	BALLARAT EAST VIC 3350
6	Bentley Place	BALLARAT EAST VIC 3350
7	Bentley Place	BALLARAT EAST VIC 3350
8	Bentley Place	BALLARAT EAST VIC 3350
9	Bentley Place	BALLARAT EAST VIC 3350
10	Bentley Place	BALLARAT EAST VIC 3350
28	Chamberlain Street	EUREKA VIC 3350
30	Chamberlain Street	EUREKA VIC 3350
3	East Street South	BALLARAT EAST VIC 3350
6	East Street South	BAKERY HILL VIC 3350
11	East Street South	BALLARAT EAST VIC 3350
12-14	East Street South	BAKERY HILL VIC 3350
1/104	Eureka Street	BALLARAT EAST VIC 3350
2/104	Eureka Street	BALLARAT EAST VIC 3350
112	Eureka Street	BALLARAT EAST VIC 3350
122	Eureka Street	BALLARAT EAST VIC 3350
129A	Eureka Street	BALLARAT EAST VIC 3350
129B	Eureka Street	BALLARAT EAST VIC 3350
129C	Eureka Street	BALLARAT EAST VIC 3350
135	Eureka Street	BALLARAT EAST VIC 3350
137B	Eureka Street	BALLARAT EAST VIC 3350
137A	Eureka Street	BALLARAT EAST VIC 3350
201	Eureka Street	BALLARAT EAST VIC 3350

HO 179 EUREKA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
202	Eureka Street	BALLARAT EAST VIC 3350
208	Eureka Street	BALLARAT EAST VIC 3350
301A	Eureka Street	BALLARAT EAST VIC 3350
310	Eureka Street	BALLARAT EAST VIC 3350
317	Eureka Street	BALLARAT EAST VIC 3350
322	Eureka Street	BALLARAT EAST VIC 3350
1/405	Eureka Street	EUREKA VIC 3350
2/405	Eureka Street	EUREKA VIC 3350
3/405	Eureka Street	EUREKA VIC 3350
4/405	Eureka Street	EUREKA VIC 3350
5/405	Eureka Street	EUREKA VIC 3350
6/405	Eureka Street	EUREKA VIC 3350
413	Eureka Street	EUREKA VIC 3350
5	Ford Street	BALLARAT EAST VIC 3350
7	Ford Street	BALLARAT EAST VIC 3350
13	Ford Street	BALLARAT EAST VIC 3350
15	Ford Street	BALLARAT EAST VIC 3350
16	Ford Street	BALLARAT EAST VIC 3350
17	Ford Street	BALLARAT EAST VIC 3350
18	Ford Street	BALLARAT EAST VIC 3350
19	Ford Street	BALLARAT EAST VIC 3350
27	Ford Street	EUREKA VIC 3350
31A	Ford Street	EUREKA VIC 3350
32	Ford Street	EUREKA VIC 3350
33	Ford Street	EUREKA VIC 3350
39	Ford Street	EUREKA VIC 3350
40	Ford Street	EUREKA VIC 3350
4	George Street	BALLARAT EAST VIC 3350
5	George Street	BALLARAT EAST VIC 3350
9	George Street	BALLARAT EAST VIC 3350
21	George Street	EUREKA VIC 3350
29	George Street	EUREKA VIC 3350
30	George Street	EUREKA VIC 3350
36	George Street	EUREKA VIC 3350
41A	George Street	EUREKA VIC 3350
54	George Street	EUREKA VIC 3350
56-58	George Street	EUREKA VIC 3350
1	Gordon Street	BALLARAT EAST VIC 3350
3	Gordon Street	BALLARAT EAST VIC 3350
7	Gordon Street	BALLARAT EAST VIC 3350
7A	Gordon Street	BALLARAT EAST VIC 3350
12	Gordon Street	BALLARAT EAST VIC 3350
14	Gordon Street	BALLARAT EAST VIC 3350
16	Gordon Street	BALLARAT EAST VIC 3350
8	Gray Street	BALLARAT EAST VIC 3350
11	Gray Street	BALLARAT EAST VIC 3350
20	King Street South	BALLARAT EAST VIC 3350
27	King Street South	BALLARAT EAST VIC 3350
29	King Street South	BALLARAT EAST VIC 3350

HO 179 EUREKA STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
11	Martin Street	BALLARAT EAST VIC 3350
16	Otway Street South	BALLARAT EAST VIC 3350
21A	Otway Street South	BALLARAT EAST VIC 3350
21B	Otway Street South	BALLARAT EAST VIC 3350
25	Otway Street South	BALLARAT EAST VIC 3350
2/25	Otway Street South	BALLARAT EAST VIC 3350
3/25	Otway Street South	BALLARAT EAST VIC 3350
28	Otway Street South	BALLARAT EAST VIC 3350
32	Otway Street South	BALLARAT EAST VIC 3350
33	Princes Street South	BALLARAT EAST VIC 3350
35	Princes Street South	BALLARAT EAST VIC 3350
37	Princes Street South	BALLARAT EAST VIC 3350
39	Princes Street South	BALLARAT EAST VIC 3350
41	Princes Street South	BALLARAT EAST VIC 3350
43	Princes Street South	BALLARAT EAST VIC 3350
1/16	Queen Street South	BALLARAT EAST VIC 3350
2/16	Queen Street South	BALLARAT EAST VIC 3350
3/16	Queen Street South	BALLARAT EAST VIC 3350
18	Queen Street South	BALLARAT EAST VIC 3350
28	Queen Street South	BALLARAT EAST VIC 3350
5	Richardson Street	BALLARAT EAST VIC 3350
9	Richardson Street	BALLARAT EAST VIC 3350
Lot 3	Rodier Street	EUREKA VIC 3350
126	Rodier Street	EUREKA VIC 3350
10	Specimen Vale South	BALLARAT EAST VIC 3350
212	Specimen Vale South	BALLARAT EAST VIC 3350
300	Specimen Vale South	EUREKA VIC 3350
304	Specimen Vale South	EUREKA VIC 3350
306	Specimen Vale South	EUREKA VIC 3350

LEARMONTH HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 19 Learmonth Heritage Precinct Map

Learmonth is a small township to the north east of Ballarat along the Sunraysia Highway. The precinct incorporates the township which is effectively one block deep either side of the highway with Learmonth lake providing the southern border to the town and the Morton's channel defining the western boundary of the town. The Precinct also extends some 3½ kilometres along the Sunraysia Highway to the south-east with the Avenue of Honour that terminates at Ryans Road, and a short distance along the Sunraysia Highway with the ANA Avenue (see map below).

The Learmonth Precinct is especially characterised by its 19th and early 20th century mixed residential, commercial, civic and cultural buildings and structures.

The Learmonth Precinct incorporates the township of Learmonth. The Learmonth family and Thomas Bath settled in the region in the late 1830's, attracted to the area by the good grazing land and permanent water supply of Lake Learmonth and nearby creeks.

The discovery of gold brought opportunities for people to supply produce to the goldfields. The Learmonth area attracted people to the food producing area and soon a settlement was established at the location of the present township. Learmonth was also an easy day's ride from Ballarat and became a stopping place for travellers heading towards the Avoca goldfields.

In 1859 Assistant Surveyor John Carruthers formally surveyed the township which set out the allotment and reserves seen today. The original subdivision was laid out focusing on the main thoroughfare passing through the middle of the settlement. The formal layout of the public buildings and commercial premises all face the Sunraysia Highway, while the residential blocks nearly all face the highway and extend no further than one block from the highway. During the 1860's – 1870's Learmonth prospered and many of the buildings from that era remain such as the police station complex erected in 1860, the Courthouse, the Church of England, Catholic and Presbyterian churches, the school, bank and Temperance Hall (later the Mechanics Institute). Another special feature of Learmonth was its emerging role in local government. The town was located in the first Shire to be established in Victoria, in 1863 and was the municipal centre for the Shire.

In 1888, the rail way line was extended to Learmonth as a spur line from Ballarat and was subsequently dismantled in 1973, however, the curving line of the embankment, the nearby weighbridge and parts of the station platform still exist. Learmonth continued to grow at the turn of the century with the expansion of the Mechanics Institute and Police Station and the erection of a Masonic Temple.

The houses in the town reflect the early establishment of the township in the 1850's, the subsequent development in the 19th century and the further consolidation in the early decades of the 20th century. Typically, the styles include the Victorian, Federation and Interwar styled residential, commercial, civic, cultural and community buildings. Generally buildings are one storey although some of the cultural/community buildings have double height interiors and extended rooflines.

- Buildings are generally constructed of brick, stone or from weatherboard, roof forms are hipped and/or gabled and made from galvanised corrugated iron, slate or Marseilles pattern terracotta tiles. Other features of the buildings are the alignment of the buildings with the street, verandahs, timber or rendered brick parapets, brick chimneys and timber framed double hung windows and doors.

Other visual qualities are the views to Lake Learmonth, along the grassy railway embankment, the rear of buildings in High Street. Also important is the view to farmland and volcanic hills which provide a visual link to the foundation of the town and its development. Other key landmarks are the two large Monterey cypress trees in the grounds of All Saints Church, the Stag Hotel, the commemorative street lamp, the War memorial and the spire of the Presbyterian Church.

The tree-lined highway with the wide grassed median strip, the Avenue of Honour and the ANA Avenue of cypress trees, contribute to the rural and architectural setting of the town.

Further significant features are the Memorial Wall at the beginning of the Avenue of Honour, the Railway memorial, the memorial plaque and Redwood tree and the concrete mile markers '83' and '84'. Morton's Cutting, built in 1863 is also scientifically important for its contribution to the history of the establishment and maintenance of irrigation to large tracts of farmland established by early settlers.

LEARMONTH HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Learmonth Precinct is **historically** significant at a **LOCAL** level (AHC criterion A 3, 4 and H.1).

(a) the place's importance in the course, or pattern, of Australia's natural or cultural history;

(a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;

(a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct is historically important for its association with the early pastoral development of the district by the Learmonth family, who took up the pastoral stations of Buninyong (or Boninyong as it was also called) Burrumbeet and later Ercildoune run. The Learmonth family settled in the area together with Thomas Bath and others, in the late 1840s, attracted by the good grazing land and the permanent waters of Lake Learmonth and the nearby creeks which supplied the lake. Livingstone Learmonth is noted as an excellent sheep breeder, which was instrumental in the early success of the pastoral stations.

The Precinct is historically important for its ability to demonstrate the sustained early agricultural development on the rich volcanic soils of the district after the discovery of gold in Ballarat, which brought a rapidly increasing population to the district. Increase demands for meat and other supplies stimulated the growth of Learmonth from the 1850s, which was first surveyed by Assistant Surveyor John Carruthers in 1859. The availability of fresh water and good grass encouraged settlers, many of whom saw an opportunity to make money supplying food to the goldfields.

The Precinct is important as a historical landscape of unusual richness; the small township of Learmonth is bound by the ancient volcanic cones of Brown's Hill, Saddleback Hill, Weatherboard Hill and Bankin Hill with Lake Learmonth being located roughly in the centre of the four hills. The present township site is located astride the current Sunraysia Highway, which was originally a busy road northwest from Ballarat to Avoca cut between the lake and Bankin Hill. This location, some 18kms from Ballarat, was an easy day's ride on the way to the Avoca goldfields and beyond and placed it as an overnight stopping place. Hotels, stables and boarding houses met the demand. When the gold rushes ceased and deep mining became more common the Learmonth became a service town to Ballarat. Through the 1860s and 1870s Learmonth became a busy township with 4 blacksmiths, several hotels, 2 bakeries, a doctor and 4 general stores as well as saddler's shops. Many of these buildings are still well preserved.

Learmonth is particularly associated with the emerging role of local government in Victoria during the late 19th century, being located within the first Shire to be established in Victoria. The Shire of Ballarat was proclaimed on 24 November 1863 and the foundation stone of the Shire Hall (now the headquarters of the Learmonth Historical Society) was laid on 5 November 1866. Richmond Park adjacent to Lake Learmonth was named in 1873 after James Richmond, who commenced as the first full time Shire Secretary in 1866 and served in this position until his death in 1879.

Learmonth is historically important as an agricultural focus for the surrounding district for a long period of time. Its strategic importance is evidenced by the many incremental changes and additions to civic buildings such as the police station, which was enlarged in 1904 and the Temperance Hall was formally constituted into the Learmonth Mechanics' Institute and Free Library in 1912, while two years later a new Library with Billiard room were added to the Institute. In 1915 the Masonic Temple was opened and throughout the 1930s further changes to the urban fabric took place clearly demonstrating the prosperity of the area.

Learmonth and its environs are historically important for their ability to illustrate the evolution of farming practices over the past 150 years. The volcanic landscape with its broad plains, lakes and steep volcanic cones was greatly modified by intensive farming practices resulting from the miner's petitioning government to release land in 1854 with the subdivision of Creswick, Yuille's, Clarke and Learmonth runs, and Ercildoune and Dowling Forest stations as well as later sub-divisions resulting from the Land Acts. The impact of this development led to the construction of an intricate matrix of narrow country roads, linear fences and cypress windbreaks which delineated the rectangular layout of these smaller properties.

The Learmonth Heritage Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct demonstrates many original and early design qualities associated with the residential, commercial, civic, and cultural/community development of the Learmonth Township between the 1850s and the 1930s. It is architecturally significant as it still retains many of the original subdivisions which date from the first land sales in November 1859 and February 1860. It still retains its rural atmosphere, effectively consisting of a small village with all the buildings one block deep, fronting either side of the highway which bisects the town.

The Learmonth Precinct is characterized by a mixture of mid to late 19th and early 20th century residential, commercial, civic and cultural/community buildings. The majority of the individually residences in the Learmonth Precinct are single storey and detached, with a small number attached to associated stores. The majority of these residences are traditional timber frame weatherboard structures but there are exceptions such as the former Church of England Manse at 9-11 Bankin Street, the house at 224 High Street and the house at 13 McKay Street, the house at 317-319 High Street, and the former Presbyterian Manse at 107 Church Street. These latter buildings stand out in the streetscape due to their notable designs and construction materials. Most of the houses are of a Victorian style, from the mid to late 19th century, with a few late Federation and early Inter-War Bungalow styles. The houses are generally similar in size, although there are a few smaller Victorian cottages. Almost all the houses have characteristic verandahs and chimneys which are a feature of the townscape.

Many of the civic, commercial and cultural/community buildings in this Precinct date back to the early period of expansion in 1850s-1860s. Learmonth became a prosperous centre of local government, commerce and trade, and a cultural focus for the district. A number of the early buildings still remain, and include the Stag Hotel

(c.1854) and timber Presbyterian and Catholic churches (c.1857), the police station, along with a brick stables and brick lock-up and Courthouse, erected around 1860 and in 1864. The present stone Church of England was opened in 1861, construction of the present Catholic Church began in 1873, and the present Presbyterian Church (which was designed by noted English church architect, Charles Hansom, with its construction overseen by Ballarat architect Henry Caselli) was opened in 1876. The school opened in 1862, a branch of the National Bank was opened in Learmonth in 1866, and a Temperance Hall (later the Mechanic's Institute) was opened in 1867. Other buildings are associated with the later consolidation of the town notably during the Federation period (c.1900-1915) and the Inter-War period (1920-40), as identified by the additions to the former Mechanics Institute (1914), the Masonic Hall (1915), the Learmonth Avenue of Honour (after 1919), and the alterations and additions made to the Stag Hotel (c.1930s).

A defining characteristic of the Precinct is its small scale nature of the buildings and dominance of the tree lined avenue. Most of the buildings have similar massing, form, are single storey height and are of a traditional form.

The Learmonth Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

Learmonth Precinct demonstrates important visual qualities that reflect the historical and cultural development of the township and surrounding areas, and contribute to the rural and architectural setting of the township. These qualities include the tree-lined character of the main highway that bisects the town, particularly the length of the highway between Queen Street and Morton Street, which is flanked on either side by a wide grassed median strip landscaped with an avenue of mature deciduous trees including elm, plane and oak trees; the lengthy Learmonth Avenue of Honour along the south-eastern approach to the town; and the densely planted ANA Avenue of cypress trees along the north-western approach to the town. Complex views across and through the precinct to Lake Learmonth, along and across the grassy embankment of the former railway line, of the rear of the buildings facing High Street, and towards the surrounding agricultural farmland and volcanic hills, provide important visual links to the foundations of the town's settlement and its later development.

Other important aesthetic qualities include the significant urban foci, notably the two large Monterey cypress trees in the grounds of the All Saints Church of England, which form an important focus to arrival and departure at the south-east end of the town; the Stag Hotel at the intersection of High Street (Sunraysia Highway) and Morton Street which forms an important focus to arrival and departure at the north-west end of the town; the commemorative street lamp and the war memorial located in the grassed median strip in front of the former Shire Offices, and the spire of the Presbyterian (former Uniting) Church.

Further significant aesthetic elements and foci are the Memorial Wall at the beginning of the Avenue of Honour, the Railway memorial at the junction of the former railway embankment with the Sunraysia Highway, the memorial plaque and Redwood tree

planted in memory of ANA member, Michael Casey, and the concrete mile markers '83' and '84'.

The Learmonth Precinct is **scientifically** significant at a **LOCAL** level (AHC criterion C.2 and F).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;

(f) importance for its technical, creative, design or artistic excellence, innovation or achievement.

The Morton's Channel cutting is of importance for contributing to a history of the establishment, maintenance and irrigation of large tracts of farmland by early settlers constructed in c.1863. Water for irrigation of the pasture lands was always an issue in the area, and rather than drain the swampy Lake Learmonth for use as a town common, it was decided to create a diversionary channel by which water could be brought over the divide from Coghill's Creek. It helped maintain the level of the lake for use in irrigation by diverting water which came from Mount Bolton and Mount Addington via a creek located some distance to the north. A water gate on the creek allowed water to be diverted into the channel or down the creek. The line of this channel is still evident, as is the diversion gate, and it is important as an early (and possibly the first) example of water diversion in Victoria.

The Learmonth Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

This area of Learmonth is recognized and highly valued by the local community for commercial, civic, cultural, religious, commemorative and recreational reasons.

The three major volcanic hills closest to the new township, Brown's Hill, Bankin Hill and Sellwood Hill and particularly Lake Learmonth itself have long provided places of natural beauty for the growing population of Learmonth, as well as visitors to the area. The lake has always been a central focus of the district. In the past an annual regatta was held at Lake Learmonth and was always a popular event as was the Learmonth Agricultural Show. Both events attracted crowds from nearby towns such as Miner's Rest and Beaufort as well as from Ballarat. The Learmonth Ski and Powerboat Clubhouse and the Yacht Clubhouse are located on the east side of the lake.

The wide streets of Learmonth are heavily planted with shade trees and the provision of generous and well-planted public parklands make the township an attractive place to visit. Ballarat visitors often journeyed by train to Learmonth for regular picnics in the parks or by the lake where the shoreline was all reserved for public use.

Learmonth is also a town proud of its history and the Avenue of Honour along the highway carefully remembers each soldier, nurse and chaplain, in fact all who served, by the placement of a tree. An Obelisk located in the centre of the town in High Street commemorates the death of Sgt. Charles Vaughan in 1901 during the Boer War. The local ANA, established in 1887, planted an avenue of trees in 1917 along the west edge of the Sunraysia Highway on the north-western approach to the town. They also planted the Redwood tree at the southern end of the avenue, and marked it with a separate memorial plaque to ANA member Michael Casey, who died in 1932.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 180 LEARMONTH HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
CA 7	Bankin Street	LEARMONTH VIC
13	Bankin Street	LEARMONTH VIC
17	Bankin Street	LEARMONTH VIC
19	Bankin Street	LEARMONTH VIC
131	Bankin Street	LEARMONTH VIC
101	Church Street	LEARMONTH VIC
102-104	Church Street	LEARMONTH VIC
103	Church Street	LEARMONTH VIC
106	Church Street	LEARMONTH VIC
108	Church Street	LEARMONTH VIC
110	Church Street	LEARMONTH VIC
Lot 1	Foreshore Road	LEARMONTH VIC
19	Foreshore Road	LEARMONTH VIC 3352
65-67	High Street	LEARMONTH VIC
69	High Street	LEARMONTH VIC
71	High Street	LEARMONTH VIC
101-105	High Street	LEARMONTH VIC
139	High Street	LEARMONTH VIC
141	High Street	LEARMONTH VIC 3352
147-149	High Street	LEARMONTH VIC
151	High Street	LEARMONTH VIC
155	High Street	LEARMONTH VIC
200-212	High Street	LEARMONTH VIC
201-203	High Street	LEARMONTH VIC
205	High Street	LEARMONTH VIC
207	High Street	LEARMONTH VIC
218	High Street	LEARMONTH VIC
220	High Street	LEARMONTH VIC
222	High Street	LEARMONTH VIC
229	High Street	LEARMONTH VIC
300	High Street	LEARMONTH VIC
301	High Street	LEARMONTH VIC 3352
302	High Street	LEARMONTH VIC
304	High Street	LEARMONTH VIC
306	High Street	LEARMONTH VIC
311-315	High Street	LEARMONTH VIC
344	High Street	LEARMONTH VIC
346	High Street	LEARMONTH VIC

HO 180 LEARMONTH HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
347-349	High Street	LEARMONTH VIC
408	High Street	LEARMONTH VIC
415-437	High Street	LEARMONTH VIC
414-416	High Street	LEARMONTH VIC
420-422	High Street	LEARMONTH VIC
501	High Street	LEARMONTH VIC
2-8	Laidlaw Street	LEARMONTH VIC
18-20	Laidlaw Street	LEARMONTH VIC
1-5	McKay Street	LEARMONTH VIC
7-9	McKay Street	LEARMONTH VIC
11	McKay Street	LEARMONTH VIC
101	McKay Street	LEARMONTH VIC 3352
103-105	McKay Street	LEARMONTH VIC 3352
104	McKay Street	LEARMONTH VIC
106	McKay Street	LEARMONTH VIC
108	McKay Street	LEARMONTH VIC
CA 8	Morton Street	LEARMONTH VIC
18	Morton Street	LEARMONTH VIC 3352
74	Morton Street	LEARMONTH VIC 3352
78	Morton Street	LEARMONTH VIC 3352
80	Morton Street	LEARMONTH VIC 3352
90	Morton Street	LEARMONTH VIC 3352

BUNINYONG HERITAGE PRECINCT

Description / Precinct Boundaries

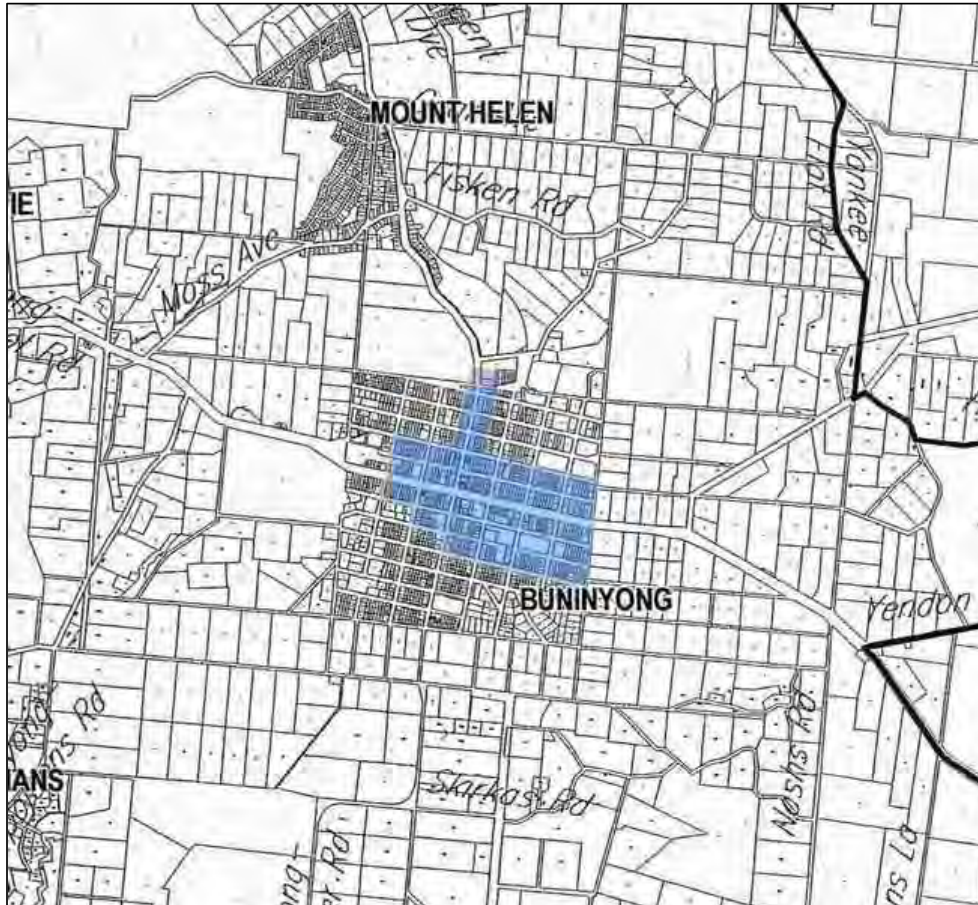


Figure 20 Buninyong Heritage Precinct Map

The township of Buninyong is located some 10 kilometres south-east of Ballarat on the Midland Highway. The Buninyong Heritage Precinct is characterised by a notable collection of former and present commercial, cultural/community, and educational buildings constructed from the 1850s onwards. They are complemented by a number of substantially intact residential buildings, which were constructed from the 1850s to the Inter-war era. The precinct is also characterised by the formal grid layout of its streets, some of which feature avenues of mature to semi-mature trees; by scattered areas of grassed and treed public and private open space including the Buninyong Botanic Gardens, De Soza Park and the park-like grounds of the Uniting Church; and by a number of well-maintained private gardens, most of which contain notable mature tree specimens. Furthermore, the precinct is distinguished by some early engineering infrastructure such as the large bluestone culvert that carries the Union Jack Creek under the Ballarat-Buninyong Road.

The northernmost boundary of the Buninyong Heritage Precinct lies on the north side of the intersection of the Ballarat-Buninyong Road with the Union Jack Creek. * From

this point the east boundary begins, first running in a southerly direction to Forest Street, along the rear of the allotments lining the east side of Warrenheip Street (the Ballarat-Buninyong Road). At Forest Street the boundary takes a staggered line, firstly turning to run along the south side of Forest Street before turning again to run alongside the east boundaries of the allotments at 313 Forest Street and 314 Learmonth Street. After it reaches Learmonth Street, the boundary runs along the north side of the road reserve to the eastern side of the intersection with Cornish Street before turning again to run across Learmonth Street and along the east side of the Cornish Street road reserve for a short distance. When the boundary line reaches 605 Cornish Street, it deviates to take in 605 and 607 Cornish Street before running along the north side of Scott Street for some distance.

The easternmost boundary is then formed from a point on the north side of Scott Street, and along the east boundary of the land belonging to the St Peter's and St Paul's Catholic Church, to a point on the south side of the surveyed line of Yuille Street. From this point the boundary turns in a westerly direction, running to and then along the east side of Fiskin Street to Simpson Street.

The south boundary of the precinct essentially runs along the north side of the Simpson Street road reserve to Warrenheip Street before deviating to run along the south side of the first few allotments in Simpson Street. The west boundary begins on the west side of the allotment at 407 Simpson Street and takes a staggered line to Learmonth Street along the west sides of various allotments facing Simpson, Yuille, Scott and Learmonth Streets. At Learmonth Street the boundary line turns to run on the south side of the road reserve to the first bend in the road, which is essentially the end of the mature tree plantings of the Avenue of Honour, and then turns to run back again along the north side of Learmonth Street to the west side of the surveyed line of Winter Street. The west boundary line turns at this point to run along the west side of the Winter Street road reserve to Eyre Street and takes in the allotment at 208 Winter Street ('Clifton Villa') before turning to run along the north side of Eyre Street for a short distance. The remainder of the west boundary runs in a staggered line along the west boundaries of various allotments facing Eyre, Palmerston and Warrenheip Streets before ending at the northernmost boundary.

The Buninyong Precinct generally includes land either side of Warrenheip and Learmonth Street and extends as far south as Simpson Street and north of Elizabeth Street.

Buninyong was first settled in late 1830s by pastoralists and was a small town by the early 1840s, later supporting a clergyman, blacksmith, shoemaker and a medical practitioner. In 1848, the first inland boarding school, associated with a church was opened by The Reverend Thomas Hastie.

The discovery of gold in the area by Thomas Hiscock in 1851 brought prospectors from Geelong and other goldfields. This rush was short-lived but another find in 1856 triggered further growth in the township.

The first survey of the township was undertaken in 1850 and the first land sales occurred in 1851. The first local County Court and Court of General Sessions in the district opened in 1853, serving the Ballarat region until the 1860s. By the late 1850s –1860s Buninyong prospered as seen by the construction of many of the church buildings. Buninyong continued to develop in the 1870s after mining declined, with the construction of the Post Office, Police Quarters, Town Hall and Court House. The Buninyong gardens were established in 1888 which later included a number of recreational facilities. The Gardens were to become the social centre of the town.

Commercial building was continuous throughout the second half of the 19th century and is an indicator of the commercial prosperity of the town. By the 1920s the town had declined economically. Little change occurred to the town until the 1960s with the erection of the pre school centre and the R.S.L building.

The precinct is important as it shows many original and early examples of Victorian, residential, commercial, cultural/community and educational buildings built between the 1850s – 1930s. The precinct is also important as a settlement providing civic and commercial functions, predating nearby Ballarat.

Typically the residential buildings are single storey, mostly weatherboard with some face brick render construction. Roofs are either gabled or hipped and clad in either unpainted or painted corrugated iron. Houses display eaves and porches.

The commercial buildings are either one or two storeys in height, constructed from brick, bluestone or weatherboard. Most shops had post supported verandahs, with some still remaining.

The cultural/community buildings range in size but are generally constructed of brick or bluestone, sometimes rendered or over-painted. They mostly have steep pitched roofs clad in slate or corrugated iron and exhibit individual decorative detailing.

Key landmark buildings include the former Anglican and Methodist Churches and Presbyterian Church, the Crown Hotel and Shire Hall, other commercial and cultural buildings along Learmonth Street. Views from the precinct to Mt Buninyong and the surrounding treed horizon are also important.

Other visual features are the mature exotic street tree planting and in private gardens, the landscaped median strip including mature Elm trees in Learmonth Street, the Avenue of Honour consisting of Elms, Silver Poplar and Oak trees in Learmonth Street and the Botanical Gardens, which all contribute to the rural setting of the precinct. Also important is the location of the township within a treed landscape. The grassed verges, open street drainage and unsealed roads also add to the rural character of the precinct.

The Botanical Gardens contain important structures including the Bowling Club Pavilion, the Queen Victoria Rotunda, the Public baths, bridges and fencing. Several original stone fences remain, demarcating former paddocks and pastoral acres. prospered as seen by the construction of many of the church buildings. Buninyong continued to develop in the 1870s after mining declined, with the construction of the Post Office, Police Quarters, Town Hall and Court House. The Buninyong gardens were established in 1888 which later included a number of recreational facilities. The Gardens were to become the social centre of the town.

Commercial building was continuous throughout the second half of the 19th century and is an indicator of the commercial prosperity of the town. By the 1920s the town had declined economically. Little change occurred to the town until the 1960s with the erection of the pre school centre and the R.S.L building.

The precinct is important as it shows many original and early examples of Victorian, residential, commercial, cultural/community and educational buildings built between the 1850s – 1930s. The precinct is also important as a settlement providing civic and commercial functions, predating nearby Ballarat.

Typically the residential buildings are single storey, mostly weatherboard with some face brick render construction. Roofs are either gabled or hipped and clad in either unpainted or painted corrugated iron. Houses display eaves and porches.

The commercial buildings are either one or two storeys in height, constructed from brick, bluestone or weatherboard. Most shops had post supported verandahs, with some still remaining.

The cultural/community buildings range in size but are generally constructed of brick or bluestone, sometimes rendered or over-painted. They mostly have steep pitched roofs clad in slate or corrugated iron and exhibit individual decorative detailing.

Key landmark buildings include the former Anglican and Methodist Churches and Presbyterian Church, the Crown Hotel and Shire Hall, other commercial and cultural buildings along Learmonth Street. Views from the precinct to Mt Buninyong and the surrounding treed horizon are also important.

Other visual features are the mature exotic street tree planting and in private gardens, the landscaped median strip including mature Elm trees in Learmonth Street, the Avenue of Honour consisting of Elms, Silver Poplar and Oak trees in Learmonth Street and the Botanical Gardens, which all contribute to the rural setting of the precinct. Also important is the location of the township within a treed landscape. The grassed verges, open street drainage and unsealed roads also add to the rural character of the precinct.

The Botanical Gardens contain important structures including the Bowling Club Pavilion, the Queen Victoria Rotunda, the Public baths, bridges and fencing. Several original stone fences remain, demarcating former paddocks and pastoral acres.

BUNINYONG HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Buninyong Precinct is **historically** significant at a **LOCAL** level (AHC criterion A3, 4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;*
- (a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.*

Buninyong is historically important for its association with the early settlement of Port Phillip from Van Diemens Land, when fleets of small boats carrying sheep crossed Bass Strait to land at Corio in 1836. The pastoral runs near Buninyong were taken up in 1838 and 1839 by Learmonth, Scott and Inglis at Yendon. All three names are remembered by the street names in the first survey.

Buninyong is historically important for its association with the Watharrung people, the Indigenous people who gave the name Buninyong to the nearby volcanic hill where the small township began to develop in the early 1840s, for men employed by the squatters. The township took its name from the mountain and made it its icon. The road to Portland Bay, known also as the Great Western Road, ran past the township and provided the trade link necessary for it to become established, while later the Warrenheip Road to Ballarat became the main gold fields route from Geelong.

Buninyong is historically important for its association with Reverend Thomas Hastie, who established a church and the first inland boarding school at Buninyong, in 1848 where thirty-one boarders and twenty-two day scholars were enrolled. Buninyong is historically important as it was established in 1848 with original town survey before the gold rush and settlement at Ballarat. By 1850 William Malcolm, a Government Surveyor had completed the town layout for a mile square township. The first land sales took place in May 1851.

The Precinct is historically important for its association with the early gold finds by Thomas Hiscock in 1851 and later rush in 1856, when the Durham Lead and Black Lead, Napoleon Lead, Durham Lead, Scotchmans Lead, Webb Hill Lead were mined close to Buninyong. Mining activity brought formal government development to the town as evidenced by many early structures.

These include the Magistrates Court, Ballarat gaining the supremacy early as a County Court. Judge Warrington Rogers of this County Court built a house in Buninyong in 1859. The Buninyong Court was also a busy Licensing Court. The temporary court accommodation was replaced in 1858 by a Police Court and Wardens Office both built of stone, and in 1859 a brick police station was erected in close proximity. One stone building survives as well as the brick police station. These remained in use until 1888 when new offices were built in Learmonth Street. Nearby, a brewery was erected in 1856 and a Roads Board was established in 1858, with a Municipal Council in 1859. By 1861-62 the Buninyong Township was thriving with five hotels, four churches, one bank and three schools, in addition to many residences as

well as a Public Library and the Buninyong Botanic Gardens which were gazetted as a temporary reserve that same year (and some years later in 1889 the 10-acre site was permanently reserved as a Public Gardens). The government constructed a reservoir in 1861 to supply water to the miners.

The Buninyong Precinct is of importance for the location and development of the outstanding Buninyong Botanic Gardens (1861) and Gong reservoir. Special features include the swimming pool (created in 1873 from a bluestone lined water storage built to augment the supply in the large town reservoir), a caretaker's cottage, a bowling green, two tennis courts, two ponds (one a pond of reflection), and a rotunda. Built in 1901, it was the first memorial to Queen Victoria built in the state of Victoria after her death.

The Buninyong Precinct is **historically** significant at a **LOCAL** level (AHC criterion A3, 4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;*
- (a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.*

Buninyong is historically important for its association with the Watharrung people, the Indigenous people of the area and the nearby volcanic hill, Mount Buninyong, which forms a visually important iconic backdrop to the town, and which has been the subject of many historic paintings and illustrations. Buninyong is historically important for its association with the early settlement of Port Phillip and the pastoral runs near Buninyong taken up by Learmonth, Scott and Inglis in 1838 and 1839. It is an important pre-gold rush town, established in 1848 near the Warrenheip River on the main road to Portland Bay, and later the main route to the Ballarat goldfields from Geelong. It is associated with Reverend Thomas Hastie, who established an early church and first inland boarding school at Buninyong. By 1850 William Malcolm, a Government Surveyor had completed the town layout plan and first land sales took place in 1851.

The Precinct is historically important for its association with the early gold finds by Thomas Hiscock in 1851 and later gold rush in 1856, when many nearby Leads were mined.

The Precinct is historically important for its association with gold mining activities which stimulated government development in the town as evidenced by many early structures, which remain substantially intact. These sites include in 1858 a Police Court and Wardens Office, and in 1859 a brick police station and residence of Judge Warrington Rogers of Ballarat County Court. These buildings retained their function until 1888 when new offices were built in Learmonth Street. Nearby, a brewery was erected in 1856 and a Roads Board was established in 1858, with a Municipal Council in 1859. The government constructed a reservoir in 1861 to supply water to the miners, and by then Buninyong Township was thriving with five hotels, four churches, one bank and three schools, in addition to many residences as well as a Public Library and the Buninyong Botanic Gardens which were gazetted as a temporary reserve that same year (and some years later in 1889 the 10-acre site was permanently reserved as a Public Gardens).

The Buninyong Precinct is of importance for the location and development of the outstanding Buninyong Botanic Gardens (1861) and Gong reservoir. Special features include the swimming pool (created in 1873 from a bluestone lined water storage built to augment the supply in the large town reservoir), a caretaker's cottage, a bowling green, two tennis courts, two ponds (one a pond of reflection), and a rotunda.

The Buninyong Heritage Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

Buninyong Precinct is important for its collection of buildings, architecture and overall development associated with the early settlement of this area by squatters in the 1840s followed by gold diggers, and the subsequent development from the early 1850s of a formally surveyed grid street layout which preceded that of Ballarat. The small rural township is strongly characterized by long straight streets organized in a dominant grid pattern. The civic and cultural/community buildings, in particular, are reminders of the separate historic foundations of the former municipality of Buninyong through which community facilities, organizations and cultural identity became distinctly separate from Ballarat.

The former Buninyong Town Hall is of particular architectural significance for its dominant location and grandiose design as the civic centre of the Shire of Buninyong. The remaining early buildings of the town are important examples of the development of the town in a beautiful landscape setting with a backdrop of forests which still echo the original beauty and history of this important village.

Buninyong Precinct is important for its classical 19th century colonial urban design. The street pattern remains essentially as surveyed in the early 1850s, with the centre of the town dominated by two main roads which were critical to its establishment. These include Learmonth Street (Midland Highway), which provides an important east-west oriented axis through the middle of the precinct, and is historically part of the early route from the Pyrenees to Geelong, and Warrenheip Road, the early gold route from Geelong to the Ballarat gold fields. The intersection where these two roads cross is a visually dominant central feature of Buninyong, and is highlighted by the location of landmark buildings on the corners of the intersection. The group of commercial shops with street verandahs that line the corner add to the historical importance of Warrenheip Road, as the main road to the Ballarat goldfields.

The Precinct demonstrates many original and intact design qualities associated with the commercial, civic, cultural/community and educational developments in the township between the 1850s and early decades of the 20th century. They are complemented by a number of substantially intact residential buildings, which were constructed from the 1850s to the Inter-War era.

Most of the historic residential buildings in the Buninyong Precinct were erected in the Victorian era from the 1850s to the 1890s, with the remainder being erected in the first few decades of the 20th century. They generally represent a heterogeneous collection of different styles which are well distributed throughout the precinct. There are a number of houses with notable architectural designs which are scattered

through the township, and beyond the precinct boundaries. Overall, there is a high level of integrity with many brick chimneys adorning the rooflines throughout the precinct. The houses range in scale with examples of larger villas as well as small cottages, usually set in mature gardens.

The Buninyong Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Buninyong Precinct, as well as the entire township is particularly characterized by its distinctive rural setting in a valley surrounded by treed ridges and with an eastern horizon dominated by Mount Buninyong and northern boundary defined by the beautiful Warrenheip River, which meanders past the rear allotments of the town. The visual qualities of this historical cultural landscape are strengthened by the historical, cultural and architectural development of the precinct, which remains substantially intact and well preserved

Important vistas and view corridors that contribute to the character of the Precinct include the panoramic views across the town to the surrounding countryside as well as to Mount Buninyong in the east. Unobstructed views of Mount Buninyong dominate the viewscape, and are an outstanding element of the townscape. Other important topographical views include the treed ridges of the 'Grammar School Hill' and of the Union Jack Reserve that edge the horizon in the north; the former Recreational Ground (now the Golf Club) in the west; as well as the historically important open spaces in the south afforded by larger residential acreages, farmland, former market gardens, the former Durham Lead diggings and the Learmonth's former pastoral property.

The Buninyong Precinct is aesthetically important for its early street planting which was mostly of European exotic species. The avenues and mature trees, in particular elm, oak and ash trees as well as some historic native trees are important to the town's character. The tree lined avenues form important views along many roads; in particular the central avenues of the main streets and across many of the gridded blocks to the rear and sides of various houses within the precinct. Learmonth Street, to the east of Warrenheip Street, features an avenue of large mature oak trees located within the two grassed median strips between the service lanes and the main road thoroughfare. There are also a number of mature elm trees in front of the former Shire Offices and Court House. An Avenue of Honour, which was planted to commemorate the First World War, extends along Learmonth Street, west of Warrenheip Street, toward the Golf Course. The Avenue includes mature silver poplars, oaks and elms. There is also an important row of mature elm trees on the west side of Inglis Street, adjacent to the present Uniting Church.

The Buninyong Precinct is aesthetically important for the variety of significant historic urban landmarks. These comprise views of the churches and their associated buildings, but particularly the Uniting Church with its distinctive tower and its open park-like setting; the former civic buildings along Learmonth Street, but particularly the former Buninyong Town Hall with its notable Italianate styling and dominant central tower; the various commercial buildings along Learmonth and Warrenheip

Streets, but particularly the verandahed shops, the Crown Hotel and former National Bank of Australasia, which both form important focal points of interest on separate corners of the intersection of these streets, and the former Eagle Hotel at 507 Warrenheip Street with its elaborate detailing; the notable former Mechanics Institute and Free Library, and the dominant Masonic Lodge and Buninyong State School No.1270, which all face Warrenheip Street. The distinctive Victorian era residences, some of which feature notable picturesque Victorian Gothic styling; the striking form of the Bunya Pine in the front garden of 'Netherby' at 606 Warrenheip Street; the open landscape of the De Soza Park with its stands of mature conifers, which provides a scenic recreational focus within the dominant commercial area of this part of the precinct; and the diverse landscaping and mature woodland appearance of the Buninyong Botanical Gardens and the adjacent Gong, which provide a scenic recreational focus within the dominant residential area of this part of the precinct.

The important historic visual qualities of the precinct are also enhanced by treatment of roads and verges which form a significant component of most of the streetscapes. These include the gravel/grass road shoulders of a number of the roads; by the turf nature strips with open, earth-formed street drains; by areas of grassed and variously landscaped public and private open spaces and the many private gardens with their mature canopy trees. These landscaped and treed areas provide the precinct with a semi-rural garden setting of considerable variety.

The Buninyong Botanic Gardens and the adjacent lake area known as 'The Gong' are considered to be of State significance (Victorian Heritage Register No. H1826), and are of considerable aesthetic significance to the Precinct. They form an important landscaped area in the Precinct with their mature woodland appearance, and many mature shrubs and trees survive from the early years of the planting of the Botanic Gardens. De Soza Park and the R.S.L. Memorial Park are other important open areas in the precinct and they variously feature landscaped areas of grass, shrubs and mature trees. The small mound and adjacent wire fenced enclosure in De Soza Park are the last visible remains of the 'Crown Mine' mullock heap and shaft.

The Buninyong Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Buninyong Precinct is recognized and highly valued by the local community for its early and predominantly ongoing residential, commercial, civic, educational, social, religious, and recreational associations.

The Buninyong Botanic Gardens are of social significance attracting picnickers from a wide area to view the Gardens and plant collection, and to drink the spring waters.

The South Ballarat Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C.2 and F1).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;

(f) importance for its technical, creative, design or artistic excellence, innovation or achievement.

The Buninyong Precinct is of scientific importance for its early infrastructure development, which demonstrates the technical achievements of the early inhabitants. Examples include in particular the large bluestone lined, arched culvert

with bluestone wing walls that carries the Union Jack Creek under the Midland Highway (Warrenheip Street) at the north edge of the precinct and the reservoir and water reticulation system of the Botanic Gardens. The use of bluestone pitchers as the principal material to form this type of engineering infrastructure also demonstrates an early, and now rarely used construction technology, as well as the excellence of traditional craftsmanship.

The Buninyong Precinct is of importance for the Buninyong Gardens (1861) have scientific (botanical) significance due to their collection of plants, especially conifers, with the *Abies pinsapo* as an outstanding specimen of this uncommon species. The two *Acer opalus subsp. obtusatum* is rare in cultivations, only three other specimens are known in Victoria and the *Acer platanoides* 'Crimson King' and *Acer platanoides* are outstanding examples of the species.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 181 BUNINYONG HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
607	Cornish Street	BUNINYONG VIC 3357
803	Cornish Street	BUNINYONG VIC 3357
805	Cornish Street	BUNINYONG VIC 3357
807	Cornish Street	BUNINYONG VIC 3357
1/405-407	Eyre Street	BUNINYONG VIC 3357
2/405-407	Eyre Street	BUNINYONG VIC 3357
3/405-407	Eyre Street	BUNINYONG VIC 3357
4/405-407	Eyre Street	BUNINYONG VIC 3357
5/405-407	Eyre Street	BUNINYONG VIC 3357
6/405-407	Eyre Street	BUNINYONG VIC 3357
7/405-407	Eyre Street	BUNINYONG VIC 3357
8/405-407	Eyre Street	BUNINYONG VIC 3357
9/405-407	Eyre Street	BUNINYONG VIC 3357
10/405-407	Eyre Street	BUNINYONG VIC 3357
315	Forest Street	BUNINYONG VIC 3357
607	Inglis Street	BUNINYONG VIC 3357
609	Inglis Street	BUNINYONG VIC 3357
704	Inglis Street	BUNINYONG VIC 3357
706	Inglis Street	BUNINYONG VIC 3357
708	Inglis Street	BUNINYONG VIC 3357
207	Learmonth Street	BUNINYONG VIC 3357
209	Learmonth Street	BUNINYONG VIC 3357
211	Learmonth Street	BUNINYONG VIC 3357
213	Learmonth Street	BUNINYONG VIC 3357
215	Learmonth Street	BUNINYONG VIC 3357
217	Learmonth Street	BUNINYONG VIC 3357
309	Learmonth Street	BUNINYONG VIC 3357
314	Learmonth Street	BUNINYONG VIC 3357
202-204	Scott Street	BUNINYONG VIC 3357
206	Scott Street	BUNINYONG VIC 3357
303	Scott Street	BUNINYONG VIC 3357
305	Scott Street	BUNINYONG VIC 3357
312-314	Scott Street	BUNINYONG VIC 3357
313	Scott Street	BUNINYONG VIC 3357
108	Simpson Street	BUNINYONG VIC 3357

HO 181 BUNINYONG HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
110	Simpson Street	BUNINYONG VIC 3357
112	Simpson Street	BUNINYONG VIC 3357
302-316	Simpson Street	BUNINYONG VIC 3357
402	Simpson Street	BUNINYONG VIC 3357
404	Simpson Street	BUNINYONG VIC 3357
402	Warrenheip Street	BUNINYONG VIC 3357
1/403	Warrenheip Street	BUNINYONG VIC 3357
2-3/403	Warrenheip Street	BUNINYONG VIC 3357
4/403	Warrenheip Street	BUNINYONG VIC 3357
404	Warrenheip Street	BUNINYONG VIC 3357
409	Warrenheip Street	BUNINYONG VIC 3357
501-503	Warrenheip Street	BUNINYONG VIC 3357
507	Warrenheip Street	BUNINYONG VIC 3357
509	Warrenheip Street	BUNINYONG VIC 3357
601	Warrenheip Street	BUNINYONG VIC 3357
603-605	Warrenheip Street	BUNINYONG VIC 3357
705	Warrenheip Street	BUNINYONG VIC 3357
707	Warrenheip Street	BUNINYONG VIC 3357
808	Warrenheip Street	BUNINYONG VIC 3357
109	Yuille Street	BUNINYONG VIC 3357
113	Yuille Street	BUNINYONG VIC 3357
115	Yuille Street	BUNINYONG VIC 3357
1/302	Yuille Street	BUNINYONG VIC 3357
2/302	Yuille Street	BUNINYONG VIC 3357
304	Yuille Street	BUNINYONG VIC 3357
402	Yuille Street	BUNINYONG VIC 3357
403	Yuille Street	BUNINYONG VIC 3357



BRIDGE MALL BALLARAT BUILT FORM FRAMEWORK

MAY 2023
FINAL

This report has been prepared for, and in collaboration with, the City of Ballarat.

CONTENTS

Urbis Project Team: Nat Anson, Billy Greenham, Carolynne Baker, Brenton Beggs, Chrissy Carter, Shrijan Joshi, Ryan McMinn, Hamish Law

City of Ballarat Project Team: Terry Natt, Evan Burman, Ed Riley

Version: Rev B

Report Status: FINAL

Date: 15/03/2023



© Urbis 2023

This publication is subject to copyright. Except as permitted under the Copyright Act 1968, no part of it may in any form or by any means (electronic, mechanical, photocopying, recording or otherwise) be reproduced, stored in a retrieval system or transmitted without prior written permission. Enquiries should be addressed to the publishers.

URBIS.COM.AU

1.0	INTRODUCTION AND PURPOSE	5	4.6	Movement Network	38
1.1	Introduction and Purpose	5	4.7	Public Open Space	40
1.2	Approach	5	4.8	Sub-Areas	42
1.3	Study Area	6	4.9	Key Considerations	50
			4.10	Key Opportunities	51
2.0	HERITAGE CONTEXT	10	5.0	VISION AND BUILT FORM PRINCIPLES	52
2.1	History	10	5.1	Vision and Objectives	52
2.2	Broader Heritage Context	10	5.2	Built Form Principles	53
2.3	Heritage Buildings	11	6.0	DEVELOPING THE BUILT FORM FRAMEWORK	56
2.4	Ballarat And UNESCO's Historic Urban Landscape (HUL)	13	6.1	Methodology	56
2.5	Draft Ballarat Skyline And View Study	13	6.2	Sub-Area 1: Bridge Mall Gateway	60
2.6	Cultural Significance	14	6.3	Sub-Area 2: Bridge Mall Central	65
			6.4	Sub-Area 3: Bakery Hill	70
3.0	POLICY CONTEXT	15	7.0	BUILT FORM RECOMMENDATIONS	75
3.1	Policy Context	15	7.1	Recommended Built Form Framework	75
3.2	Ballarat Planning Scheme	19	7.2	Updates to DDO1	84
4.0	URBAN CONTEXT ANALYSIS	24		APPENDIX	85
4.1	Topography	24			
4.2	Landmark Buildings and Key Views	26			
4.3	Existing Built Form	30			
4.4	Lot Pattern	32			
4.5	Building Heights	34			

EXECUTIVE SUMMARY

The Bakery Hill Precinct and Bridge Mall (formerly Bridge Street) is a historically significant area of Ballarat, first surveyed in 1857 during the Gold Rush period. During its history, it has been one of the most important commercial corridors within Central Ballarat. The pedestrian mall was opened in 1981, connecting the wide boulevard of Sturt Street to Bakery Hill.

Today, Bridge Mall maintains its fine-grain layout and retail uses, with a diverse collection of heritage buildings dating from the mid-nineteenth to mid-twentieth century. In recent times, the precinct has declined in economic and development activity, with high vacancy rates, creating an opportunity for appropriate renewal and investment.

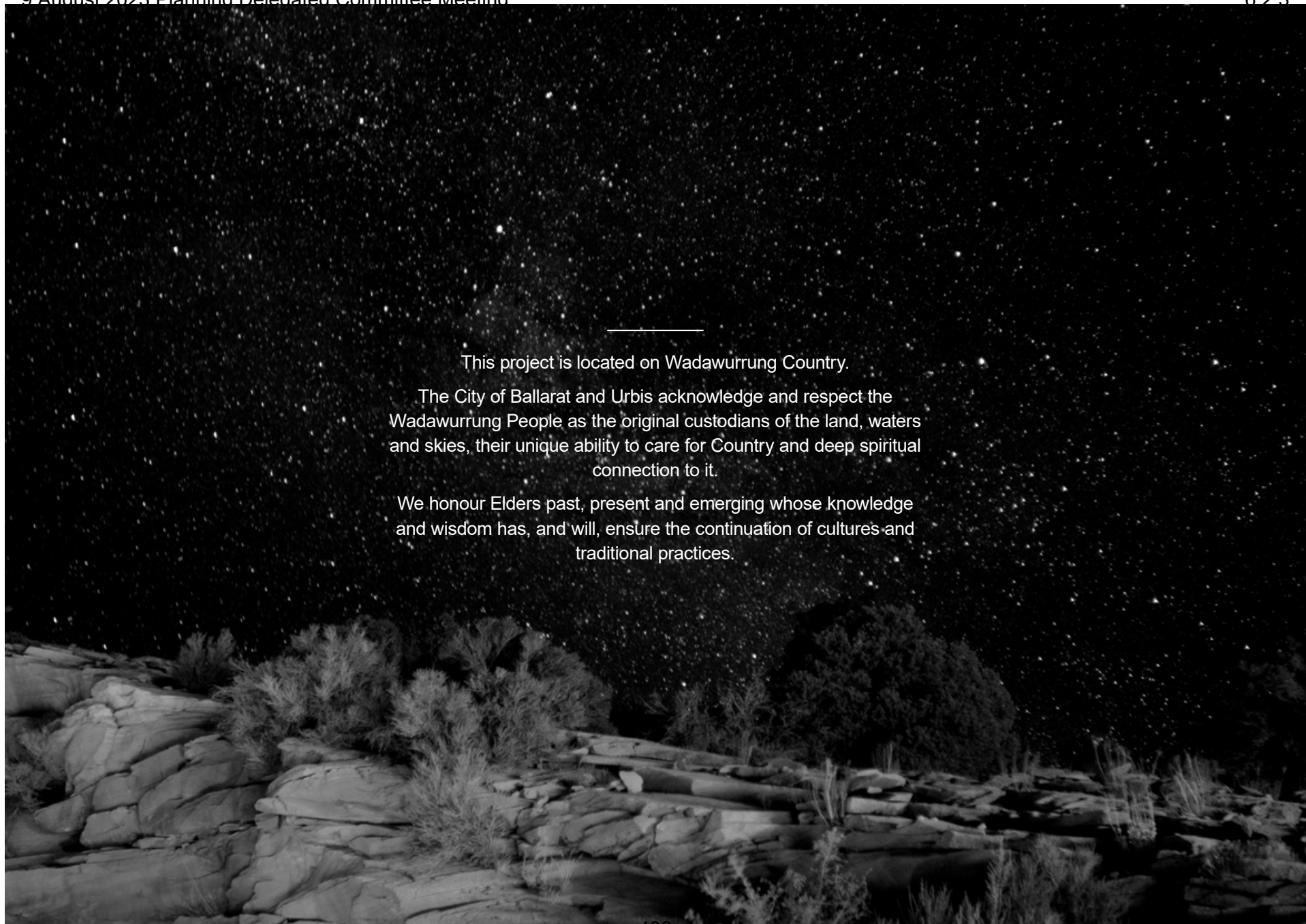
The City of Ballarat's strategic plans and local policy within the Ballarat Planning Scheme identifies the area as suitable for strategic renewal and infill development opportunity. The Bakery Hill Urban Renewal Plan 2019 acknowledges the need for intervention and an appetite for change, setting out public realm improvements to assist with the objective of recasting Bakery Hill as a complete neighbourhood.

These objectives for Bridge Mall are highly constrained by the existing built form control of the Design and Development Overlay – Schedule 1 (DDO1) that applies to the area. The DDO1 has remained unchanged since 1997 and is now misaligned with the strategic intent for the area. It restricts new development to a maximum height of 8.7 metres on the northern side of the Mall and 10.5 metres on its southern side.

This report has been prepared to inform and support the revision and amendment of DDO1, providing design and development guidance to the Study Area. The report sets out the built form principles to guide outcomes and provides built form recommendations for the Study Area through a Built Form Framework Plan.

An embedded project objective is to protect and celebrate the significant heritage within Bridge Mall. The Built Form Framework Plan supports a greater scope for urban infill, and includes guidance on recommended maximum street wall heights, building heights and minimum upper level setbacks.

This Built Form Framework aims to retain heritage values whilst supporting a lively precinct with an appropriate scale of urban development.



This project is located on Wadawurrung Country.

The City of Ballarat and Urbis acknowledge and respect the Wadawurrung People as the original custodians of the land, waters and skies, their unique ability to care for Country and deep spiritual connection to it.

We honour Elders past, present and emerging whose knowledge and wisdom has, and will, ensure the continuation of cultures and traditional practices.

1.0 INTRODUCTION AND PURPOSE



1.1 INTRODUCTION AND PURPOSE

The overarching purpose of this project is to support the City of Ballarat’s strategic vision for Bridge Mall (and Bakery Hill) area to be a thriving, complete neighbourhood. This report supports the urban renewal of Bridge Mall by providing design and development guidance for the Study Area, defined by the area of the Design Development Overlay – Schedule 1 (DDO1) ‘Bridge Mall’, refer to Figure 2 and 5.

The DDO1 control is highly restrictive and is inconsistent with the current context and vision for the Bakery Hill and Bridge Mall area, as set out in the City of Ballarat’s strategic plans and local policy – particularly the Ballarat Strategy (2015), Making Ballarat Central - CBD Strategy (2017) and the Bakery Hill Urban Renewal Plan (2019). Urbis has combined its heritage, design and planning expertise to provide robust analysis and recommendations that support a revision of the DDO1 control.

Located on the river flats of Yarrowee River, Bridge Mall/ Bakery Hill Precinct is one of the oldest commercial centres in Ballarat. It originally linked the diggings in Ballarat Flat with the ordered official government township in the west.

This area is one of the most significant strategic opportunities within the Ballarat CBD –a strategic precinct within a city rich with magnificent built form.

The renewal of Bridge Mall Precinct will underpin the creation of a thriving, connected and distinctive place for locals and visitors alike.

1.2 APPROACH

This project has been undertaken in iterative stages of analysis, review and recommendations set out below.

- Background and literature review
- Site visits
- Study Area context analysis (Planning, Design and Heritage)
- Engagement with Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC)
- Preliminary review and presentation to Council officers
- Development of built form principles
- Testing of development scenarios
- Recommendations and Built Form Framework Plan

The Built Form Framework is the culmination of the project analysis and recommendations and provides design and development guidance in association with a draft replacement DDO1 provision. The Framework is underpinned by extensive built form analysis and study, considering the significance of existing conditions, urban context, built form, and heritage values.

As presented within this report, the analysis considers the area’s existing urban character and grain. It tests a range of built form influences based upon various development principles, resulting in the Framework Plan recommendations.

An innovation within the project has been the use of the Ballarat 3D spatial model to test the built form envelope for various development scenarios to arrive at the preferred built form envelope. The detailed testing scenarios are contained within the Appendix of this report.



6 Bridge Mall Built Form Framework

1.1 STUDY AREA

The Study Area is defined as the area of the planning overlay DDO1, that covers a portion of Bridge Mall precinct (Figure 1 and 2), also referred to as the 'Bridge Mall Core Precinct'. The Study Area is generally contained within Grenville Street on the west, Curtis Street on the north, Little Bridge Street on the south, and the intersection with Humffray Street South at its eastern end. The pedestrianised Bridge Mall runs east-west through the Study Area.

The Bakery Hill Urban Renewal Plan 2019 provides significant background and historical context to the area, as well as defining a vision, themes, objectives and initiatives to reinvigorate the precinct as a complete and vibrant neighbourhood.

The Study Area is defined by the pedestrianised Bridge Mall and its urban heritage, character and commercial use. The Bakery Hill Precinct and Bridge Mall (formerly Bridge Street) is a historically significant area of Ballarat, which was first surveyed in 1857 during the Gold Rush period.

Bridge Mall has always been an important commercial corridor, linking the grand boulevard of Sturt Street to the west with Bakery Hill, Main Road and Victoria Street to the east. Bridge Mall and Bakery Hill area contains a diverse collection of heritage buildings dating from the mid-nineteenth to the mid-twentieth centuries.

Bridge Mall was pedestrianised in 1981, primarily containing retail and hospitality uses. Recent economic decline means Bridge Mall has high vacancy rates, driving the need for strategic review and renewal. Bridge

Mall has a highly consistent two-storey street wall with significant heritage assets. It is generally a fine-grained, human-scale street with attractive and varied building forms. It is located within key view lines between the commercial and civic centre of Ballarat to the west and Mount Warrenheip to the east.

While there has been little recent development in this precinct, the Bakery Hill Urban Renewal Plan anticipates that the area is suitable and will be subject to more intensive development in the future.

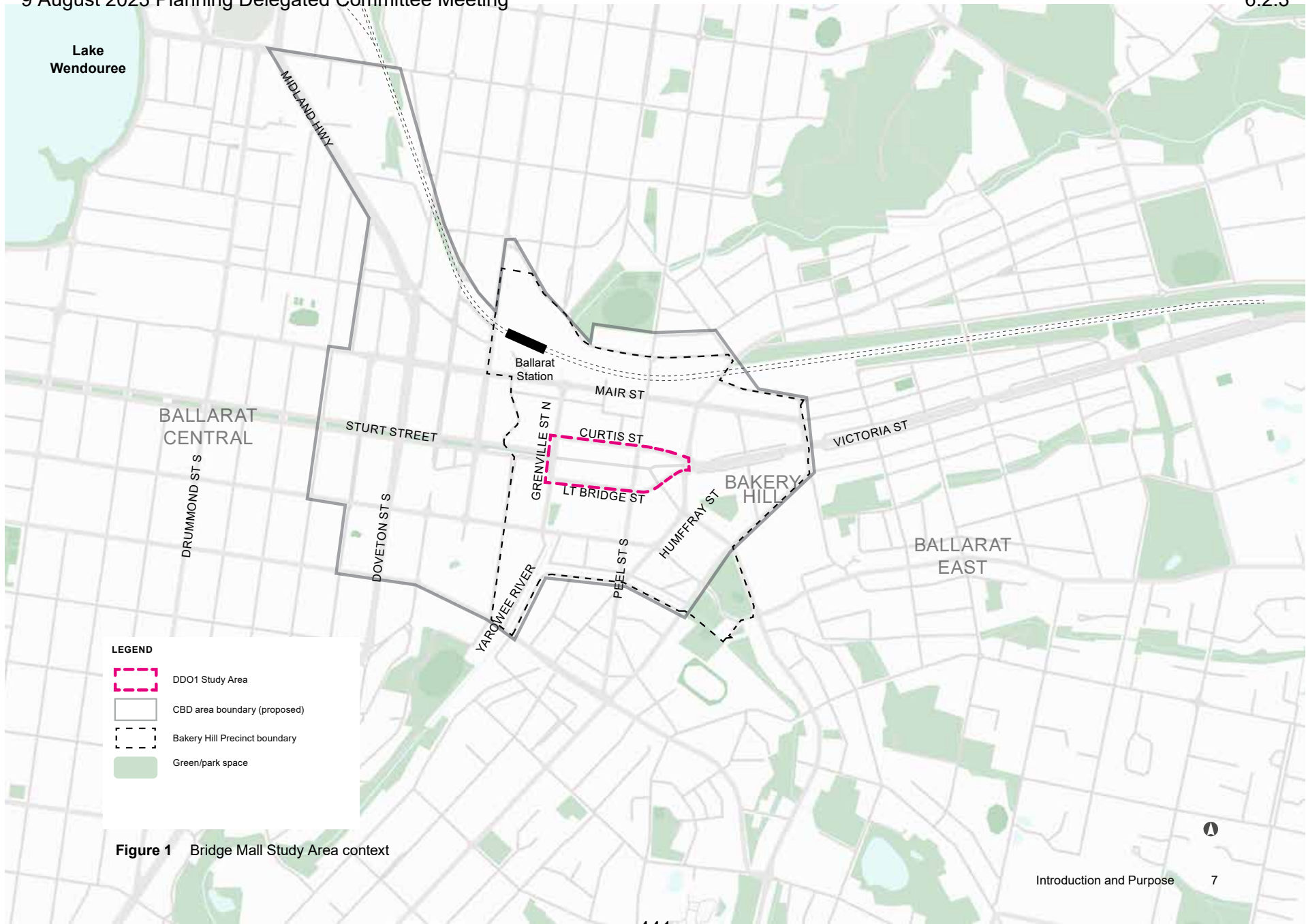
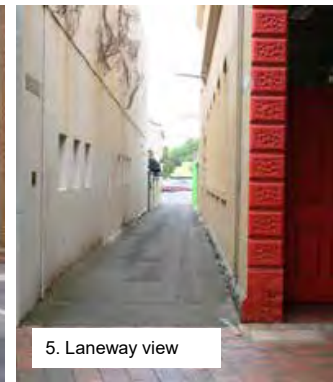
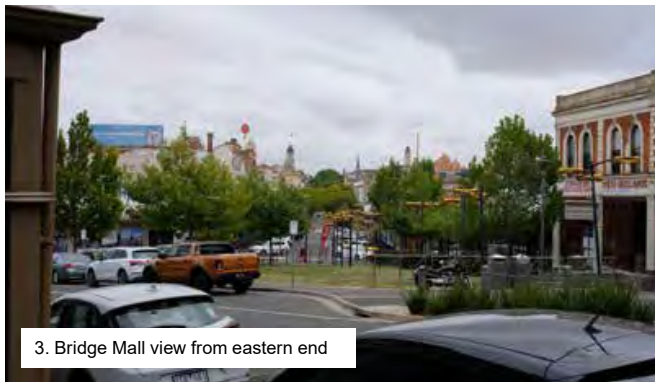


Figure 1 Bridge Mall Study Area context

Figure 2 Project Study Area



SITE PHOTOS



2.0 HERITAGE CONTEXT

This section provides an overview of the relevant policies and the historical context of the Study Area.



10 Bridge Mall Built Form Framework

2.1 HISTORY

Central Ballarat is rich in history and the extent of intact heritage fabric is evidence of the city's evolution during the Gold Rush period which commenced in the 1850s.

Prior to European settlement, the Yarrowee was an important place for the Boro Gundidj, a clan of the Wadawurrung People.

Ballarat developed rapidly after rich alluvial gold deposits were discovered in 1851. Located on the river flats of Yarrowee River, Bridge Street is one of the oldest commercial centres in Ballarat. It originally linked the diggings in Ballarat Flat with the ordered official government township in the west.

Frequent floods plagued the early inhabitants until engineering works were carried out in 1862 to raise the level of the street. In some places it was raised up to six feet. The basic bridge erected over the Yarrowee River reportedly determined the narrow width of the road as shopkeepers built their shops to align with the bridge. Bridge Street is named accordingly.

These works consolidated Bridge Street as Ballarat's main commercial centre, a role it has served to the present day.

However, the precinct has also undergone a degree of change over the years, particularly at the western end. A number of the early buildings have been altered or demolished in their entirety, most verandahs have been removed and many shopfronts altered. By the 1960s Bridge Street had changed substantially and many of the early buildings were modernised at this time. After the pedestrian mall was created in 1981, Bridge Street ceased to serve as the eastern gateway to central Ballarat.

2.2 BROADER HERITAGE CONTEXT

Beyond the boundary of Bridge Mall Heritage Overlay Precinct (HO176), there is an adjacent Heritage Overlay precinct to the west of the Study Area – the Lydiard Street Heritage Precinct (HO171) – as well as one to the east, the Victoria Street Heritage Precinct (HO177). The three heritage precincts share a degree of visual connection owing to the topography, refer to Figure 5.

Part of the Creeks and River Channels Heritage Precinct (HO172) is located to the south of the Study Area. The Yarrowee River, which was heavily degraded during the gold rush period, was rerouted underground in the 1960s but still flows under the western end of the precinct. The line of Coliseum Walk and Alfred Walk chart the now subterranean course of the river.

In addition, there are a few individually significant buildings located outside the Study Area but within the extent of HO176. The Former Titheridge & Growcott building (HO93) and the Ballarat East Post Office (HO94) are both located on Main Road to the south of the Study Area (at 15-19 and 21 respectively). St Paul's Anglican Church, at 3 Humffray Street South, Bakery Hill, is on the Victorian Heritage Register at VHR No.H0401. It is also subject to HO191.

2.3 HERITAGE BUILDINGS

The City of Ballarat is in the process of undertaking a review of its heritage overlays to ensure they are up to date and properly describe the significance of the heritage places and buildings within the broader CBD area.

The City of Ballarat has recently undertaken further work to identify which buildings are significant and contributory within Bridge Mall/ Bakery Hill Heritage Precinct. A draft Statement of Significance for the precinct was recently prepared by GJM (December 2021). Buildings within the Heritage Overlay (HO176) were graded as individually significant, contributory and not contributory. The gradings within the Study Area shown in Figure 3 are based on GJM's assessment and peer reviewed by Landmark Heritage.

Figure 3 illustrates that the Sub-Area 2: Bakery Hill is most intact to its early form with the highest concentration of heritage buildings. The intactness and integrity of Bridge Mall streetscape decreases to the west.

Much of Bridge Mall streetscape is identified as having an important heritage character.

It is significant for the following reasons:

- Early and largely intact streetscape of original and early Victorian, Federation and Inter-war era commercial buildings.
- Characteristically double storey scale, interspersed with some single and three-storey development.
- Predominantly fine-grained subdivision pattern. Remnant narrow shop-fronts that reflect the subdivision of land in the early period.
- Many deep lots.

- Stepped parapets.
- A number of key landmark buildings such as the former hotel building at 92 Bridge Mall, the former State Savings Bank of Victoria at 95-99 Bridge Mall and the semi-detached pair of three storey buildings at 24-26 Bridge Mall.
- Visual connection to Sturt Street, Bakery Hill and the distant axial view of Mount Warrenheip to the east.
- The curvature of the road as it rises to meet Victoria Street.
- Compressed streetscape quality in the lower lying part of Bridge Mall which reflects the width of the early bridge erected over the Yarrowee River.
- Strip retains shops from an early period that retain the sense of a gold rush town.
- Combination of topography and heritage streetscape, which is unusual in Victoria and compares to other gold rush towns such as Beechworth and Maldon.
- Forms part of a broader nationally significant network of gold rush towns.

However, the precinct has also undergone a degree of change over the years, particularly at the western end. A number of the early buildings have been altered or demolished in their entirety, and the street no longer serves as the eastern gateway to central Ballarat.



Figure 3 DRAFT Grading Map for H0176 (GJM Heritage, Draft Heritage Citation, p.19, peer review by Landmark Heritage)



2.4 CULTURAL SIGNIFICANCE

The Project's Study Area is influenced by two landmarks of cultural significance: the Yarrowee River which bisects the Study Area, and the view to Mt Warrenheip.

The Study Area is within Wadawurrung Country. The Wadawurrung Traditional Owners Aboriginal Corporation (WTOAC) is the Registered Aboriginal Party (RAP) and is responsible for caring for Wadawurrung living cultural heritage and Country in accordance with the Aboriginal Heritage Act 2006 and the Paleert Tjaara Oja: Wadawurrung Country Plan (2020).

The Project Team attended a meeting with WTOAC early in the Project's analysis phase, to discuss the culturally significant influences over the Study Area. From the meeting, we learned:

- The view line down Sturt Street looking towards Mount Warrenheip is considered a post-contact construct. The WTOAC are concerned that the focus on this view places a disproportionate emphasis on Mt Warrenheip at the expense of several other nearby mountains considered to be of equal cultural significance.
- While views to Mt Warrenheip are culturally important – and underscoring the significance of the place of Mt Warrenheip – the cultural relationship is spatially different to the post-contact concept of a direct view line. The relationship is also of social, historical and spiritual significance. Purely visual relationships should not be privileged.

- While there are social and cultural values to protecting views to Mt Warrenheip, WTOAC do not seek to designate a specific viewpoint/ protection of view along Sturt St. Urbis recognises that we cannot project or prescribe the cultural value of the view line to Mt Warrenheip.
- The alignment of the Yarrowee River is highly modified and now flows within a tunnel under the Study Area. However, its concealment does not diminish its cultural significance. Gaps in built form along Bridge Mall chart the course of the river underneath. The conventional distinction made between tangible and intangible heritage is not useful in this instance. WTOAC advise that there is significant opportunity to restore country through restoration of the Yarrowee River.

Urbis thanks WTOAC for the opportunity to engage and learn through this project. The view line from Sturt St to Mt Warrenheip will be separately analysed as a post-contact heritage consideration.

Urbis notes that this Project is focused upon the private parcels of land within Bridge Mall and as such, the public realm (including Yarrowee River) is primarily addressed through Bridge Mall Public Realm Master plan.



3.0 POLICY CONTEXT

This section provides an overview of the existing relevant policy and planning control context of the Study Area.



3.1 POLICY CONTEXT

Bridge Mall's existing and emerging policy context are set out in key strategic policy documents. These documents, along with policy directions within the Ballarat Planning Scheme, have provided a contextual local framework to inform this project's analysis and recommendations.

Other policy documents including State Government Planning Practice Notes and strategic plans have also provided a broader planning context to the project.

The following documents have provided key strategic directions for Bridge Mall area, as well as the identification of valuable built form, views, and heritage context.

Key Ballarat documents:

- Today, Tomorrow, Together - The Ballarat Strategy: Our Vision for 2040 (2015)
- Bakery Hill Urban Renewal Plan (2019)
- Bridge Mall Public Realm Master plan (2021)
- Making Ballarat Central (the CBD Strategy) (2017)
- Ballarat Planning Scheme

Other relevant documents include:

- Ballarat Planning Scheme Heritage Control 2004 Incorporated Plan (revised Oct 2015)
- Ballarat Heritage Precincts Statements of Significance 2006 (revised Aug 2014) – Incorporated Document
- Planning Practice Notes 1, 59 and 60 (Applying the Heritage Overlay, Mandatory Provisions and Height and Setback Controls for Activity Centres)

Other Reference Material (draft documents not yet adopted by Council):

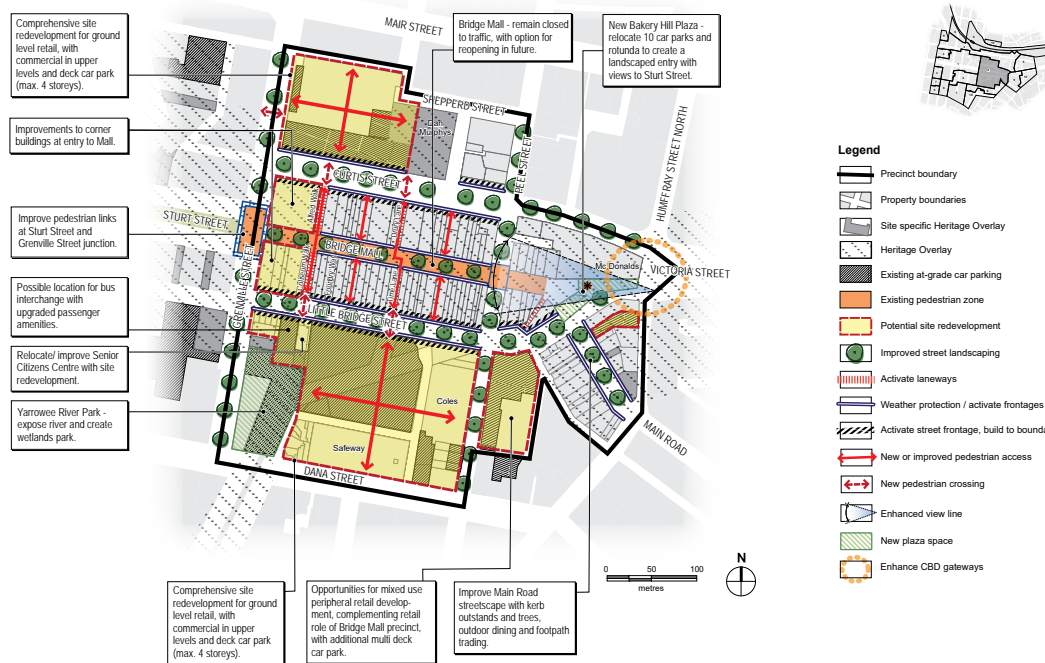
- Draft Heritage Citation for HO176 (GJM Heritage, Dec 21)
- Draft Statement of Significance for HO176 (GJM Heritage, Dec 21)
- Draft Ballarat Skyline and Views Study (2021)

Recent strategic work for Ballarat has been undertaken to support a thriving central city and in response to the city currently experiencing an accelerated rate of change. The above-mentioned strategies for Ballarat are based on compact city principals and managing change.

Broadly, a 'capital city' experience is envisaged with a focus on a thriving CBD attracting more economic activity, art and culture, and residents over the next 20-25 years. It encourages mixed use infill development and housing growth that reinforces a compact city with improved inner-city amenity and night-life along with a more sustainable transport network. Conversely, a key concern is if the growth is not harnessed appropriately, the city's heritage and the distinctive identity becomes vulnerable to this change.

An Urban Design Framework and Structure Plan for the Ballarat CBD are currently in the early stages of development and this (Bridge Mall) project sits within the broader framework that will be developed for the Ballarat CBD to provide guidance for future built form and heritage buildings.

Figure 4 Plan for Precinct 2: Bridge Mall Core Retail (Making Ballarat Central The CBD Strategy)



TODAY, TOMORROW, TOGETHER AND MAKING BALLARAT CENTRAL

The Today, Tomorrow, Together: The Ballarat Strategy document identifies several areas suitable for urban infill, including the Ballarat CBD (containing this Study Area). The Making Ballarat Central (CBD Strategy) document builds upon this approach by further defining precincts within the CBD. This Project's Study Area is included within Precinct 2 'Bridge Mall Core Retail', which includes the immediately surrounding large format retail and the large at-grade car parks.

Underpinning *Making Ballarat Central (The CBD Strategy)* are five city-wide themes to realise the long-term vision of the CBD: Commercial and Cultural Capital, Connections, Places for People, Building Quality and Strong Leadership and Governance.

Both documents adopt the '10 Minute City' ambition, which reflects the community's aspirations to maintain existing levels of access to destinations and services as the city grows.

Among other objectives to connect and activate Precinct 2, The CBD Strategy seeks to enhance and grow the retail area and maximise development opportunities on underutilised land. Relevant strategies for Precinct 2 include:

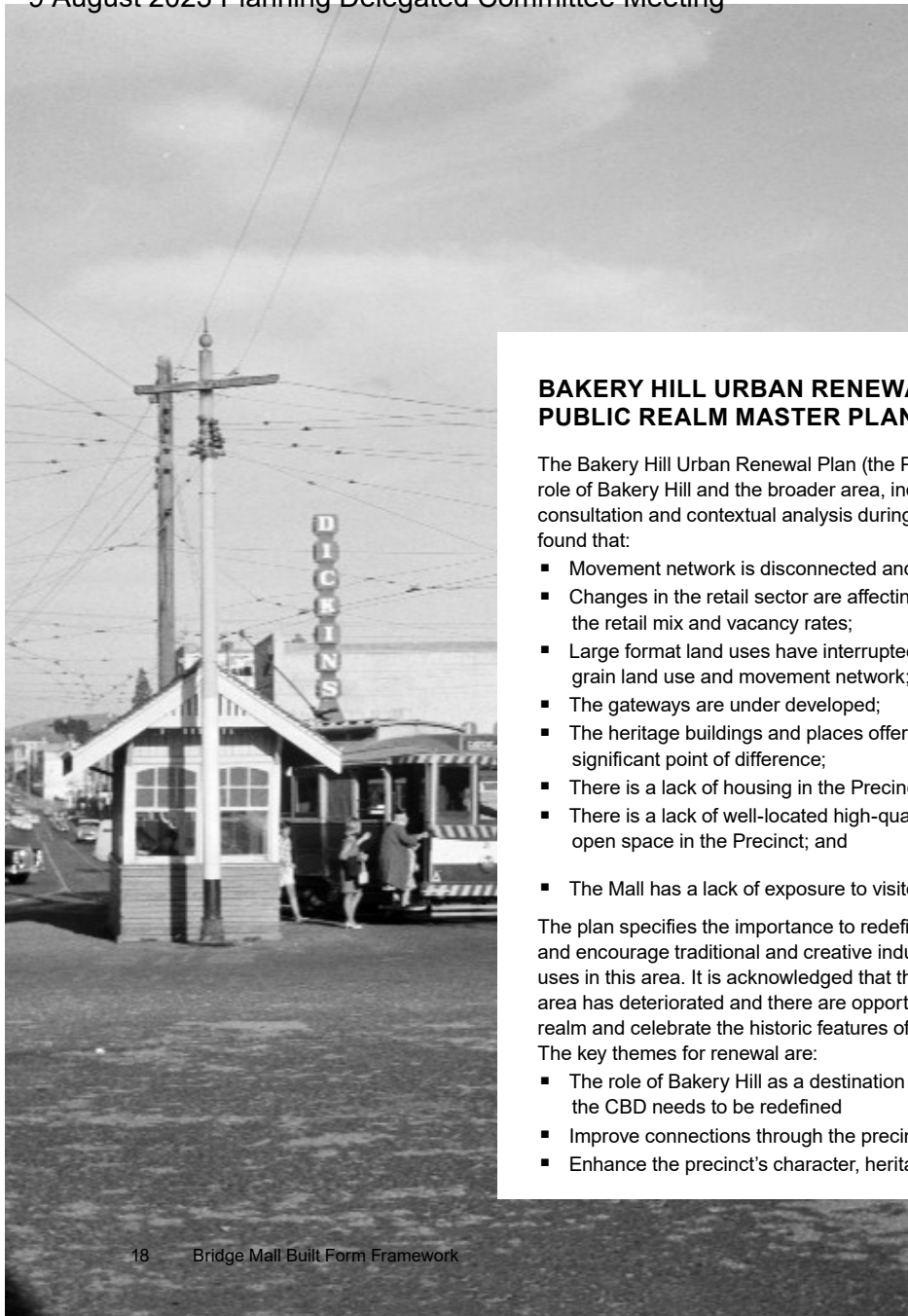
- Develop the area as a vibrant mixed use retail area.
- Include commercial and residential uses in upper levels.
- Provide active retail frontages and weather protection on all street façades.
- Improve north-south pedestrian connections through laneway 'walk through' spaces.

- Rationalise signage in this Precinct to reduce visual clutter, particularly large scale advertising signage at CBD entry points.

A preferred height of three storeys (equivalent to two stories of a heritage building, or approximately 9 metres) for Bridge Mall is specified within the CBD Strategy as follows:

- Within Bridge Mall and Victoria Street allow buildings up to three storeys in height with façade treatment demonstrating dominant heritage façade patterns. (Note that a contemporary three storey building will be the equivalent of a double storey heritage building.) This will ensure a 'pedestrian scale' within these areas and retain sight lines along Sturt Street.

As mapped within Making Ballarat Central (The CBD Strategy), land at the western end of Bridge Mall is designated as potential site redevelopments. New or improved pedestrian links are also sought throughout Bridge Mall. Curtis and Little Bridge Streets are designated to build to boundaries in order to activate the street frontage.



BAKERY HILL URBAN RENEWAL PLAN AND PUBLIC REALM MASTER PLAN

The Bakery Hill Urban Renewal Plan (the Plan) seeks to redefine the role of Bakery Hill and the broader area, including Bridge Mall. Extensive consultation and contextual analysis during the preparation of the Plan found that:

- Movement network is disconnected and conflicting;
- Changes in the retail sector are affecting the retail mix and vacancy rates;
- Large format land uses have interrupted the fine grain land use and movement network;
- The gateways are under developed;
- The heritage buildings and places offer a significant point of difference;
- There is a lack of housing in the Precinct;
- There is a lack of well-located high-quality open space in the Precinct; and
- The Mall has a lack of exposure to visitors and passing trade.

The plan specifies the importance to redefine the role of the precinct and encourage traditional and creative industries as well as residential uses in this area. It is acknowledged that the historical built form of the area has deteriorated and there are opportunities to improve the public realm and celebrate the historic features of Bakery Hill and Bridge Mall. The key themes for renewal are:

- The role of Bakery Hill as a destination within the CBD needs to be redefined
- Improve connections through the precinct
- Enhance the precinct's character, heritage and public realm

KEY INSIGHTS

- Bridge Mall Study Area is highlighted as a key opportunity to contribute to a revitalised CBD through appropriate urban renewal and infill.
- It is critical that urban development contributes to the historical and cultural value of Ballarat.
- Ballarat CBD is experiencing a period of accelerated change and this should be managed appropriately so the heritage and distinctive characteristics of the city are not impacted.
- There are opportunities to re-invigorate Bridge Mall through mixed use development, with commercial uses encouraged to activate the ground plane, and potential for residential and offices at upper levels.
- More intensive redevelopment of the west end of the Study Area of Bridge Mall is encouraged, as set out by existing strategies and the Ballarat Planning Scheme.
- The strategic intent set out existing strategies, and the Ballarat Planning Scheme, and stated built form recommendations are inconsistent with the current DDO1.

3.2 BALLARAT PLANNING SCHEME

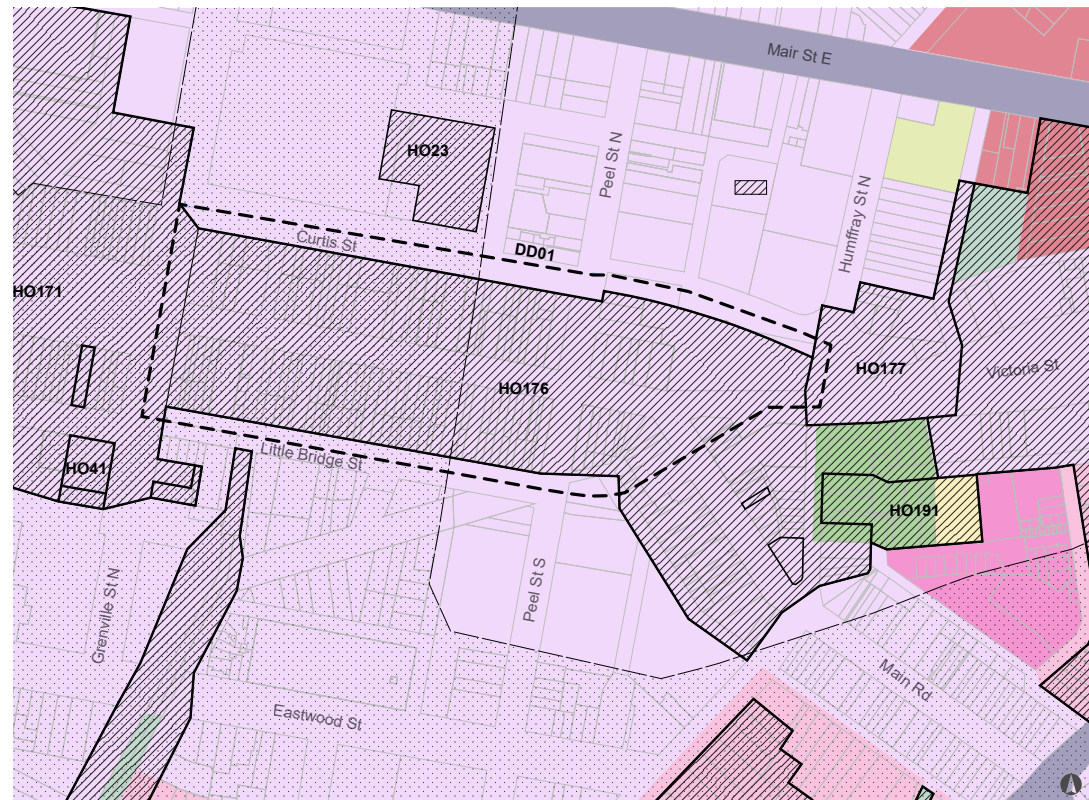
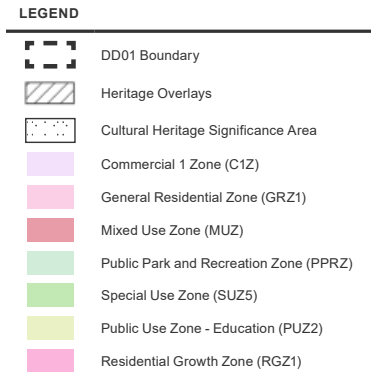
Figure 5 shows the Study Area is:

- Zoned Commercial 1 Zone; and
- Subject to multiple overlays:
 - Design and Development Overlay
 - Schedule 1 (DDO1)
 - Heritage Overlay (HO176)

The above planning controls are described further below. The Study Area fractionally overlaps with two other heritage precinct overlays (HO177 and HO171), that are not considered critical to this Study Area analysis.

The western part of the Study Area is within an area of cultural heritage sensitivity, mapped to the Yarrowee River corridor.

Figure 5 Planning Zones and Overlays



LOCAL PLANNING POLICY

Within local planning policy are a range of clauses providing context and direction to this project. The key policies and objectives are summarised below.

Clause 21.02 Settlement and Housing

Clause 21.02 provides the direction and guidance for development and growth in terms of future housing and its preferred locations.

Bridge Mall Precinct sits within the broader Ballarat CBD which is envisaged to accommodate higher densities of development in close proximity to public transport corridors (referred to as Convenience Living Areas) in the Ballarat Planning Scheme. Relevant objectives and strategies from Clause 21.01 are set out below.

Urban Growth

The '10 Minute City' principal is reinforced in this Clause, encouraging significant new mixed-use development in the Ballarat CBD.

Objective 1

To support a pattern of growth which reinforces the '10 Minute City'.

Strategies

1.1, Encourage significant new mixed use development in the CBD which supports knowledge sector and retail employment opportunities, more inner city living and street level and out of hours activation.

1.2, Facilitate higher density infill housing in areas of convenience living, urban renewal precincts and the Ballarat CBD.

1.4, Discourage increased development density in fringe areas, particularly those that are more than walking distance from activity centres.

Areas of convenience living

Development of higher density housing in Convenience Living Areas is encouraged to support long-term high frequency public transit services for the Ballarat CBD.

Objective 2:

To establish a sufficient number of residents in convenience living corridors to support a high frequency public transport network.

Strategies:

2.1 Support residential development within 400 metres of public transport services with larger scale and higher density infill located within convenience living corridors.

2.2 Facilitate higher intensity and priority residential infill development within convenience living areas which are within 200m from an identified network of high frequency public transport corridors.

2.3 Ensure appropriate design responses within areas of convenience living that are affected by heritage and design controls.

Housing Diversity

A mix of housing types is encouraged to facilitate social diversity and increase the proportion of lower cost accommodation, social housing and housing for people of all abilities.

Objective 7:

To provide a range of choices in housing design, location and density.

Clause 21.03 Environmental and Landscape Values

Clause 21.06 notes that unsuitable design which significantly impacts the landscape values and key view lines can reduce the experience of living in the Ballarat municipality. Mt Warrenheip is noted for its significance.

Clause 21.06 Built Form, Heritage and Design

Clause 21.06 seeks to protect and enhance the quality of built areas as well as historical, aboriginal, natural and cultural significance. Relevant objectives and strategies from Clause 21.06 are set out below.

Urban Design

It is recognised that the quality of design and stimulating activity through high quality streetscape and open spaces is crucial to Ballarat's identity and competitiveness.

Objective 1

To protect and enhance the quality and character of built areas, considering context and local values.

Strategies

- 1.1, Ensure that the scale, bulk and quality of new development contributes to the character and amenity of the built environment.
- 1.2, Maintain important views and vistas within the Ballarat CBD including skyline views of spires and towers and the Yarrowee escarpment.
- 1.3, Improve the visual quality of major transport routes and connections to tourist destinations.

Heritage

Ballarat's heritage resources are to be protected and enhanced for their conservation, cultural and tourism potential as well as ensuring that what makes Ballarat distinctive isn't lost due to new development.

Objective 4

To protect, conserve and enhance areas, features, structures and sites of historic, aboriginal, natural and cultural significance.

Strategies

- 4.1, Conserve, protect, and enhance the fabric of identified heritage places and precincts.
- 4.2, Identify and protect heritage places, including maintaining the visual prominence of heritage buildings and landmarks.
- 4.3, Encourage sympathetic forms of development adjacent to heritage sites.
- 4.4, Ensure alterations to heritage places are carried out in a sympathetic manner with consideration to the 'Burra Charter'.
- 4.5, Discourage the demolition of buildings and other elements of identified local, state and national heritage significance.
- 4.6, Require that new development interprets culturally significant places and respects heritage and cultural boundaries.
- 4.7, Protect pre and post contact Aboriginal cultural heritage.

Clause 21.09 Local Areas

Clause 21.09 supports significant new mixed use development within the Ballarat CBD with a focus on providing residential uses at upper levels. It is stated that the CBD is to be managed as a "key entertainment destination, a hub of knowledge sector, retail employment activities and inner city living precinct with street level and out of hours activation". Strategies include

1. Facilitate significant new mixed use development and redevelopment in the CBD.
2. Facilitate the redevelopment of vacant upper floorspace within the Ballarat CBD for residential purposes.
3. Consider the objectives, strategies and actions of the CBD Strategy: Making Ballarat Central (2010).

COMMERCIAL 1 ZONE

Bridge Mall Precinct sits within the Commercial 1 Zone (C1Z), which covers the broader CBD area of Ballarat.

The Purpose of the Commercial 1 Zone is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To create vibrant mixed use commercial centres for retail, office, business, entertainment and community uses.
- To provide for residential uses at densities complementary to the role and scale of the commercial centre.

Under the C1Z, most commercial uses are as of right. Residential uses require planning permission if they have a frontage of more than 2m in width at ground floor level.

CURRENT DDO1 SCHEDULE (BRIDGE MALL PRECINCT)

Schedule 1 to the Design and Development Overlay (DDO1) is the existing built form control that affects the Study Area and provides prescriptive (mandatory) requirements to maximum building heights.

The current maximum building height limits are 10.5m on the south side of Bridge Mall and 8.7m on the north side. The existing built form controls prescribed by the DDO are viewed as prohibitively restrictive towards development, with onerous height controls.

The limitations of DDO1 significantly undermine and conflict with the intent of local policies (Clause 21.01-1 Urban Growth and Clause 21.02-2 Areas of Convenience Living) which seek to encourage sustainable development and facilitate housing and population growth within the Ballarat CBD. The DDO1 provide less scope for development than might typically be expected under the Heritage Overlay alone.

HO176

Bridge Mall/ Bakery Hill Heritage Precinct (HO176) extends over the Study Area as well as extending beyond the Study Area to the southeast (including part of Victoria Street, Humffray Street and Main Road).

Bridge Mall/ Bakery Hill Heritage Precinct is identified as being of significance for its streetscapes of nineteenth to mid-twentieth century commercial buildings. It is of local historical, representative (architectural), scientific and aesthetic significance to the City of Ballarat.

Both external paint controls and tree controls currently apply under the provisions of HO176, however internal alteration controls do not.

The Heritage Overlay includes permit triggers for subdivision, demolition and the carrying out of building and works. The associated Incorporated Document within the Ballarat Planning Scheme, 'Ballarat Planning Scheme Heritage Control 2004 – Incorporated Plan' (revised October 2015) provides decision making guidance for land within the HO.

An unusual aspect of the Incorporated Plan is that it states that no permit is required to demolish a building and associated outbuildings and fences within a site identified as being 'not of heritage significance' within the incorporated document Ballarat Heritage Precincts – Statements of Significance (2006). More commonly, a permit for demolition of a non-contributory building within a Heritage Overlay precinct would only be granted subject to an appropriate replacement design.

Clause 22.05

As the Study Area is part of HO176, it is therefore subject to the provisions of Clauses 43.01 (the Heritage Overlay), 15.03 (State Planning Policy Framework) and 22.05 (Heritage Conservation and Heritage Precincts) of the Ballarat Planning Scheme. Objectives include:

- To support the demolition of buildings that are 'not of heritage significance' in a heritage precinct as listed in the:
 - 'Ballarat Heritage Precincts – Statements of Significance (2006)' incorporated document.
 - 'Ballarat Heritage Precincts Study Part A 2006 – Statements of Significance' incorporated document.
- To ensure new development is consistent with the Statement of Significance of the relevant heritage precinct as listed in the:
 - 'Ballarat Heritage Precincts – Statements of Significance (2006)' incorporated document.
 - 'Ballarat Heritage Precincts Study Part A 2006 – Statements of Significance' incorporated document.
- To ensure that new development interprets the cultural significance of the place.

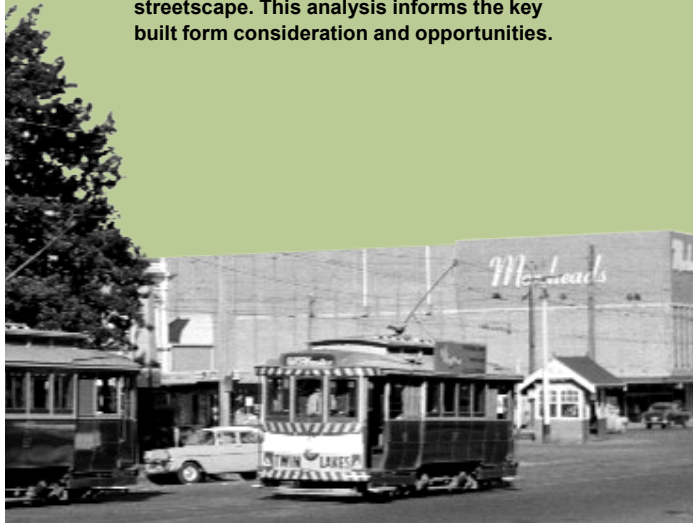
KEY INSIGHTS

- Planning policies strongly support appropriate urban renewal and note that Bridge Mall can accommodate new development respectful of its historic context.
- There is conflict between the highly restrictive DDO1 control and other planning policy that supports more intensive development.
- Within the Study Area of Bridge Mall a mix of uses is encouraged.
- There is an exemption within the HO that means planning permission is not required to demolish a building identified as 'not of heritage significance'. This can have a negative impact upon the streetscape and should be addressed in the Citation update.

4.0 URBAN CONTEXT ANALYSIS

This section of the report analyses the urban context and built form of the Study Area. This includes topography, landmark buildings and key views, existing built form, lot pattern, heritage, building heights, movement network, public open space, sub-areas and interfaces.

The Study Area is a rich mix of heritage and non-heritage developments with narrow building frontages and a distinct streetscape. This analysis informs the key built form consideration and opportunities.



4.1 TOPOGRAPHY

The Study Area sits within the low-lying Yarrowee River plain between central Ballarat and Bakery Hill, both rising more than 10 metres above the elevation of Bridge Mall, refer to Figure 6.

The Study Area is relatively flat with only minimal level elevation change, except for the Bakery Hill area. Bakery Hill is located at the eastern end of the study area and has a higher elevation of approximately 6-8m above the central section of Bridge Mall. As a result, the Bakery Hill end is visually more prominent, and new development will need to be designed sensitively to minimise the impacts of taller built form.

Figure 6 Topography plan



4.2 LANDMARK CBD BUILDINGS & KEY VIEWS

Three "key views" have been analysed from street intersections looking back (east), towards Bridge Mall and towards Mount Warrenheip from the northern corner at the intersection of Sturt and Lydiard Streets. Views to Bakery Hill looking West (Viewpoint 1) and the eastern end of Curtis Street towards the Ballarat CBD (Viewpoint 2) were also analysed, refer to appendix.

These 3D model views provide an indicative impression only and do not reflect the experienced reality on the street, where street trees and other physical elements (including signage) create multiple visual obstructions.

The objectives of the visual analysis are to understand:

- The impact of the DDO built form in relation to Mount Warrenheip when viewed from Sturt Street.
- The impact to the view of the city skyline looking west from the eastern part of the precinct.

KEY INSIGHTS (view from Sturt Street)

- Viewpoint 1, is located at the intersection of Sturt Street and Lydiard Street, refer Figure 9. As shown in Figure 7, Sturt Street slopes down and moving closer to Bridge Mall views are lost to Mount Warrenheip. This viewpoint provides a good view of the entry to Bridge Mall and enables views towards Mount Warrenheip. Views to the east are disrupted as one moves further down the slope of Sturt Street (from Lydiard Street) and buildings and other obstructions prevent more distant views from the base of the slope (at Grenville Street).

Figure 7 Sturt Street/ Lydiard Street - north side view (Viewpoint 1) for purpose as a key view point along Sturt Street

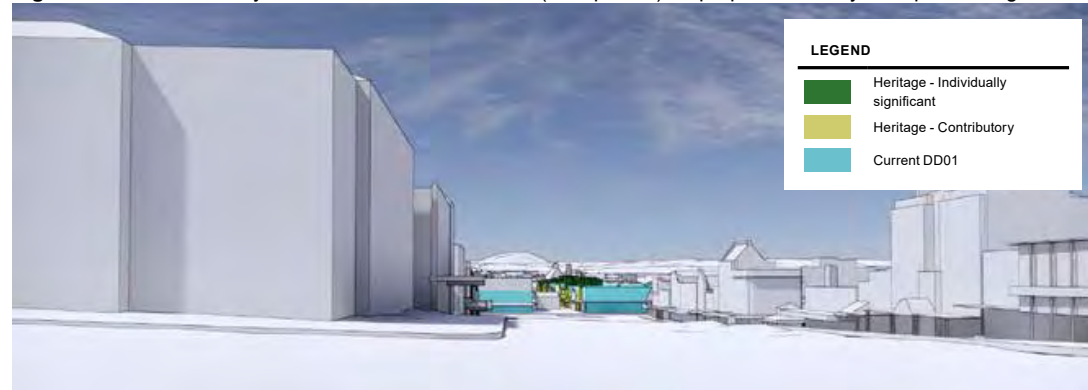


Figure 8 Street profile analysis from Sturt Street/ Lydiard Street

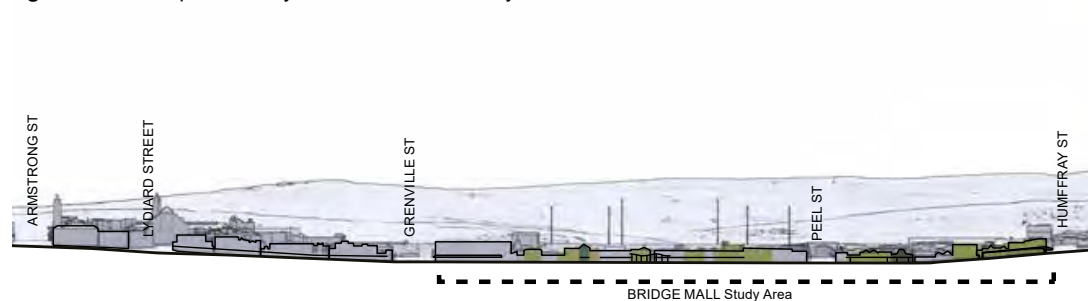


Figure 9 View points location plan



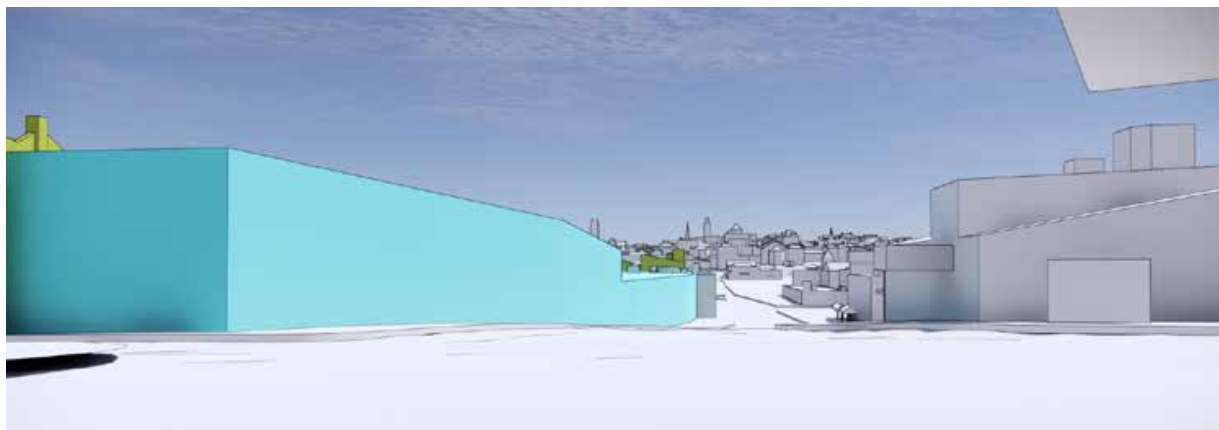
Figure 10 Bakery Hill looking west (Viewpoint 2) with DDO1 massing



LEGEND

■	Heritage - Individually significant
■	Heritage - Contributory
■	Current DDO1

Figure 11 Curtis Street to CBD Gateway (Viewpoint 3)





Viewpoint 1



Viewpoint 2



Viewpoint 3

KEY INSIGHTS (views from Bakery Hill)

- Viewpoint 2 from Bakery Hill, looking west, is a key view showing the city skyline with Bridge Mall in the foreground.
- Viewpoint 3 looks west from the roundabout at Bakery Hill. It is a location not easily accessible by pedestrians, as it is a busy roundabout located on Bakery Hill. In addition to the view being difficult to access, the view location itself is not unique (special) in terms of the ability to take in views looking west towards the key landmarks on the Ballarat skyline. The northern side of Curtis Street at the Bakery Hill end also provides an opportunity to experience such views.
- Viewpoint 3 looks west towards the city across an undeveloped parcel of land (car park). Even under current DDO1 controls, if this block were to be developed, a portion of the skyline view looking west would be impeded, refer to photo taken from Viewpoint 3. The Curtis Street view line is an incidental rather than a key historical view, and there are other locations that can achieve similar viewing experiences.

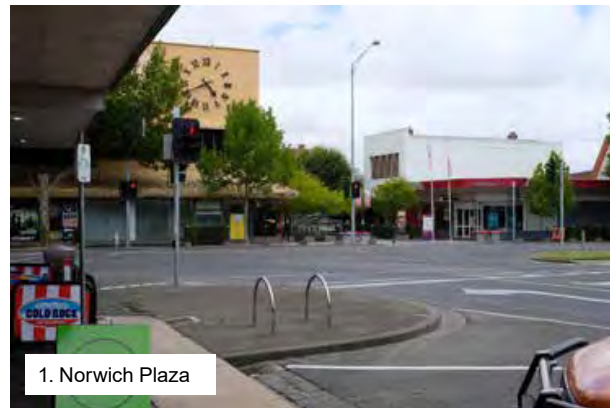
4.3 EXISTING BUILT FORM

The Study Area generally comprises narrow frontage lots, and has a mix of small scaled shops and is characteristic of Victorian-era urban development with ‘shop-top’ housing.

The built form within the Study Area is characterised as a mix of single and double-storey Victorian, Federation and inter-war era buildings with the occasional taller, three storey building. The ground-level of buildings include uses such as retail/ food and beverage/commercial uses with the upper level used for commercial purposes.

Little Bridge Street has varying frontages and gaps in the streetscape due to some “back of house” conditions (where the rear of buildings that face onto Bridge Mall do not address Little Bridge Street).

Curtis Street streetscape has the potential for a higher built form due to its north-facing orientation and the lack of sensitive interfaces or heritage buildings.



1. Norwich Plaza



3. Heritage building along Little Bridge St



2. Significant Heritage along Bridge Mall



4. Heritage buildings at Bakery Hill

Figure 12 Existing building footprints



4.4 LOT PATTERN

The Study Area includes a variety of lot sizes with typical lot depths of either 50m or 30m. The lot pattern is typically finer grain with narrower frontages. Some frontages are as narrow as 4.5m.

Several larger properties, including the Norwich Plaza site, have the potential for taller built form. There is also the potential for site consolidation to achieve more efficient built form outcomes.

Lots with 50m depth have a dual frontage to Bridge Mall and Curtis Street or Little Bridge Street, providing the opportunity to address (and activate) both street frontages.

Lots with 30m depth typically front to Bridge Mall, with the rear being smaller lots having frontages to either Curtis Street or Little Bridge Street.

KEY INSIGHTS

Lot depths/sizes

- The Study Area has a variety of lot depths and widths, displaying a generally finer grain pattern of (historical) development, which are to be retained.
- Dual frontage lots present opportunities for internal permeability and activation of dual street frontages.
- Future development should address back-of-house conditions, providing in-fill development to address gaps in the streetscape (Curtis Street and Little Bridge Street).
- The existing laneways are to be retained and widened when sites are consolidated (subject to the presence of heritage fabric).

Development Capacity

- Properties within single ownership (either current or future) present opportunities for developments that can provide site consolidation and better-designed outcomes.
- There are properties on either end of Bridge Mall and Bakery Hill with substantial development potential due to their size and location.

Figure 13 Lot ownership pattern and parcel sizes



4.5 BUILDING HEIGHTS

Existing building heights in Bridge Mall range from single storey to three storeys.

The northern side of Bridge Mall has a more consistent building height, with many of the non-contributory buildings with an average height of two storeys. The southern side of Bridge Mall is more diverse in building height, with several significant heritage buildings up to three storeys in height. Across the Study Area, lots characteristically have more height fronting Bridge Mall, suggesting a clear 'front of the house' and 'rear of the house'. The Norwich Plaza site is unique in its bulk and form, being a non-heritage building with a three storey façade. It is a visually dominant building when viewing Bridge Mall from Sturt Street.

KEY INSIGHTS

Bridge Mall has a well-defined built edge (streetscape). The buildings are generally two storeys, many of which have heritage value (as either Contributory or Significant graded buildings under the Heritage Overlay). The Norwich Plaza site, located at the western end of Bridge Mall, is the tallest and most visually dominant built form. Any future development on Bridge Mall needs to be sensitive towards ensuring key view lines and not creating additional overshadowing. Curtis Street and Little Bridge Street have less sensitive interfaces and have the potential for taller development.



View of Norwich Plaza and Grenville Street interface

Figure 14 Building Heights



BRIDGE MALL STREET PROFILE

Bridge Mall, between Grenville Street and Peel Street, is a pedestrianised, east-west-oriented street with some vehicular access east of Peel Street. Bridge Mall streetscape is a mix of double-storey, interspersed with single and three-storey Victorian-era heritage buildings and several non-heritage buildings. Norwich Plaza, which has a larger building footprint than the fine-grain character

of the streetscape, is a larger site located at the western end of Bridge Mall. Bridge Mall continues towards Bakery Hill end and has an elevation of approximately 5-6m between Peel Street and Humffray Street.

LEGEND

	Heritage - Individually significant
	Heritage - Contributory
	Non-heritage



Figure 15 Bridge Mall North Block Street Elevation



36 Bridge Mall Built Form Framework

CURTIS STREET AND LITTLE BRIDGE STREET PROFILE

Curtis Street and Little Bridge Street bound the northern and southern interface of the Study Area. These are important east-west streets in the broader area and are serviced by public transport. The Study Area’s built form interface to these streets consists of a mix of uses, comprising services, back-of-house uses, and some business frontages.

Little Bridge Street comprises a mix of heritage and non-heritage buildings. The significant heritage building (Centenary Hotel) located at the corner of Peel Street South and Little Bridge Street is a key visually important node. A car park is located at the northern edge of Curtis Street. The car park currently services the adjoining developments in Bakery Hill and has some buildings fronting it, refer to Figure 17.

The key north-south street within the Study Area is Peel Street, which connects Little Bridge Street to Curtis Street. Several pedestrian laneways connect to Bridge Mall from Curtis Street and Little Bridge Street.



Figure 17 Curtis Street elevation



Figure 18 Little Bridge Street elevation

4.6 MOVEMENT NETWORK

Bridge Mall is the primary pedestrian mall within the Ballarat CBD. It has a multi-faceted purpose, acting as a public space for movement, retail, dining and recreation. Entry into the precinct primarily comes from Sturt Street (for pedestrians and cyclists) or the two car parks located to the north and south of the Study Area. The pedestrian movement is mainly along the east-west oriented Bridge Mall.

Several narrow laneways provide minor north-south connections to the large car parks along Curtis Street and Little Bridge Street. These laneways differ in character, with some, such as Time Lane, having a sole purpose as a means of circulation, and others, such as Coliseum Walk, providing active frontage and shopfronts in addition to a north-south connection between Bridge Mall and the car parks.

Bus stops are located along Curtis Street and Little Bridge Street, which provide convenient public transport access to the study area and surrounding area which may also develop further over time. There are limited dedicated bike paths around the Study Area.

Little Bridge Street and Curtis Street operate as one-way access roads that connect incoming traffic to the CBD (from Victoria Sturt Street). Little Bridge Street connects traffic from the east towards central Ballarat (Sturt Street via Grenville Street South), while Curtis Street connects Sturt Street to Victoria Street (heading east away from the CBD). The configuration of this street network is a consequence of the early development of the area, resulting in a slight "bottle-neck" that is Bridge Mall.

The north-eastern corner of Bakery Hill has a large surface car park that services Bakery Hill and the rest of the Study Area. There is also provision for street car parking along Little Bridge Street and Curtis Street. Service and loading areas for businesses are primarily provided from Little Bridge Street and Curtis Street.

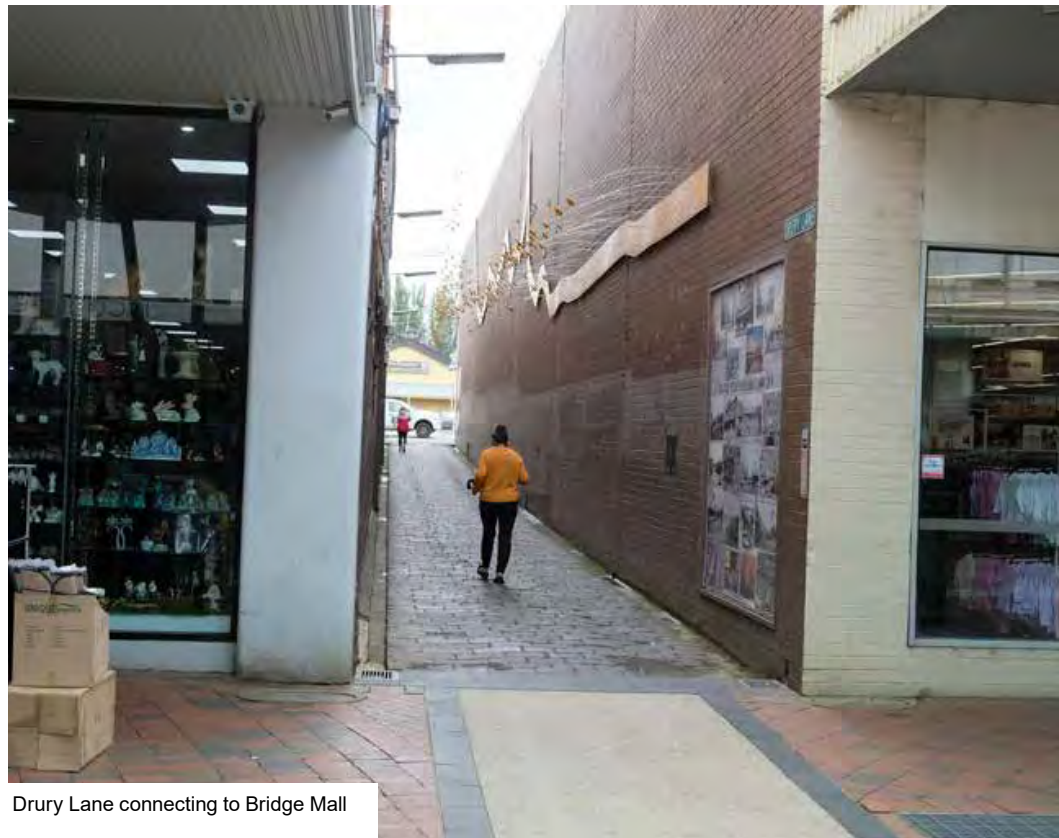


Figure 19 Movement Network



4.7 PUBLIC SPACES

The two key public spaces are the central pedestrian mall and the open space (park) at Bakery Hill.

The approximately 250m long and 20m wide pedestrian mall is a hardscaped pedestrian-only street between Grenville St and Peel St. In addition to two built shade shelters, mature trees throughout the pedestrian mall provide adequate shade within Bridge Mall. Public seating areas are distributed throughout. A children's playground is centrally located and helps to activate the Mall. Activity within Bridge Mall is primarily pedestrian circulation, with a few shopfronts extending their seating into the public space. Pedestrian footpaths along Grenville Street, Curtis Street, Peel Street and Little Bridge Street act as through links with limited active uses. Bridge Mall is a pedestrianised mall with active frontages, continuous awnings, and trees that provide ample shade to the pedestrians.

An open space on the Bakery Hill end of the Study Area acts as a buffer to the busy Little Bridge Street and the rest of the area. Some public art has been provided in the space. The north-south oriented pedestrian laneways are essential in connecting the surrounding areas to Bridge Mall. Coliseum Walk is an activated laneway with active frontage. The other laneways currently function more as pedestrian connections.

The adopted Bridge Mall Precinct Plan for Bridge Mall's public realm proposes adding a single-lane slow street running west-east to provide vehicular access and further activate Bridge Mall. The scheme also breaks down public realm areas for more intentional use within Bridge Mall and surrounding areas while improving the landscape throughout the precinct. The concept shows a desire to enhance and intensify activity within Bridge Mall, refer to Figure20.

Figure 20 Bridge Mall Precinct Plan (adopted 2021)



Source: City of Ballarat

Figure 21 Existing public spaces



4.8 SUB-AREAS

Bridge Mall Study Area has three distinct sub-areas based on the identified characteristics, urban morphology and street profile. Each sub-area has a unique character within the Study Area.

Figure 22 illustrates the sub-areas within the Study Area. Evaluating the existing built form character of the sub-areas provides the basis for developing the preferred future character statements and the built form recommendations.

The three sub-areas are:

1. Sub-Area 1: Bridge Mall Gateway
2. Sub-Area 2: Bridge Mall Central
3. Sub-Area 3: Bakery Hill

The following pages explore the existing conditions within the sub-areas.



Grenville Street interface



Coliseum Walk viewed from Little Bridge Street



Little Bridge Street interface



Curtis Street interface

Figure 22 The sub-areas plan



SUB-AREA 1: BRIDGE MALL GATEWAY

Figure 23 Sub-Area 1: Bridge Mall Gateway with existing interface



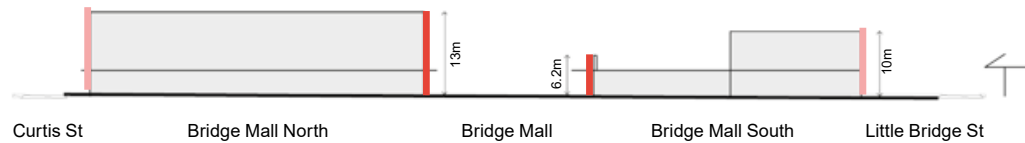
LEGEND

- | | | |
|-------------------------------------|---------------------------|--------------------------------|
| Heritage - Individually significant | Secondary active frontage | Surrounding heritage interface |
| Heritage - Contributory | Non-active frontage | Surrounding active frontage |
| Primary active frontage | Car park interface | Significant intersection |

Figure 24 View of Norwich Plaza from Sturt Street (top); Bridge Mall internal view at Sub-Area 1 (bottom)



Figure 25 Sub-Area 1: Bridge Mall Gateway- typical sectional profile

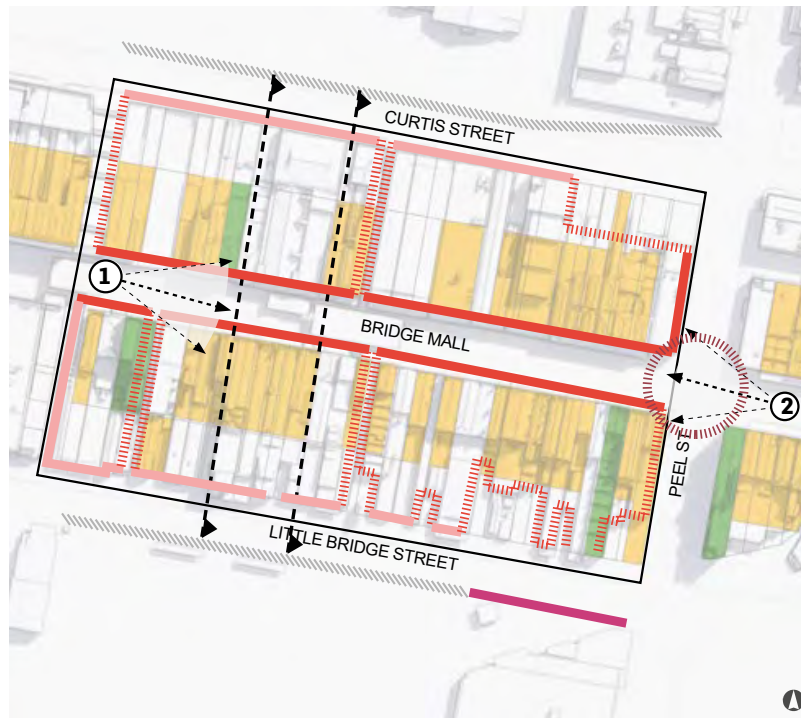


KEY INSIGHTS

- Sub-Area 1: Bridge Mall Gateway is located at the western end of Bridge Mall and has an interface with Sturt Street. While a few contributory heritage buildings are situated along Bridge Mall, the sub-area is the least intact of the three sub-areas, with regards to heritage.
- The sub-area's lot depth and width vary. The sub-area has some deep lots (50m deep) that extend from Bridge Mall to Curtis Street/ Little Bridge Street.
- The street wall in this area is varied, with the northern side typically having a height of approximately 13m and the southern side single-storey at 6.2m.
- The sub-area has a less sensitive interface to Curtis Street to the north and Little Bridge Street to the south. The sub-area also interfaces with heritage buildings located along Grenville/ Sturt Street. Currently, the interfaces along Curtis Street and Little Bridge Street are blank and are not activated.
- The current lot sizes in this sub-area are typically larger, particularly on two corner lots; abutting Grenville Street /Curtis Street and Little Bridge Street/Coliseum Walk. Historically, these two corner lots had a larger built form than currently exists. These corner lots are also visually prominent from Sturt Street.
- Norwich Plaza, the northern site, is strategic regarding its future development potential. Norwich Plaza site is large compared to most properties in Bridge Mall and forms the western gateway into the Study Area.
- Given the strategic gateway location, larger lot sizes, historical significance and minimal ground plane activation, this sub-area has the potential for substantial future development. Any future development should seek to provide a well-designed built form response with a highly activated ground level frontage.

SUB-AREA 2: BRIDGE MALL CENTRAL

Figure 26 Sub-Area 2: Bridge Mall Central with existing interface



LEGEND









- | | | | | | |
|---|-------------------------------------|---|---------------------------|--|-----------------------------|
|  | Heritage - Individually significant |  | Secondary active frontage |  | Surrounding active frontage |
|  | Heritage - Contributory |  | Non-active frontage |  | Significant intersection |
|  | Primary active frontage |  | Car park interface | | |

Figure 27 View of Sub-Area 2: Bridge Mall Central; Bridge Mall internal view from Peel Street

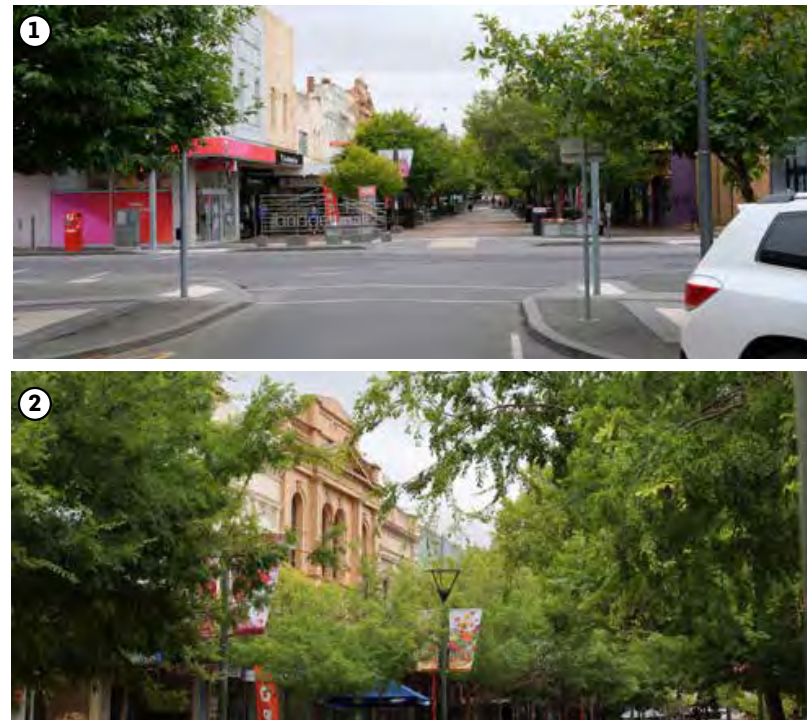
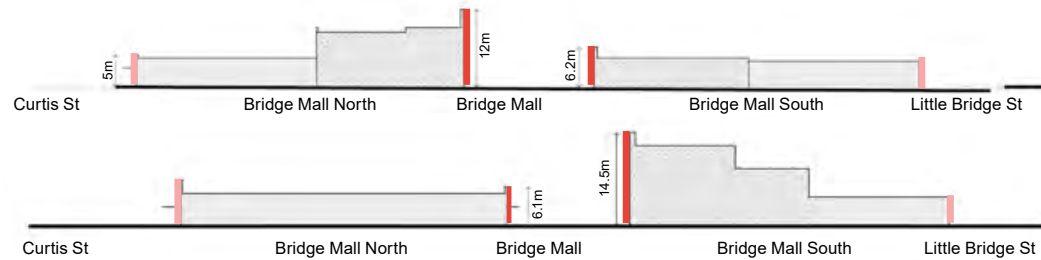


Figure 28 Sub-Area 2: Bridge Mall Central - typical sectional profiles



KEY INSIGHTS

- Sub-Area 2: Bridge Mall Central is located mid-block between the Bakery Hill and Gateway sub-area. It is also the retail core with a mix of shops and food and beverage (F&B) uses.
- Based on the heritage grading, there are several contributory and individually significant heritage buildings within the sub-area. The northern street wall along Bridge Mall has a broadly consistent height of approximately 9m (2 levels). The southern edge has more variation with buildings from about 15m (3 levels) to 6.5m (single levels). Future built form will have to provide a considered approach to the variation in street wall height to ensure that the form is sensitive to the individual heritage buildings and consistent with other future development in the precinct.
- Lots in this area are typically smaller and represent the historical fine-grain character, with narrow widths and longer lot depths extending from Bridge Mall to Curtis Street/Little Bridge Street. The lots present an opportunity for internal North/South permeability. Many of the lots facing Curtis Street and Little Bridge Street need more activation and are primarily used for servicing the lots from the rear. Future development needs to explore activation along these two streets, which could draw people into the precinct from the adjacent areas north and south to the Study Area.
- The built form can be described as:
 - Predominantly double-storey street wall with some single and three-storey buildings.
 - Largely finely-grained development with few exceptions (e.g. 47 Bridge Mall).
 - Some infill developments in the streetscape.

SUB-AREA 3: BAKERY HILL

Figure 30 Sub-Area 2: Bridge Mall Central with existing interface



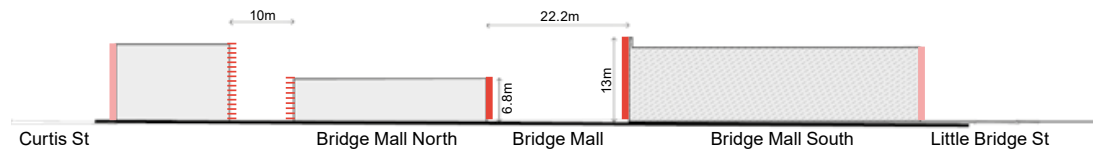
LEGEND

- | | | |
|--|--|---|
| ■ Heritage - Individually significant | ▬ Secondary active frontage | ▬ Surrounding heritage interface |
| ■ Heritage - Contributory | ▬▬▬▬▬▬ Non-active frontage | |
| ▬ Primary active frontage | ▬▬▬▬▬▬ Car park interface | |

Figure 29 View of Sub-Area 3: Bakery Hill looking at Bridge Mall (top); Bakery Hill northern lots fronting open space (bottom)



Figure 31 Sub-Area 3: Bakery Hill- typical Sectional Profile



KEY INSIGHTS

- Sub-Area 3: Bakery Hill is the eastern gateway to Bridge Mall. The eastern section of the sub-area, from Peel Street in the west to Humffray Street South in the east, is the most intact section of the Study Area from a heritage perspective. It is also the most elevated section of the Study Area, with the land rising up to Bakery Hill. There is a significant slope with a steep incline towards the east, which gives the area its unique character.
- Curtis Street bounds the sub-area to the north, Peel Street to the west and Little Bridge Street to the west and south. Main Road is a key internal street that vehicular links Peel Street to Little Bridge Street and allows for on-street car parking and access to the interior lots.
- Built form north of the Main Road is mainly single-storey, with an approximate height of 6.5m. The internal street wall south of Main Road is taller at approximately 13m (2 levels). A car park is located at the corner of Humffray Street and Curtis Street. Given its large lot size, the lot provides future development opportunities. Future redevelopment will have to consider any adjacent heritage frontages.
- Built form can be described as:
 - Largely characterised by contributory single-storey buildings with two double-storey development on the south side and one individually significant building at 92 Bridge Mall.
 - Fine-grained development.
 - Most intact section of the Study Area in regard to heritage.
 - An elevated section of the Study Area with key views of the city skyline.

4.9 KEY CONSIDERATIONS

Built form within the Study Area is essential to Ballarat's history and urban character. The appreciation of the context identifies the need to balance the historic and strategic potential of the precinct while allowing for sustainable urban renewal. Any urban renewal scenario would have to:

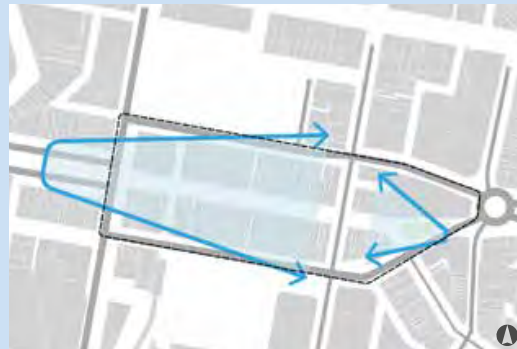
- Respect the heritage character of the precinct
- Respond to key view lines
- Ensure solar access to the southern footpath

Figure 32 Key considerations



Respect the heritage and Bridge Mall street wall character

- Respect and retain the identified heritage (both contributory and individually significant) built form along Bridge Mall.
- Heritage street wall at Bridge Mall to be maintained and reinforced in future development.



Respond to key view lines

- Retain views from Sturt St to Mt Warrenheip (view line protection of Mt Warrenheip).
- New development to provide a design response that minimises the visual intrusion of views to the Ballarat CBD skyline and key landmark buildings from Bakery Hill.



Preserve solar access to southern side footpaths

- Ensure future development has no additional overshadowing impact on the southern footpath of Bridge Mall and Little Bridge Street.

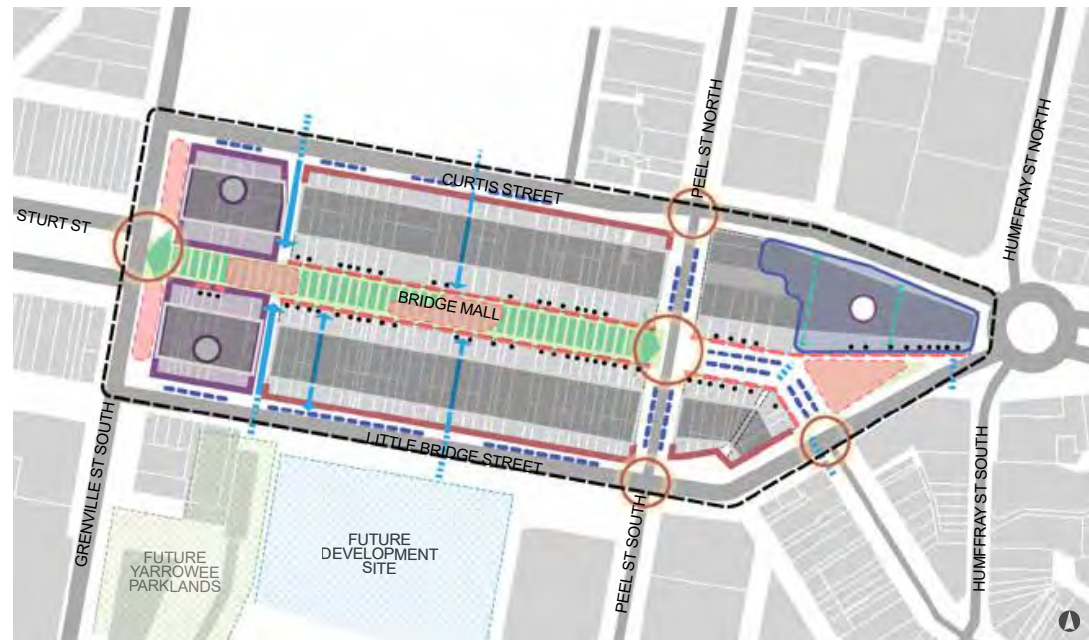
4.10 KEY OPPORTUNITIES

Bridge Mall Study Area is a historic commercial area within the Ballarat CBD that has undergone urban transformation and a variety of interventions throughout its history. Figure 33 illustrates the key opportunities for Bridge Mall Study Area (many of which are shown on Bridge Mall Precinct Plan, adopted by Council in 2021) in terms of the public realm and built form opportunities. These include:

LEGEND

	Retain the heritage buildings and Bridge Mall street wall to ensure a distinct character and identity.
	Key placemaking opportunities identified in Bridge Mall urban renewal concept plan.
	Streetscape upgrade opportunities as presented by Bridge Mall concept plan.
	Enhance the laneways connections to strengthen the north-south pedestrian connections.
	Potential future through block connection to ensure better north-south connections.
	Encourage safe pedestrian connections into Bridge Mall from the surroundings.
	Proposed street parking to service as well as activate the local businesses.
	Enhance key local nodes to be landscaped and pedestrian friendly.
	Strategic development sites at the western end of Bridge Mall.
	Potential for design excellence requirements for developments at key sites.
	Potential for renewal of large site at Bakery Hill, while retaining its strong heritage values and character.
	Potential for higher development interface along Curtis Street and Little Bridge Street. Integrating back of house services.
	Potential for taller buildings set back from the street in the central and eastern sections of Bridge Mall.
	Study Area

Figure 33 Key opportunities



5.0 VISION AND BUILT FORM PRINCIPLES

This section of the report aims to support the vision set out for the area by developing objectives and built form principles that will drive a positive built form response for the Study Area.



5.1 VISION AND OBJECTIVES

"BAKERY HILL WILL BE THE NEW DESTINATION FOR BALLARAT - A COSY QUARTER WITHIN BALLARAT'S GRAND HISTORIC CBD - SETTING A STANDARD FOR URBAN RENEWAL WHICH FULLY EMBRACES THE UNIQUE HERITAGE CANVAS."

- Bakery Hill Urban Renewal Plan 2019

Bridge Mall Study Area is an iconic element within central Ballarat and typifies the historic grandeur of Ballarat. The traditional historic character is celebrated within a vision for renewal that seeks to capitalise on the momentum of growth and energy infusing the region in a sustainable and enduring fashion.

Bridge Mall can be the gateway to a revitalised central Ballarat, compelling visitors to explore and discover Bridge Mall area, as well as supporting new residents to locate there. The heritage character of Bridge Mall will be celebrated through ensuring new development is sensitive and compatible with the existing values of the precinct. Broadly, this project focuses on design objectives relating to the form of new development. However, the built form principles and the Design Development Overlay (DDO1) also address the character elements of good design.

We see the three critical attributes to address, preserve and celebrate as:

- Heritage streetscape
- Key view lines
- Streetscape amenity.

The following strategic intent and design objectives will support and guide urban renewal within Bridge Mall Study Area:

- To support sustainable growth within central Ballarat
- To facilitate the development of Ballarat as a '10-minute' city
- To ensure that new development responds appropriately to the heritage character and streetscape
- To ensure that new development responds positively to the existing urban form
- To ensure that new development respects local values, important vistas and landmarks
- To facilitate urban renewal and more intensive forms of development on strategic sites, including the two western gateway sites
- To ensure that the height and setbacks of new development do not unreasonably intrude upon the key east-west view line between Sturt Street and Mount Warrenheip
- To ensure that new development contributes to a high-quality public realm, including through exemplary architecture, high-quality public realm interfaces and through protection of an appropriate level of solar access to key footpaths.
- To promote and encourage pedestrian activity through street edge activation and laneway access

5.2 BUILT FORM PRINCIPLES

The built form principles support the broader design objectives and ensure that future development achieves the desired built form character and public realm outcomes. It supports the three key attributes identified for the Study Area: heritage streetscape, view lines and streetscape amenity.

These principles underpin the built form testing and recommendations. The built form principles address the crucial elements influencing the experience, interaction and outcomes of Bridge Mall's future urban form and character.

The principles addressing the built form apply to the following categories:

- A Public realm interface:** relates to the building's presentation to the public realm at ground level.
- B Street wall:** relates to the building's mass and form along the street frontage.
- C Upper level built form:** relates to the built form located above the street wall.

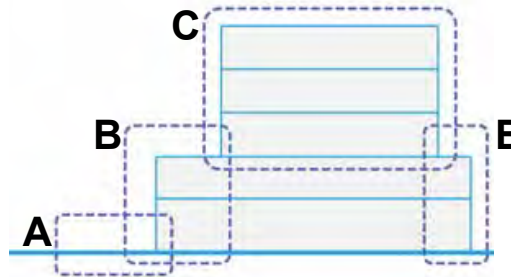


Figure 34 Built form principle categories

BUILT FORM PRINCIPLES FOR THE THREE CATEGORIES:

A - PUBLIC REALM INTERFACE

- A.1 Active frontages
- A.2 Retain the fine grain pattern

B - STREET WALL

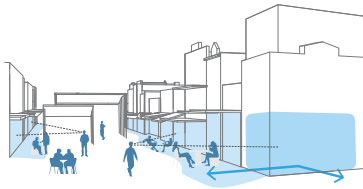
- B.1 Respect heritage
- B.2 Reinforce the street wall

C - UPPER LEVEL BUILT FORM

- C.1 Respond to key view-lines
- C.2 Recessive upper levels
- C.3 Corner site opportunities
- C.4 Access to sunlight

A - PUBLIC REALM INTERFACE

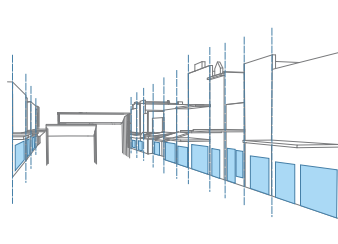
A.1 Active frontages



Encourage active frontages that provide interest and activity through visual engagement between the street and the building.

Encourage design excellence at key corner sites with strong ground floor activation that promotes and attracts pedestrian activity and engagement.

A.2 Retain the fine grain pattern

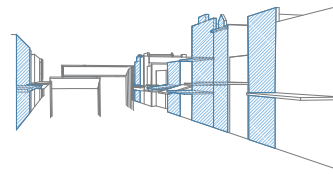


Retain the significant, historical fine-grain pattern of development within the precinct.

Provide ground level façades that reinforce the existing fine-grain rhythm of architectural elements and active frontages along the streetscape.

B - STREET WALL

B.1 Respect heritage

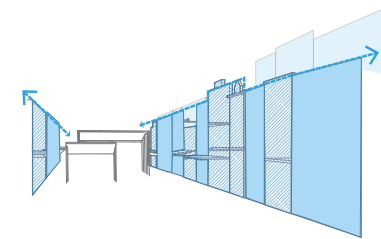


Retain and enhance the identified features of all heritage buildings within the area.

Ensure that the redevelopment of heritage buildings is undertaken respectfully, retaining all visible features that contribute to the character of the streetscape.

New development to respect and respond to the existing heritage character and features of neighbouring buildings.

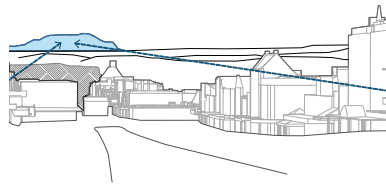
B.2 Reinforce the street wall



New developments to respect the scale of the street wall of Bridge Mall and contribute to the urban character through design excellence.

C - UPPER LEVEL BUILT FORM

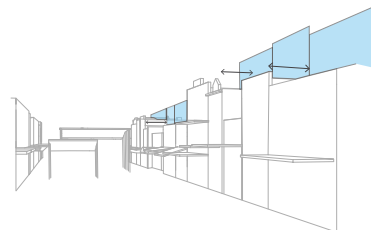
C.1 Respond to key view-lines



New development to respond to identified view lines from Bakery Hill to key landmark buildings within the Ballarat CBD and retain views where practical.

New development to respond to identified view lines from the (north-east) corner of Lydiard and Sturt Streets towards Mount Warrenheip.

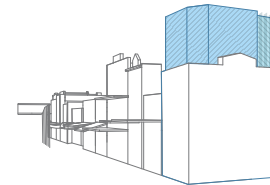
C.2 Recessive upper levels



Ensure that new, taller development is setback from the streetscape and is visually recessive in form and materials.

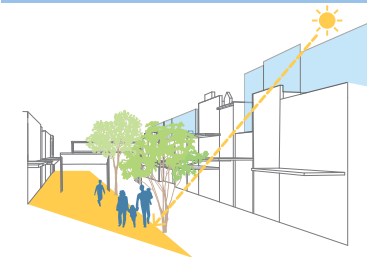
Ensure upper levels of built form are not visually dominating from the street, and visibility of the sky is maintained.

C.3 Corner site opportunities



Encourage design excellence for built form at key corner sites through architectural response, articulation and materiality.

C.4 Access to sunlight



Ensure height and mass of upper levels of built form provides access to sunlight for footpaths and public realm.

6.0 DEVELOPING THE BUILT FORM FRAMEWORK

This section of the report builds on the built form principles to test outcomes and provides built form recommendations for the overall Study Area and each sub-area.



6.1 METHODOLOGY

This Built Form Framework is developed based on the context and urban analysis undertaken and principles developed in the previous sections. The Built Form Framework aims to address the three key attributes identified in section 5: heritage streetscape, view lines and streetscape amenities.

The Built Form Framework applies a series of built form tests for each sub-area. The built form tests analyse the different built form influences, refer to Figure 35, to iteratively define and determine an appropriate built form envelope.

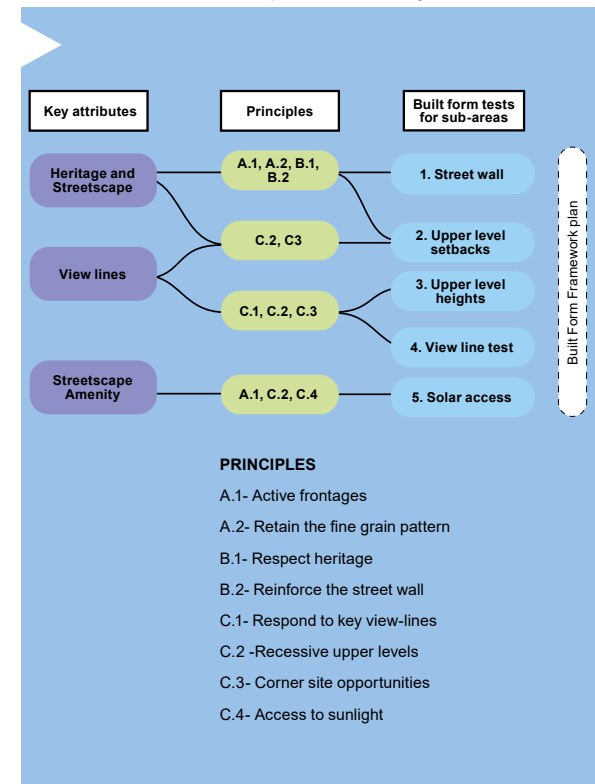
The following built form tests are to be carried out:

- Street wall
- Upper level setbacks
- Upper level heights
- View line test
- Solar access

This section builds on the built form principles to test development outcomes and provides built form recommendations for the overall Study Area and each sub-area. 3D envelope tests are carried out for each sub-area (using a 3D digital model developed for the project) to check the built form's appropriateness and viability of recommendations.

The combined built form recommendations and the Built Form Framework Plan are provided in the following section. Future development will also need to address the design and character objectives and built form principles.

Figure 35 Approach for developing Built Form Framework: steps to address key attributes



6.2 STUDY AREA WIDE CONSIDERATIONS

The following section provides general built form considerations for the entire Study Area.

1. Street Wall

Bridge Mall's fine-grain heritage streetscape will be maintained by retaining all heritage buildings and heritage street façades. This will ensure the continuation of a heritage dominant built form character for Bridge Mall. The redevelopment of any significant heritage buildings would require a site-specific response.

The existing built form character of Bridge Mall will be reinforced by ensuring future developments have a street wall height of two storeys (9m) to ensure they are sympathetic to the existing built form character. Future developments are to be built to the property frontage to maintain a well-defined street wall in Bridge Mall.

In streets with less sensitive conditions, such as Curtis Street and Little Bridge Street, there is the opportunity for an uninterrupted taller street wall edge.

Public Realm

For historic streetscapes such as Bridge Mall, the built form character is influenced by how the street wall is defined and the ground-level public realm interface is addressed.

The ground floor public realm in Bridge Mall provides the opportunity to create active frontages. Active frontages are crucial in delivering engagement between the street and ground level of built forms. Ensuring building entrances and shop fronts are predominately glazed will provide visual connections between the interior uses of the built form and the public realm and help to promote ground plane activation. It is recommended to avoid large continuous blank walls at the ground level.

Figure 36 Bridge Mall - existing heritage street wall with active frontage



2. Upper Level Setbacks

For Bridge Mall, the treatment of upper level setbacks for future development is crucial to maintaining the streetscape character and the identified key view lines (Figure 9). Upper-level setbacks are to be contextually assessed for future developments in streets with less sensitive conditions, such as Curtis Street and Little Bridge Street.

Figures 37 and 38 show that multiple methods exist for treating upper level setbacks within the historic Bridge Mall streetscape.

As illustrated in Figure 37, a full concealment method for the upper levels would ensure the building (for both heritage and non-heritage sites) is not visible from the sight line at the height of 1.7 metres above the footpath taken from across the street.

Alternatively, as illustrated in Figure 38, a partial concealment method would allow the upper levels of the building (both heritage and non-heritage sites) to occupy no more than one-quarter of the whole building viewed from a sight line at the height of 1.7 metres above the footpath taken from across the street.

Due to the scale of Bridge Mall and to ensure future development opportunities, it is recommended that the partial concealment approach be adopted. This approach is considered a reasonable and established response within heritage streetscapes.

For less sensitive streets such as Little Bridge Street and Curtis Street, the taller built form should not encroach within a 45-degree plane taken from the parapet of the street wall. This approach will ensure a consistent upper level setback and assists in avoiding the overshadowing

Figure 37 Fully concealed upper levels

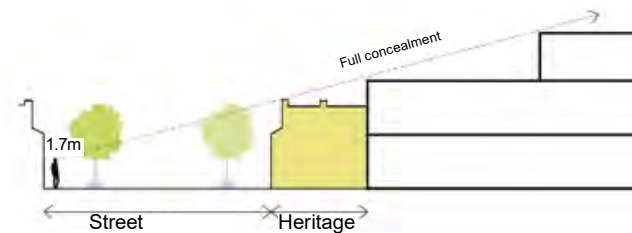


Figure 38 Partial concealment of upper level (preferred method)

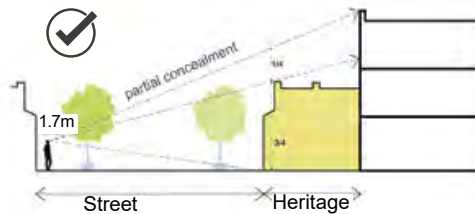
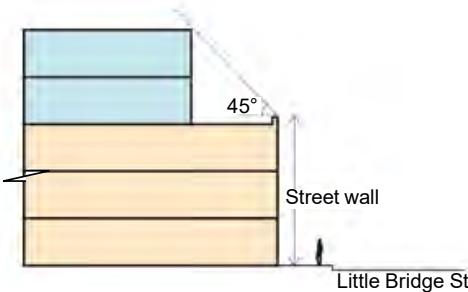


Figure 39 Approach to upper level setback along Little Bridge Street and Curtis Street



LEGEND

- Heritage frontage
- New building
- Street wall level built form
- Upper level built form
- ✓ Recommended - partial concealment of upper levels

of southern interfaces for Little Bridge Street, refer to Figure 39.

3. Upper Level Heights

Taller buildings have the potential to influence the character of the Study Area. Within Bridge Mall, the upper level built form of future developments are to provide a reasonable setback from Bridge Mall frontage to demonstrate that key views are considered in the design response, refer to Figure 9.

New development should respond to its context regarding location and topography and mitigate visual impact whilst contributing to the character of the wider Ballarat CBD skyline.

4. View Line Test

Future developments are to demonstrate that the building envelope does not negatively impact views of Mount Warrenheip when viewed from the north-west corner of Sturt Street and Lydiard Street, refer to Figure 7 and Figure 9.

Similarly, future developments should demonstrate that the building envelope would have minimal impact on the ability to view key landmarks within the Ballarat CBD skyline to the east, viewed from Bakery Hill (Figure 9).

5. Solar Access

Solar access to the street and public realm areas encourages pedestrian activity and public life. After establishing the preliminary built form envelope, a solar access analysis should be conducted to ensure the development provides solar access to the southern side of Little Bridge Street and Bridge Mall at the spring equinox.

The following table summarises the rationale and approach to developing the built form controls.

	Built form principle	Why is it important?	What are the desired outcomes?
Public realm	A.1 Active frontages	Active frontages connect the public street realm and ground level of buildings, providing visual interest and vibrancy that encourages pedestrian engagement and activity.	<ul style="list-style-type: none"> Bridge Mall forms the primary active frontage with a highly activated ground plane that contributes positively to the public realm experience. Curtis Street and Little Bridge Street frontages to encourage activation and provide entries/ addresses to future upper level development. Active frontages with glazing to support visual connection and pedestrian engagement.
	A.2 Retain the fine grain pattern	Encouraging a fine grain pattern respects the historic character and rhythm of the area and provides a more engaging pedestrian experience.	<ul style="list-style-type: none"> Reinforce the fine grain rhythm of the streetscape. Ensure future development within the Study Area are designed to reflect the finer grain street rhythm/character.
Street wall	B.1 Respect heritage	All development needs to celebrate and respect Bridge Mall’s unique heritage character, ensuring its heritage value is preserved into the future.	<ul style="list-style-type: none"> Ensure that heritage buildings remain as the dominant built form character within Bridge Mall. The redevelopment of significant heritage buildings should require a site specific response.
	B.2 Reinforce the street wall	Reinforcing the street wall supports the heritage character of Bridge Mall, as well as providing a defined street edge and attractive streetscape. Street interfaces with less sensitive conditions can provide a taller street wall edge, supporting a more consistent and attractive character.	<ul style="list-style-type: none"> Maintain and strengthen the character of existing heritage street façades. Retain the existing street-wall height and character established by the heritage buildings. Establish a more prominent and uninterrupted street-wall edge along Curtis and Little Bridge Streets. Curtis Street and Little Bridge Street provide opportunities for a taller street-wall edge given the less sensitive interface conditions.
Upper level built form	C.1 Respond to key view-lines	The identified key view lines (from Bakery Hill west to CBD, and Sturt Street to Mount Warrenheip) are important to the Ballarat community.	<ul style="list-style-type: none"> Provide a design response that addresses key view lines towards the Ballarat CBD skyline and historical sites throughout Bridge Mall. Provide a design response that addresses key view lines from Sturt Street towards Mount Warrenheip.
	C.2 Recessive upper levels	Recessive upper levels mean that new development does not dominate the unique architectural heritage character of Bridge Mall.	<ul style="list-style-type: none"> Ensure that upper level development is complementary to existing heritage built form. Encourage variation in upper level built form to break down scale of new development and avoid a continuous "flat" wall.
	C.3 Corner site opportunities	Key corner sites are visually prominent with strong influence on their surrounds, and therefore need to achieve design excellence as entry points to Bridge Mall.	<ul style="list-style-type: none"> Encourage development at corner properties to strive for design excellence through architectural response and activation of both street frontages.
	C.4 Access to sunlight	Maintaining solar access to southern footpaths and the public realm is critical for creating a more comfortable space for pedestrians.	<ul style="list-style-type: none"> Maintain solar access to the southern side of Bridge Mall and Little Bridge Street at the spring equinox.

Table 1 Summary of built form test approach

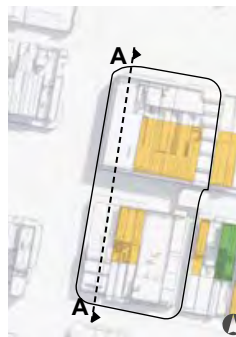
6.3 SUB-AREA 1: BRIDGE MALL GATEWAY

Sub-Area 1: Bridge Mall Gateway is located at the intersection of Sturt Street and Grenville Street at the western end of Bridge Mall. The site currently occupied by Norwich Plaza represents a significant urban renewal opportunity, as does the block to the south. The built form response within the sub-area aims to:

- Provide a design response that respects the heritage fabric.
- Leverage its redevelopment potential and mark the gateway entry to Bridge Mall with an upper level built form that promotes design excellence.
- Be adequately set back to ensure view lines to Mount Warrenheip are maintained from Sturt Street.
- Allow for a taller upper levels built form that frames the entry to Bridge Mall.
- Provide a high-quality ground plane with active frontages to draw people into Bridge Mall from Sturt Street.
- Any taller built form should provide key view line assessments as part of the design and planning permit process, ensuring key views are addressed and responded to in the design of new buildings.

Figure 40 and 41 illustrates the typical cross sections showing existing and potential built form within the sub-area.

Figure 40 Existing built form section for Sub-Area 1: Bridge Mall Gateway - Section A



Key plan for Sub-Area 1



Sub-Area 1: Bridge Mall Gateway entrance view from Sturt Street

LEGEND

- Heritage - Individually significant
- Heritage - Contributory

Future developments must consider the following key built form approaches, which will ensure the sub-area achieves the desired character.

STREET WALL HEIGHTS

- The street wall height of future development fronting Bridge Mall at Sub-Area 1: Bridge Mall Gateway will be consistent with the rest of Bridge Mall. A street wall height of 9m (maximum two levels) is considered appropriate for future developments facing Bridge Mall, refer to Figure 41.
- The street wall height of 15m (maximum four levels comprising retail and commercial uses) is considered appropriate for future development along Curtis Street and Little Bridge Street.
- The heritage buildings are to be retained, and the street wall facade of the new development to transition in height away from the heritage buildings.
- Retain heritage frontage along the laneways.

UPPER LEVEL SETBACKS

- Ensure that future development retains key view lines from Sturt Street to Mount Warrenheip and Bakery Hill to the Ballarat CBD skyline.
- Future development above four storeys to provide a 20m set back from Bridge Mall frontage and demonstrate the design responds to the key views, refer to Figure 7 and Figure 41.
- Curtis Street, Little Bridge Street and Grenville Street are to have a minimum setback of 6m from the street wall to ensure an adequate transition. The upper level setback will mitigate visual impacts on the existing streetscape and limit overshadowing.
- Upper level setbacks of 6m behind heritage façades allows for transition to the taller upper level built form.

UPPER LEVEL HEIGHTS

- The sub-area characteristics allow for a taller upper level built form with minimal visual impacts.
- Development at the Sub-Area 1: Bridge Mall Gateway is recommended up to a maximum height of 24m, allowing for a maximum seven storey building, refer to Figure 41.
- Development above five storeys needs to achieve exceptional design excellence and provide a design response that demonstrates minimal impact on key view lines to landmark buildings to the west and Mount Warrenheip to the more distant east, and that contributes positively to the Ballarat CBD skyline through well-designed built form.
- If additional height beyond the recommended envelope is proposed the proposal needs to demonstrate a clear community benefit and provide view line assessments that demonstrate a positive contribution to the Ballarat skyline that respects the existing, historic landmark buildings located within the CBD core.
- Future development to also achieve an excellent sustainability rating and provide an assessment that demonstrates that the proposal has minimal amenity, wind and solar access impacts. A contextual 3D model is also suggested as a requirement for all development proposals.

Figure 41 Built form test of street wall, setback and upper level heights- Section A



VIEW LINE TEST

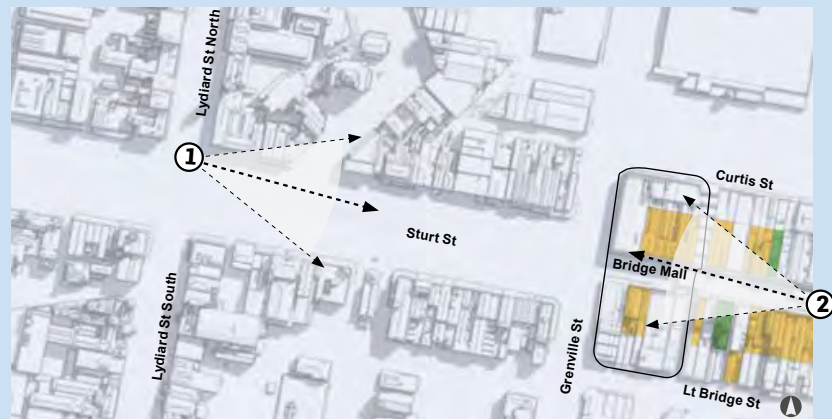
Figure 43 demonstrates that the recommended maximum building envelope does not negatively impact views of Mount Warrenheip when viewed from the key viewing location at the north-west corner of Sturt Street and Lydiard Street.

The view from Bakery Hill looking west demonstrates that the recommended maximum building envelope would have minimal impact on the ability to view key landmarks within the Ballarat CBD skyline to the west, noting that there are other visual obstructions that already obscure this view and it is a "kinetic" viewpoint.

LEGEND

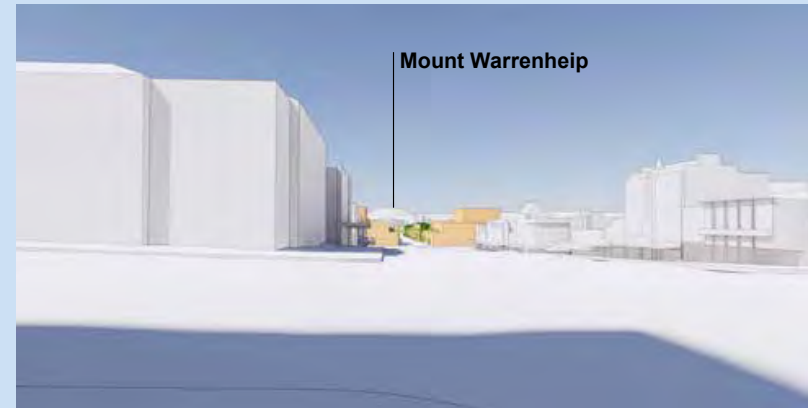
- Heritage - Individually significant
- Heritage - Contributory
- Recommended built form envelope (DDO1)

Figure 42 Upper level heights - view line assessment

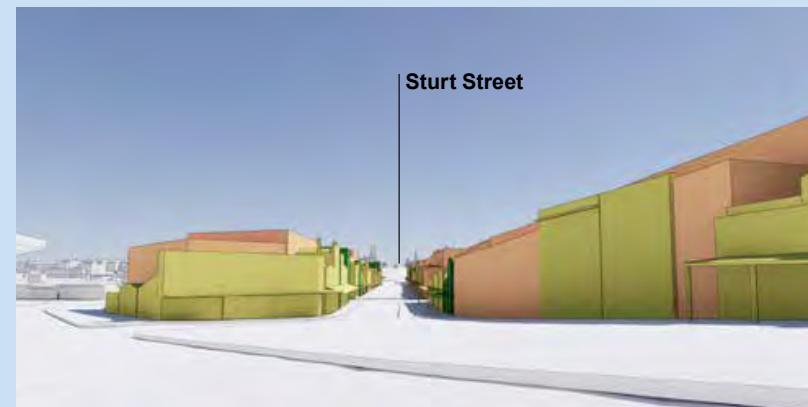


Key plan

Figure 43 Views of recommended built form at Sub-Area 1: Bridge Mall Gateway



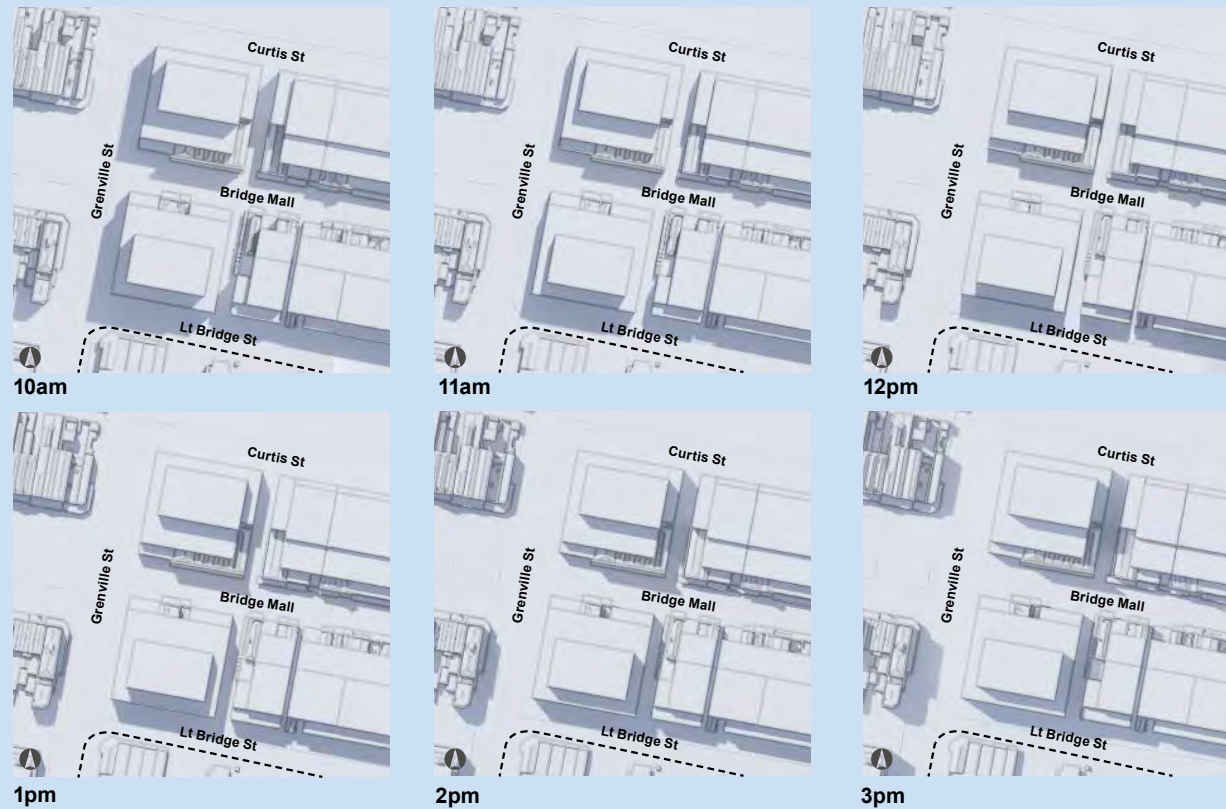
Sub-Area 1: Bridge Mall Gateway view 1 from intersection of Sturt Street/Lydiard Street north footpath



View form Sub-Area 3: Bakery Hill towards Sturt Street

SOLAR ACCESS SEPTEMBER 22, 10AM-3PM

Figure 44 Solar access assessment for Sub Area 1: Bridge Mall Gateway



Solar access at Sub Area 1: Bridge Mall Gateway tested on spring equinox (September 22nd between 10-3pm) illustrates:

- The building envelope for the Sub Area 1: Bridge Mall Gateway, would not cause overshadowing of southern side footpaths.
- New development would not increase overshadowing between 10am and 3pm at the spring equinox.

RECOMMENDED PREFERRED MAXIMUM BUILT FORM ENVELOPE

The following view illustrates the recommended preferred built form envelope for Sub-Area 1: Bridge Mall Gateway

Figure 45 Recommended preferred maximum built form envelope Sub-Area 1: Bridge Mall Gateway

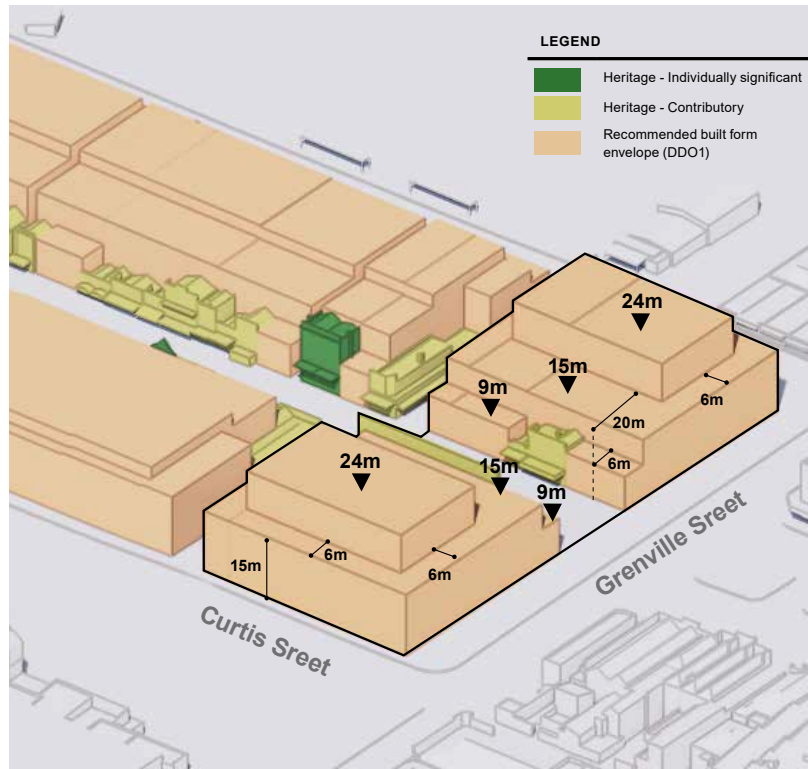


Figure 46 Sub-Area 1: Bridge Mall Gateway view from Bridge Mall looking towards Sturt Street

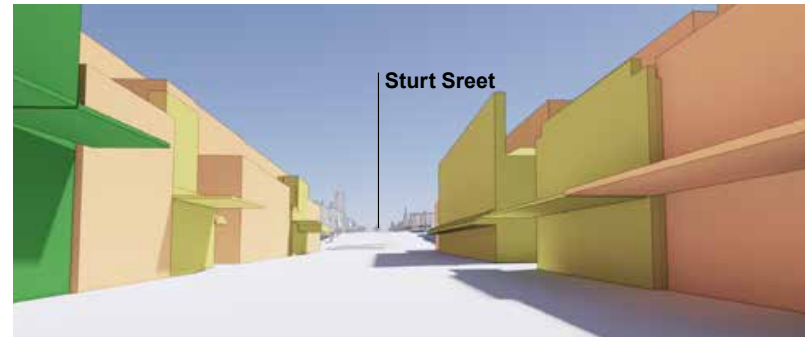
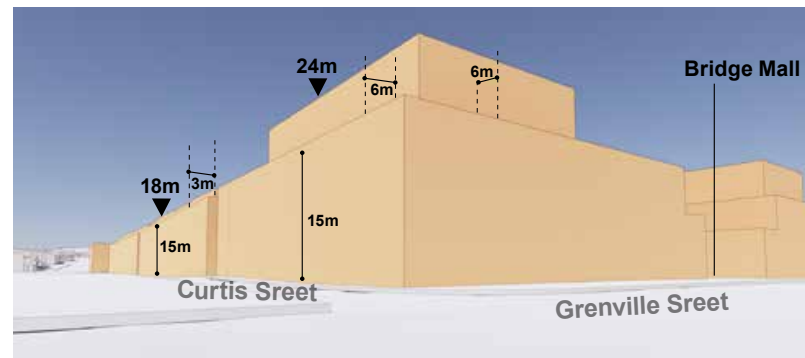


Figure 47 Sub-Area 1: Bridge Mall Gateway view from corner of Curtis Street and Grenville Street



6.4 SUB-AREA 2: BRIDGE MALL CENTRAL

The sub-area contains a mix of significant and contributory heritage and non-contributory buildings. Future development within the sub-area must respond to the existing unique character and scale of Bridge Mall. The built form response within Sub-Area 2: Bridge Mall Central aims to:

- Enhance the character of Bridge Mall as a vibrant streetscape with a blend of new developments and heritage buildings.
- Respond to Bridge Mall's historic streetscape form, which is primarily two storeys. A street wall height of 9m is recommended for new developments within Bridge Mall as an appropriate heritage response that respects and retains the heritage character.
- Ensure upper level built form towards Curtis Street and Little Bridge Street is adequately set back with opportunities to provide some taller form.
- Provide ground floor activation that visually engages pedestrians and encourages the provision of awnings.
- Encourage upper level built form that is adequately set back and visually recessed when viewed from across Bridge Mall.
- Upper level built form in the sub-area to be adequately set back to ensure view lines to Mount Warrenheip are maintained from identified viewing locations along Sturt Street.

Figure 48 and 49 illustrate typical cross sections showing existing and proposed built form within the sub-area.

Figure 48 Existing built form section for Sub-Area 2: Bridge Mall Central - Section B



Figure 49 Built form test of street wall, setback and upper level heights- Section B



Key plan for Sub-Area 2

LEGEND

- Heritage - Individually significant
- Heritage - Contributory

The following key built form approaches are recommended to achieve the desired character for the sub-area:

STREET WALL HEIGHTS

- Retain all heritage buildings.
- The street wall height of future development within Bridge Mall to align with the average heritage street wall height of 9m.
- There is an opportunity to establish a higher street-wall height along Curtis Street and Little Bridge Street due to the lack of constraints and wider street width.
- A maximum street wall height of 12 m is recommended for Little Bridge Street, which will maintain solar access for the southern side footpath. Curtis Street can achieve a street wall height of up to 15m as it does not have overshadowing issues, fronts a wide street and faces an at-grade car park opposite. The recommended street wall height for Curtis Street is considered reasonable and can facilitate a new, more defined street edge.

UPPER LEVEL SETBACKS

- New developments in the sub-area should follow the partial concealment principle. Providing adequate setbacks for the upper level built form from the heritage façades is considered reasonable and would allow for partial concealment of the taller upper level built form.
- Based on the partial concealment approach, upper level setbacks for heritage and non-heritage buildings is to be a minimum of 6m.
- Upper level setbacks for single-storeyed heritage buildings should match those set for two-storeyed heritage buildings along Bridge Mall.
- To preserve the key view line from the northeast corner of Sturt and Lydiard Streets, new built form above five storeys (18m) must apply a minimum upper level setback of 20m from the property frontage, refer to Figure 51 and 53.
- New upper level built-form along Little Bridge Street and Curtis Street must not encroach beyond a 45-degree plane taken from the parapet of the street wall. This principle establishes a

Figure 50 Existing built form section for Sub-Area 2: Bridge Mall Central - Section C



Figure 51 Built form test of street wall, setback and upper level heights- Section C

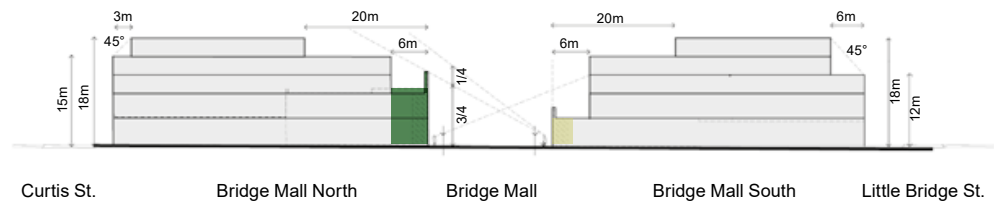


Figure 52 Existing built form section for Sub-Area 2: Bridge Mall Central - Section D

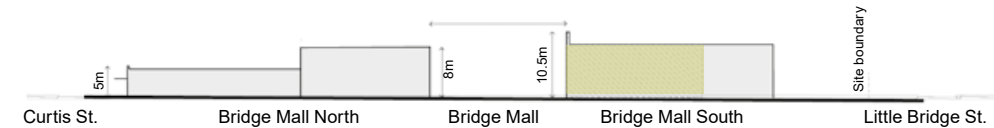
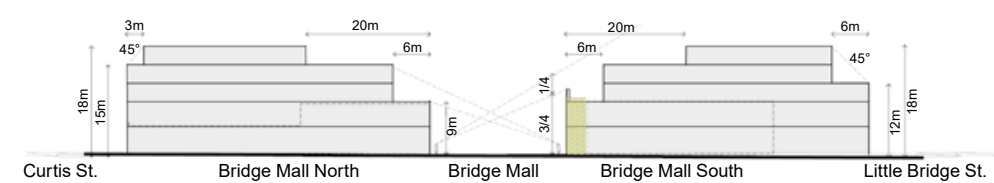


Figure 53 Built form test of street wall, setback and upper level heights- Section D



consistent upper level built form and assists in avoiding the overshadowing of southern interfaces, refer to Figure 39.

- New development should minimise the number of setbacks (to 2 steps) to avoid "wedding cake" outcomes (the visual effect of too many setbacks).
- The redevelopment of significant heritage buildings requires a site specific response.

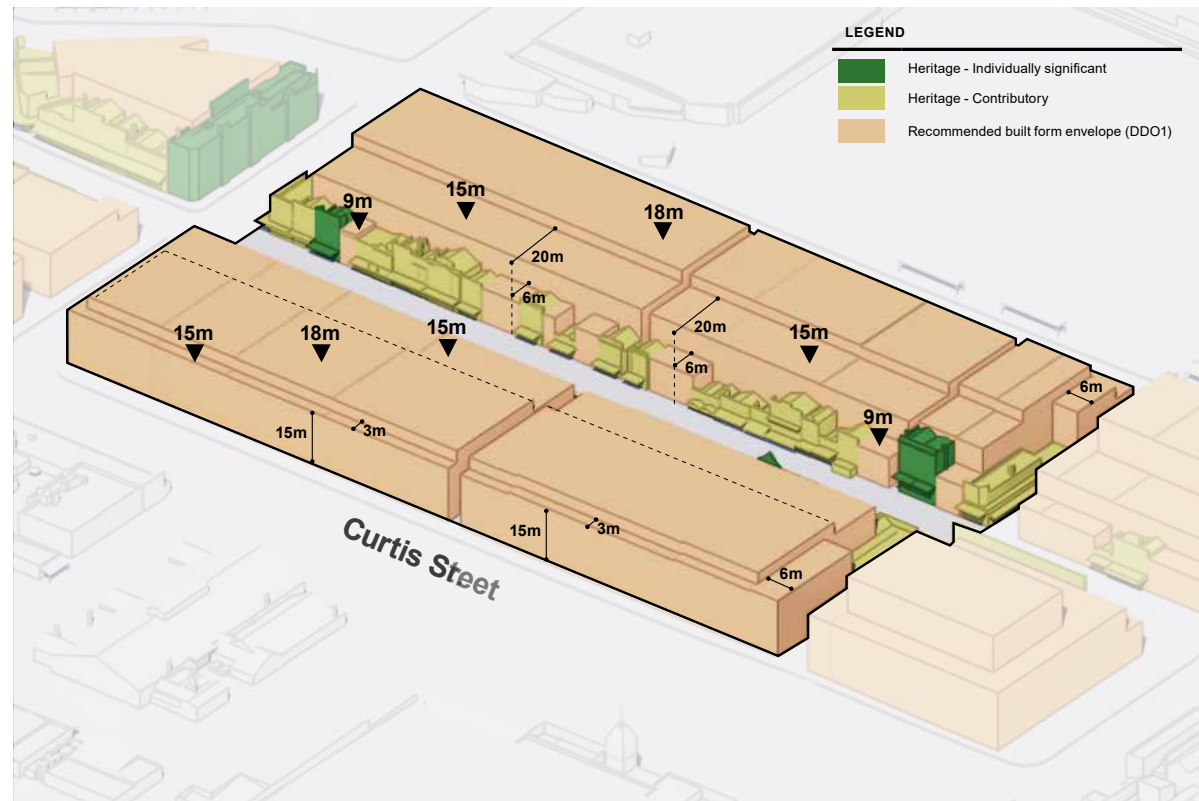
UPPER LEVEL HEIGHTS

- The recommended height limits for Sub-Area 2 envisage a suitable mid-rise character, responding to the various constraints which have informed the built form principles.
- New, taller development will be suitably set back and visually recessed up to a maximum height of 18m, refer to Figure 51 and 53.
- The upper levels of new development fronting Bridge Mall heritage and non-heritage) are to ensure high-quality architectural response to ensure design excellence.
- If additional height beyond the recommended envelope is proposed the proposal needs to demonstrate a clear community benefit and provide view line assessments that demonstrate a positive contribution to the Ballarat skyline that respects the existing, historic landmark buildings located within the CBD core.
- Future development to also achieve an excellent sustainability rating and provide an assessment that demonstrates that the proposal has minimal amenity, wind and solar access impacts. A contextual 3D model is also suggested as a requirement for all development proposals.

RECOMMENDED PREFERRED MAXIMUM BUILT FORM ENVELOPE

The following view illustrates the recommended preferred built form envelope for Sub-Area 2: Bridge Mall Central.

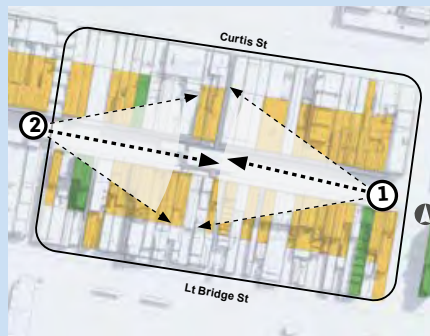
Figure 54 Recommended preferred maximum built form for Sub-Area 2: Bridge Mall Central



VIEW LINE TEST

Figure 55 view 1 from the eastern end of the sub-area looking west demonstrates that the recommended preferred maximum built form envelope would have minimal impact on the ability to view key landmarks within the Ballarat CBD skyline to the west.

Figure 55 view 2 demonstrates that the recommended preferred maximum built form envelope does not negatively impact views of Mount Warrenheip when viewed from the western entry of the sub-area within Bridge Mall.



Key plan

LEGEND	
■	Heritage - Individually significant
■	Heritage - Contributory
■	Recommended built form envelope (DDO1)

VISUAL ASSESSMENT OF BUILT FORM

Figure 55 View of proposed built form envelope within Sub-Area 2: Bridge Mall Central



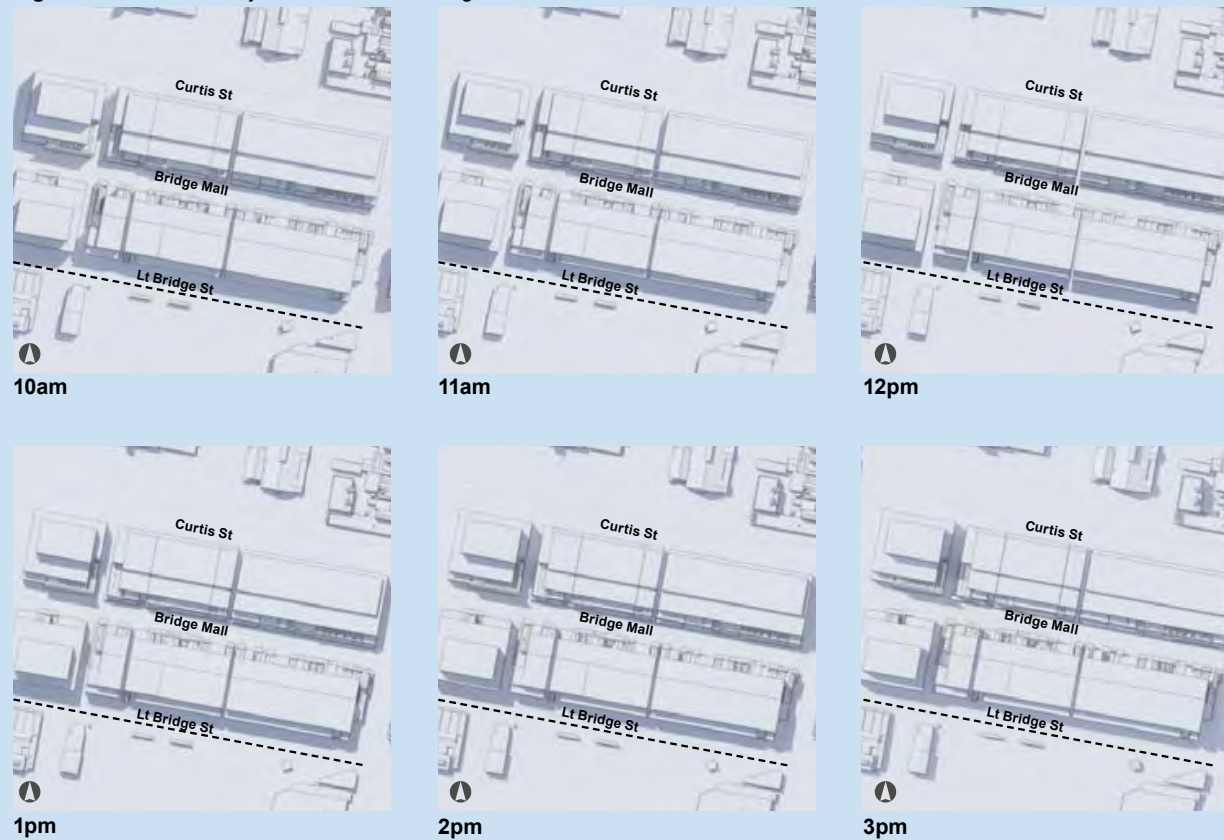
Sub-Area 2: Bridge Mall Central view 1



Sub-Area 2: Bridge Mall Central view 2

SOLAR ACCESS SEPTEMBER 22, 10AM-3PM

Figure 56 Shadow Analysis - Sub-Area 2: Bridge Mall Central



Shadow analysis of Sub-Area 2: Bridge Mall Central tested on September 22nd between 10-3pm illustrates:

- The building envelope avoids overshadowing of southern side footpaths/public realm within Bridge Mall.
- Taller built forms avoid additional overshadowing of the southern footpath of Little Bridge Street to a distance of 3.0 metres from the kerb when measured at the spring equinox (September 22nd between 10 am- 3 pm).

6.5 SUB-AREA 3: BAKERY HILL

Sub-Area 3: Bakery Hill has a higher proportion of intact heritage buildings than the other sub-areas.

There is a large, single-ownership site at the northeast of the sub-area with clear development potential. Any new development in the sub-area should respond to the area's topography and heritage. The built form should also respond to the identified key views towards the Ballarat CBD and skyline. The built form response within the Sub-Area 3: Bakery Hill aims to:

- Retain all heritage buildings within the sub-area.
- Respond to the presence of largely intact heritage buildings throughout the precinct.
- Provide active frontages that address the public realm.
- Respond to the development opportunity at of the northeast corner of the sub-area through high-quality architecture that provides a suitable built form outcome given the site's context. This includes providing an appropriate design response to the rear of heritage buildings, fronting the car park.

Figure 57 and 58 illustrates typical cross sections showing existing and potential built form within the sub-area.

The following key built form approaches are recommended to achieve the desired character for the sub-area:

STREET WALL HEIGHTS

- The street wall height of future development fronting Bakery Hill within Sub-Area 3: Bakery Hill is to be a maximum of 2 storeys (9m).
- The elevated topography of the eastern end of the sub-area warrants a more moderated street wall height for future development. The street wall height

Figure 57 Existing built form section for Sub-Area 3: Bakery Hill - Section E

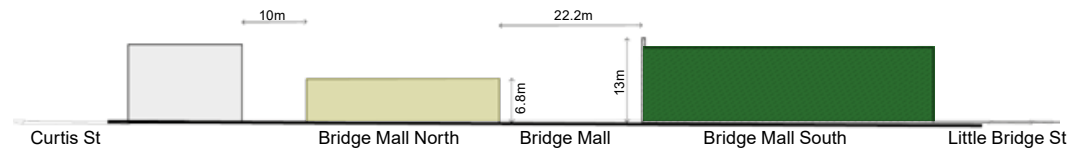
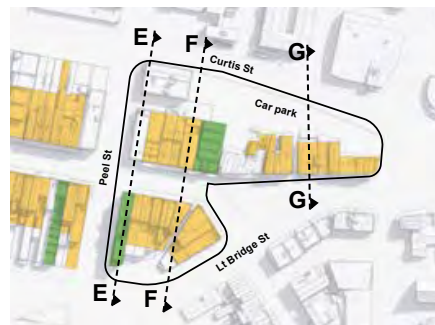
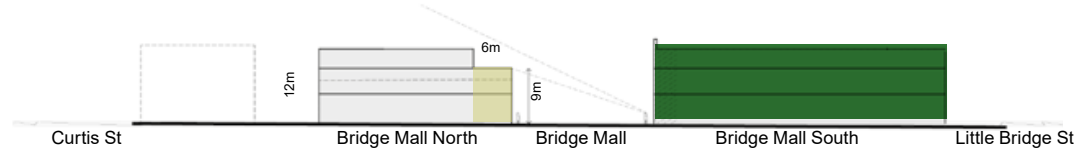


Figure 58 Built form test of street wall, setback and upper level heights- Section E



Key plan for Sub-Area 3

LEGEND

- Heritage - Individually significant
- Heritage - Contributory

for future development along Little Bridge Street and Curtis Street is recommended to be 12m (three storeys).

UPPER LEVEL SETBACKS

- Based on the partial concealment approach, upper level setbacks for heritage and non-heritage buildings to be a minimum of 6m.
- Upper level setbacks for the built form fronting Bridge Mall for single-storeyed heritage shall follow similar setbacks as the two-storey heritage along Bridge Mall.
- New upper level built-from along Little Bridge Street and Curtis Street to not encroach within a 45-degree plane taken from the parapet of the street wall. This principle establishes a consistent upper level built form and assists in avoiding the overshadowing of southern interfaces.

UPPER LEVEL HEIGHTS

- The higher elevation and prominence of Sub-Area 3: Bakery Hill requires lower overall heights than the other sub-areas. A maximum height limit of 12m (3 storeys) is recommended for most of this area (Figure 60 and 62).
- Future development south of Bridge Mall is recommended to have a height of 15m, allowing for approximately four levels.
- If additional height beyond the recommended envelope is proposed the proposal needs to demonstrate a clear community benefit and provide view line assessments that demonstrate a positive contribution to the Ballarat skyline that respects the existing, historic landmark buildings located within the CBD core.
- Future development to also achieve an excellent sustainability rating and provide an assessment that demonstrates that the proposal has minimal amenity, wind and solar access impacts. A contextual 3D model is also suggested as a requirement for all development proposals.

Figure 59 Existing built form section for Sub-Area 3: Bakery Hill - Section F

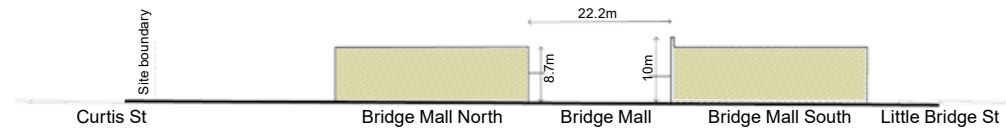


Figure 60 Built form test of street wall, setback and upper level heights- Section F

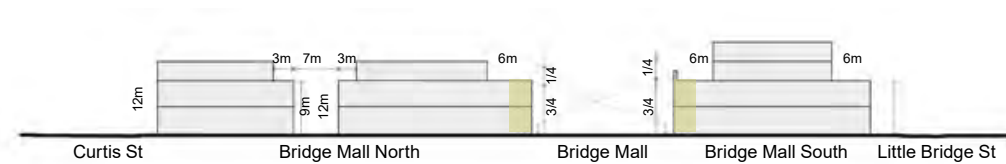


Figure 61 Existing built form section for Sub-Area 3: Bakery Hill - Section G

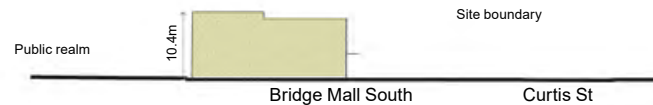
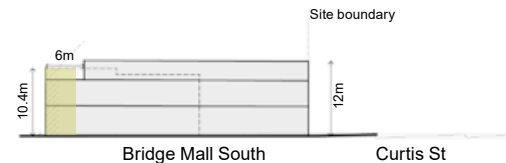


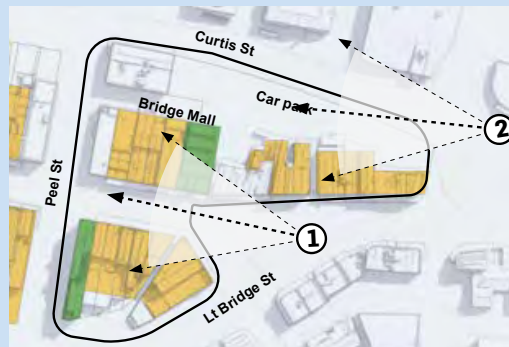
Figure 62 Built form test of street wall, setback and upper level heights- Section G



VIEW LINE TEST

View 1 demonstrates that views towards the CBD skyline are mostly unaffected with minimal intrusion from upper levels (from the building envelope). It is noted that a number of visual obstructions already exist from this viewpoint, such as trees and other visual impediments.

View 2 demonstrates that foreground views from the roundabout at Bakery Hill (eastern end of Curtis Street) would be impacted by potential development. However, this viewing location is considered impractical due to the lack of pedestrian activity and the traffic conditions at the roundabout (which are not conducive to taking in distant views). There are nearby locations where views would still be retained, such as view 1.



Key plan

LEGEND

	Heritage - Individually significant
	Heritage - Contributory
	Recommended built form envelope (DDO1)

VISUAL ASSESSMENT OF BUILT FORM

Figure 63 View of proposed built form envelope from Bakery Hill



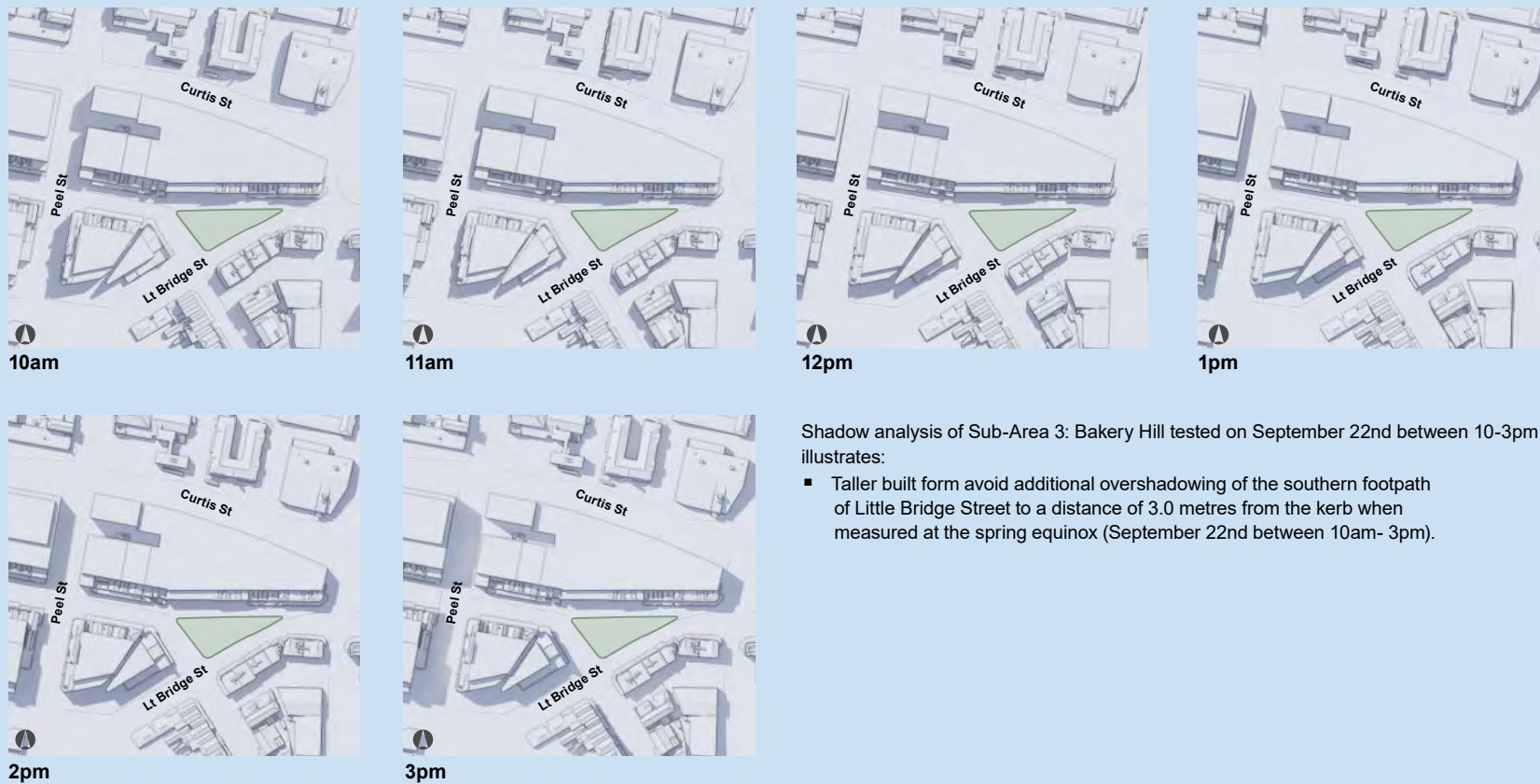
View 1 - Sub-Area 3: Bakery Hill looking towards Sturt Street



View 2 -Sub-Area 3: Bakery Hill view from eastern end of Curtis Street from the roundabout

SOLAR ACCESS SEPTEMBER 22, 10AM-3PM

Figure 64 Solar Access Analysis - Sub-Area 3: Bakery Hill



RECOMMENDED PREFERRED MAXIMUM BUILT FORM ENVELOPE

The following view illustrates the recommended preferred built form envelope for Sub-Area 3: Bakery Hill.

Figure 65 Recommended preferred maximum built form for Sub-Area 3: Bakery Hill



7.0 BUILT FORM RECOMMENDATIONS

This section provides the Built Form Framework recommendations that will guide future development and inform the revised Design Development Overlay (DDO1) control.



7.1 RECOMMENDED BUILT FORM FRAMEWORK

The Built Form Framework is the coalescence of the background context analysis, identified opportunities, vision, built form principles and built form testing.

The 3D visualisation (Figure 66) represents the recommended built form envelope and is translated into the 2D Built Form Framework Plan, refer to Figure 67.

Figure 66 3D illustration of the recommended preferred maximum built form for the Study Area.



SUMMARY OF BUILT FORM RECOMMENDATIONS FOR SUB-AREAS

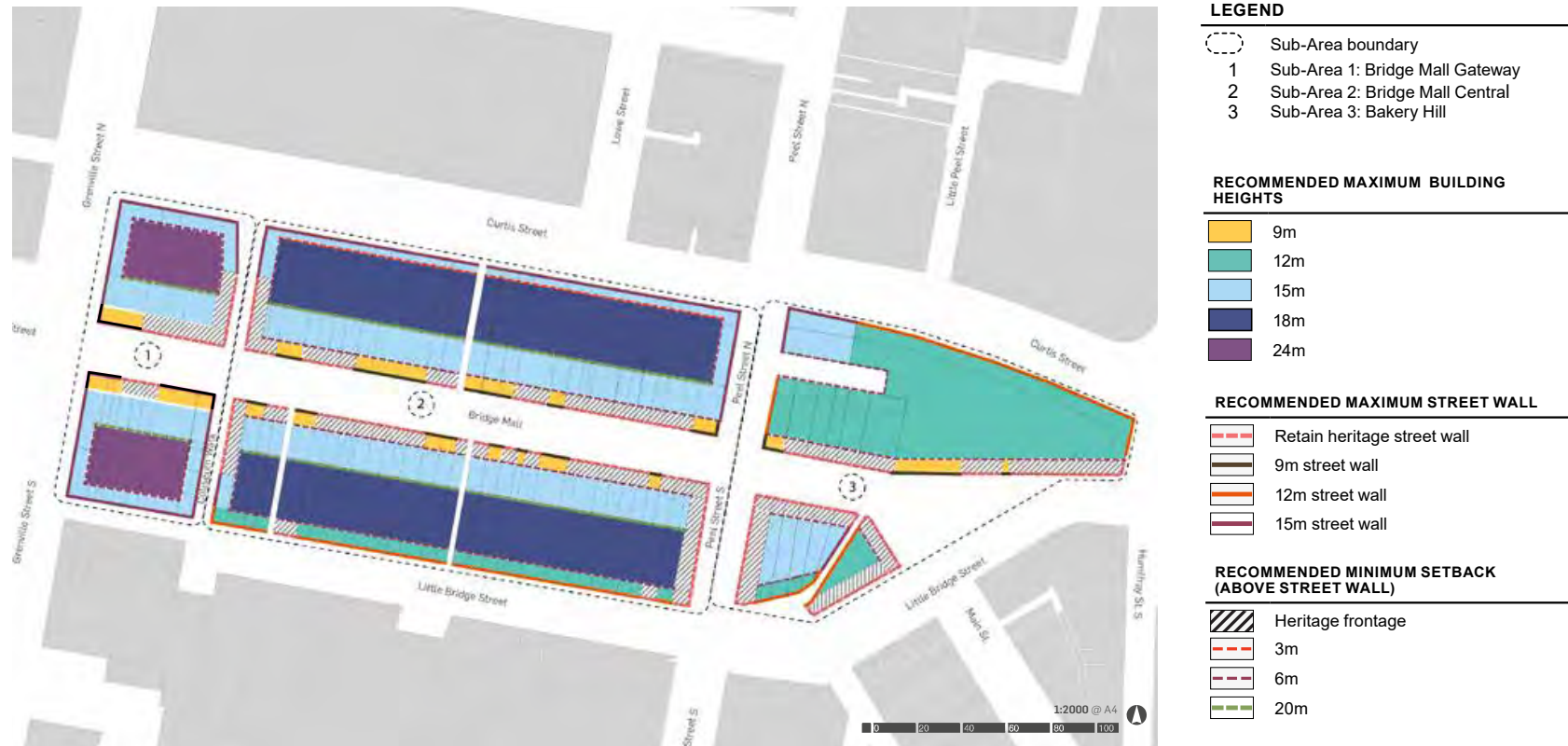
The following table summarises the recommended built-form outcomes for the Sub-Areas. It is to be read in conjunction with the built form principles and table 1 in section 6.

	Built form principle	How are we applying it		
		Sub-Area 1: Bridge Mall Gateway	Sub-Area 2: Bridge Mall Central	Sub-Area 3: Bakery Hill
Public realm	A.1 Active frontages	Bridge Mall, Curtis Street and Little Bridge Street are to be the focus for retail and commercial uses that provide a high degree of ground plane activation. Buildings should address the public realm and be designed with floor to floor heights suitable for retail and commercial uses. Future development to be built to the property frontage along Bridge Mall, Grenville Street, Curtis Street, Little Bridge Street and laneways. Ground level façades in Bridge Mall to be predominately glazing and building entrances. Recommend 80% of ground level façades at Bridge Mall to be glazed. Avoid large blank walls in ground level. Encourage building to property line along with well defined building entrances/addresses. Services and loading to be taken from Curtis Street and Little Bridge Street.		
	A.2 Retain the fine grain pattern	Reinforce and celebrate the heritage character of the precinct through new development that responds sympathetically through finer grain design and facade treatment.		
Street wall	B.1 Respect heritage	Retain heritage buildings. Any proposed redevelopment of significant heritage building will require a site-specific response. Retain heritage frontage along the laneways. In addition to the heritage frontage, incorporate heritage interfaces/elevations where possible.		
	B.2 Reinforce the street wall	Future development within Bridge Mall to have a street wall height of 9m. Maximum street wall height along Sturt Street and Little Bridge Street to be 15m.	Maximum street wall height along Curtis Street to be 15m and Little Bridge Street to be 12m.	Maximum street wall height along Little Bridge Street and Curtis Street to be 12m.
Upper level built form	C.1 Maintain key view-lines	The design response for development above five storeys needs to achieve exceptional design excellence and provide a design response that demonstrates minimal impact on key view lines to landmark buildings to the west and Mount Warrenheip to the more distant east. Follow partial concealment principle. The upper levels of new built form to occupy no more than one quarter of the vertical angle defined by the whole building in the view from a sight line at a height of 1.7 metres above the footpath taken from the building frontage on the opposite side of Bridge Mall.		
	C.2 Recessive upper levels	Provide a 6m setback from the street wall frontage (whether heritage or non-heritage) for the upper levels of new development within Bridge Mall. Upper levels above 15m to be set back a minimum of 20m from Bridge Mall frontage. If additional height beyond the recommended envelope is proposed, the proposal needs to demonstrate a clear community benefit, provide view line assessments that demonstrate negligible/acceptable city skyline impacts, achieve an exceptional sustainability rating, and provide an assessment that demonstrates that the proposal has minimal amenity, wind and solar access impacts. A contextual 3D model is also suggested as a requirement for all development proposals.		
		Minimum development setback of 6m for upper level above street wall along Curtis Street, Little Bridge Street, and Grenville Street. Upper level development at the Sub-Area 1: Bridge Mall Gateway is recommended to have a maximum height of 24m.	Upper level setbacks for the built form fronting Bridge Mall for single-storeyed heritage shall follow similar setbacks as the two-storey heritage along Bridge Mall. New upper level built-from along Little Bridge Street and Curtis Street to not encroach within a 45-degree plane taken from the parapet of the street wall. This principle establishes a consistent upper level built form and assists in avoiding the overshadowing of southern interfaces. New development should minimise the number of setbacks (to 2) to avoid "wedding cake" outcomes.	
		Minimum upper level set back of 3m above street wall along Curtis Street and 6m for Little Bridge Street. New, taller development to have a maximum height of 18m.	New development should provide well-designed, quality built form that responds to the heritage character at Bakery Hill. A lower scale is considered appropriate due to the topography and identified key views towards the Ballarat skyline. New development north of Bridge Mall to be have a maximum height of 12m. New development south of Bridge Mall ranges to be 12m or 15m, refer to Figure 67.	
C.3 Corner site opportunities	For corner sites, encourage design excellence through architectural response, articulation and materiality. Activate ground plane for both frontages.			
C.4 Access to sunlight	Ensure height and mass of upper levels of built form provides access to sunlight for footpaths at the southern side of Bridge Mall (footpath 3m from the southern frontage) at the spring equinox. Ensure taller built form to be designed to avoid additional overshadowing of the southern footpath of Little Bridge Street to a distance of 3.0 metres from the kerb when measured at the spring equinox.			

BUILT FORM FRAMEWORK PLAN

The Built Form Framework Plan presents the recommended built form controls for Bridge Mall Study Area.

Figure 67 Built Form Framework Plan



LEGEND

- Sub-Area boundary
- 1 Sub-Area 1: Bridge Mall Gateway
- 2 Sub-Area 2: Bridge Mall Central
- 3 Sub-Area 3: Bakery Hill

RECOMMENDED MAXIMUM BUILDING HEIGHTS

- 9m
- 12m
- 15m
- 18m
- 24m

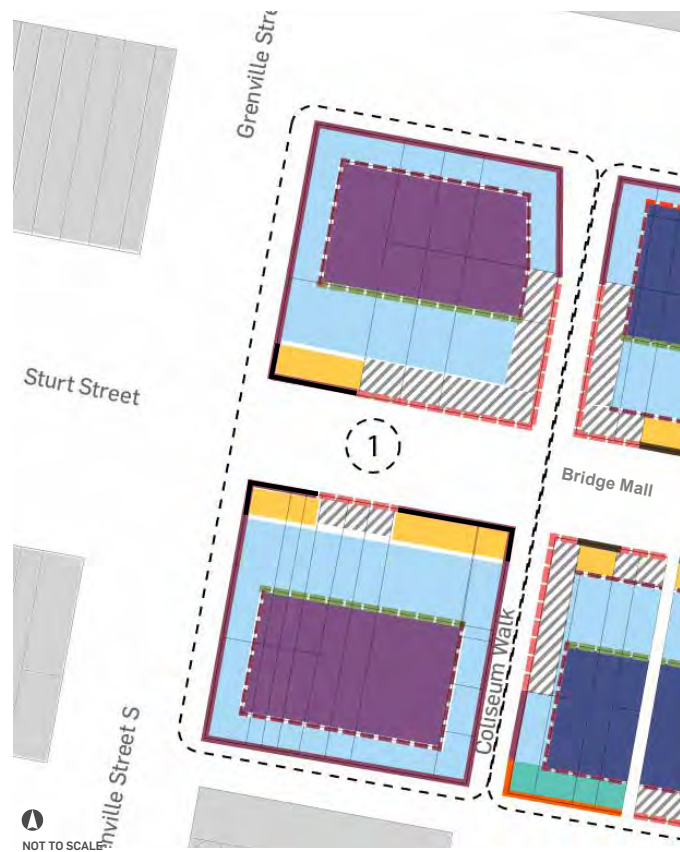
RECOMMENDED MAXIMUM STREET WALL

- Retain heritage street wall
- 9m street wall
- 12m street wall
- 15m street wall

RECOMMENDED MINIMUM SETBACK (ABOVE STREET WALL)

- Heritage frontage
- 3m
- 6m
- 20m

Figure 68 Built Form Framework Plan for Sub-Area 1: Bridge Mall Gateway



LEGEND

- Sub-Area boundary
- 1 Sub-Area 1: Bridge Mall Gateway
- 2 Sub-Area 2: Bridge Mall Central
- 3 Sub-Area 3: Bakery Hill

RECOMMENDED MAXIMUM BUILDING HEIGHTS

- 9m
- 12m
- 15m
- 18m
- 24m

RECOMMENDED MAXIMUM STREET WALL

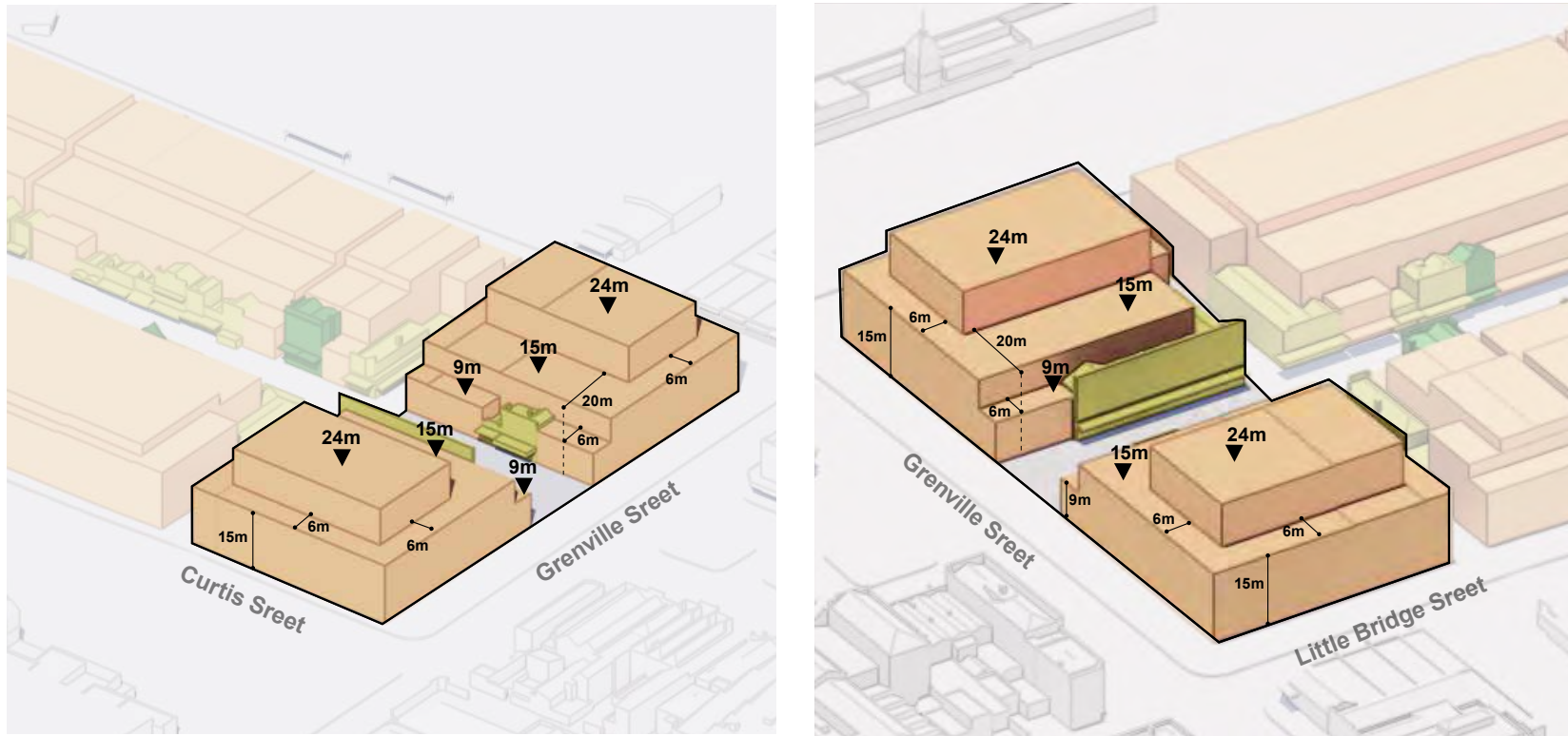
- Retain heritage street wall
- 9m street wall
- 12m street wall
- 15m street wall

RECOMMENDED MINIMUM SETBACK (ABOVE STREET WALL)

- Heritage frontage
- 3m
- 6m
- 20m

BUILT FORM RECOMMENDATIONS

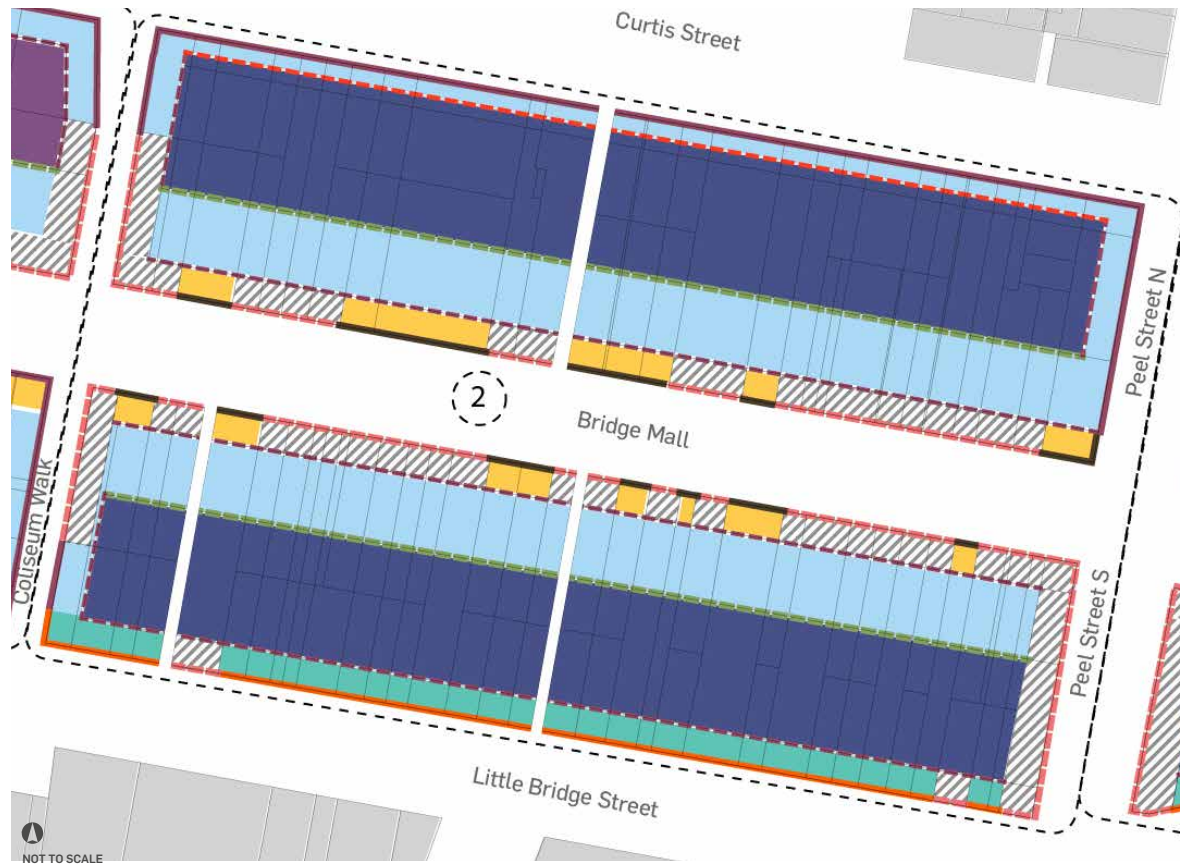
Figure 69 Recommended preferred maximum built form for Sub-Area 1: Bridge Mall Gateway



LEGEND

	Heritage - Individually significant
	Heritage - Contributory
	Recommended built form envelope (DDO1)

Figure 70 Built Form Framework Plan for Sub-Area 2: Bridge Mall Central



LEGEND

- Sub-Area boundary
- 1 Sub-Area 1: Bridge Mall Gateway
- 2 Sub-Area 2: Bridge Mall Central
- 3 Sub-Area 3: Bakery Hill

RECOMMENDED MAXIMUM BUILDING HEIGHTS

- 9m
- 12m
- 15m
- 18m
- 24m

RECOMMENDED MAXIMUM STREET WALL

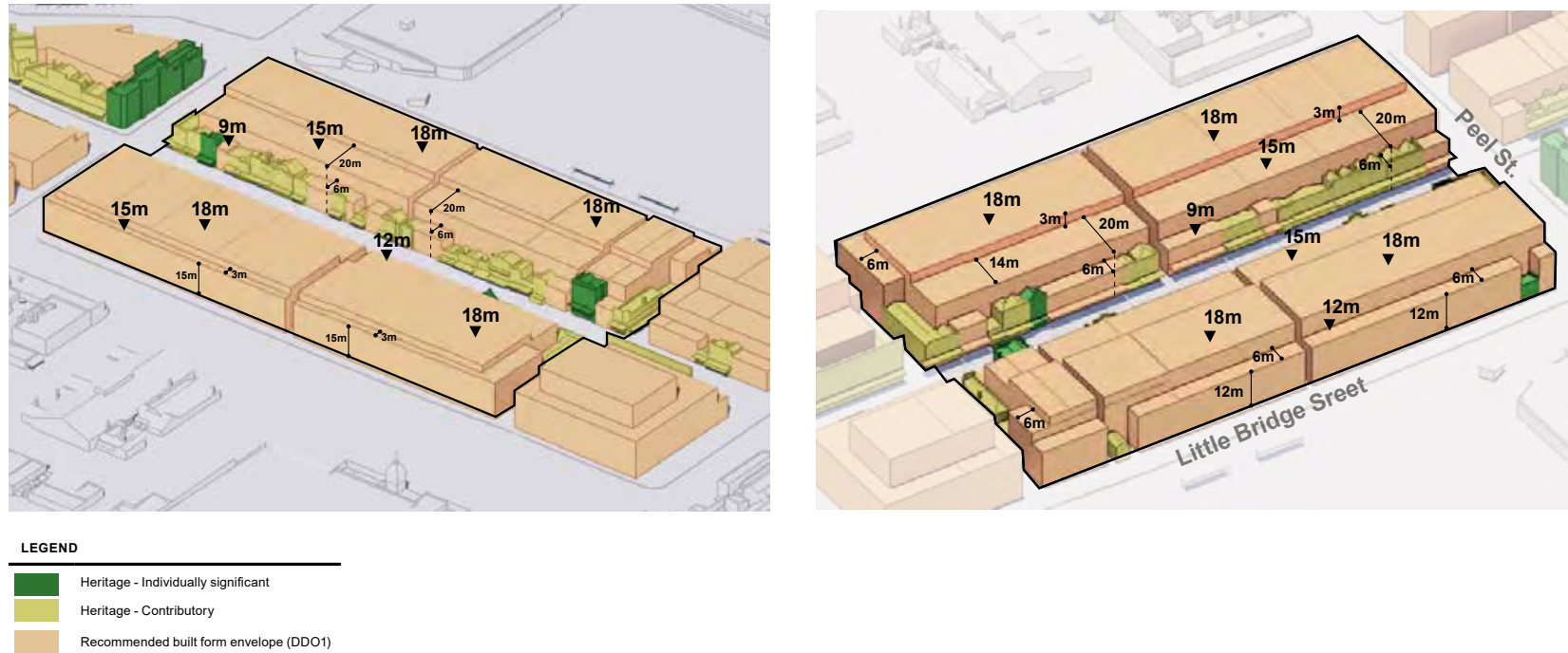
- Retain heritage street wall
- 9 m street wall
- 12 m street wall
- 15 m street wall

RECOMMENDED MINIMUM SETBACK (ABOVE STREET WALL)

- Heritage frontage
- 3m
- 6m
- 20m

BUILT FORM RECOMMENDATIONS

Figure 71 Recommended preferred maximum built form for Sub-Area 2: Bridge Mall Central



BUILT FORM RECOMMENDATIONS

Figure 72 Built Form Framework Plan for Sub-Area 3: Bakery Hill



LEGEND

- Sub-Area boundary
- 1 Sub-Area 1: Bridge Mall Gateway
- 2 Sub-Area 2: Bridge Mall Central
- 3 Sub-Area 3: Bakery Hill

RECOMMENDED MAXIMUM BUILDING HEIGHTS

- 9m
- 12m
- 15m
- 18m
- 24m

RECOMMENDED MAXIMUM STREET WALL

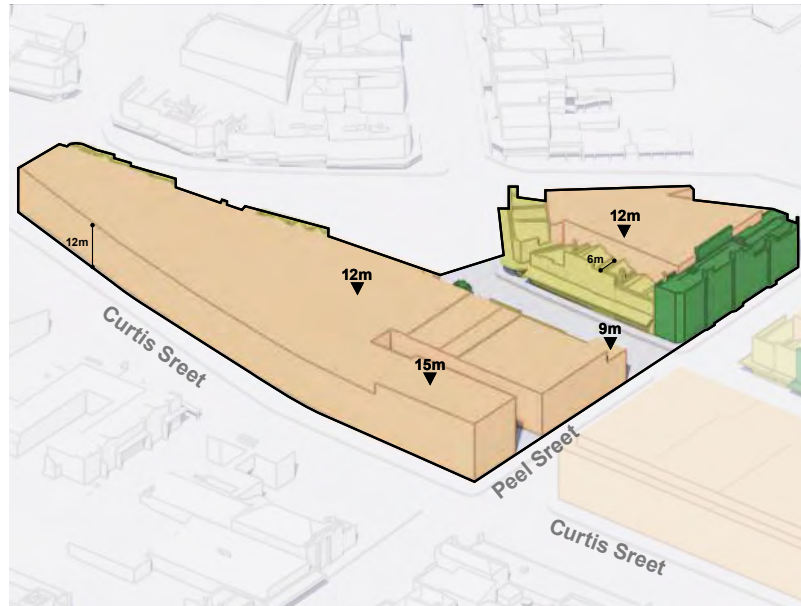
- Retain heritage street wall
- 9 m street wall
- 12 m street wall
- 15 m street wall

RECOMMENDED MINIMUM SETBACK (ABOVE STREET WALL)

- Heritage frontage
- 3m
- 6m
- 20m setback (above 18m)

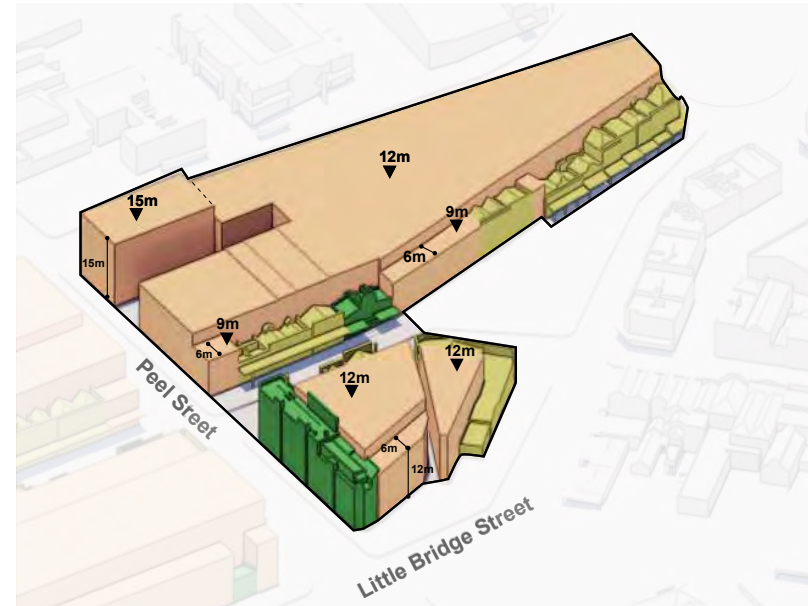
BUILT FORM RECOMMENDATIONS

Figure 73 Recommended preferred maximum built form for Sub-Area 3: Bakery Hill



LEGEND

- Heritage - Individually significant
- Heritage - Contributory
- Recommended built form envelope (DDO1)



7.2 UPDATES TO THE DESIGN DEVELOPMENT OVERLAY (DDO1)

The recommended Built Form Framework provides 2D and 3D representation of recommended preferred maximum built form. These recommendations will be translated into the draft Design Development Overlay (DDO1) update.

The updated DDO1 will also address other design objectives and matters that are not strictly 'built form' in the sense of mass.

The built form recommendations are the result of the range of robust built form tests applied to achieve appropriate objectives. By preparing this robust analysis and Built Form Framework envelope, there is confidence and certainty that if a future development proposal is within the envelope, the general form already addresses critical attributes such as respecting the heritage streetscape and view lines. Detailed design response and assessment to address the finer matters of built form and character will ensure delivery of a vibrant, high-amenity and high-quality urban renewal.

The maximum and minimums are noted as preferred, rather than mandatory, to allow some flexibility to deviate. However, in the case a development proposal exceeds the recommended envelope, a series of strict additional tests (beyond the standard design objectives) will be set out in the DDO1 to ensure the critical aims of the vision and principles are achieved.

Additional matters to be assessed can include:

- Achieving exceptional design excellence that contributes to the city's urban form and character, and does not detract from key city skyline attributes
- Floor Area Uplift if:
 - Achieving exceptional sustainability metrics
 - Delivering significant public benefit, such as:
 - Expansion of laneways, public realm upgrades, additional public or private space above standard requirements, or
 - Affordable housing or housing for diverse household types
- Demonstration that there are no amenity impacts on solar access and wind tunnelling (if appropriate).

The DDO1 update will address design objectives, application requirements and decision guidelines to reflect the work compiled in this report.

Additional character and design detail measures to be addressed include:

- Rear and service access
- Treatment of sides of buildings (to avoid bare surfaces)
- Upper level articulation (to avoid a monotonous upper level wall)
- Ground level access and activation.

Overall, this Built Form Framework supports a greater scope for urban infill than the current, limiting DDO1, and supports an update to that clause. It provides a robust guidance to facilitate appropriate urban renewal within the Study Area, while ensuring that Bridge Mall's unique heritage and character will be respected and celebrated.

APPENDIX

ADDITIONAL VISUAL ASSESSMENT OF RECOMMENDED BUILT FORM FRAMEWORK 3D ENVELOPE.



Sturt Street/Lyons Street - North



Sturt Street/Armstrong Street - North



Sturt Street/Lydiard Street - North



Sturt Street/Lyons Street - South



Sturt Street/Armstrong Street - South



Sturt Street/Lydiard Street - South



Sturt Street/Camp Street - North



End Bridge Mall looking west (Viewpoint 2)



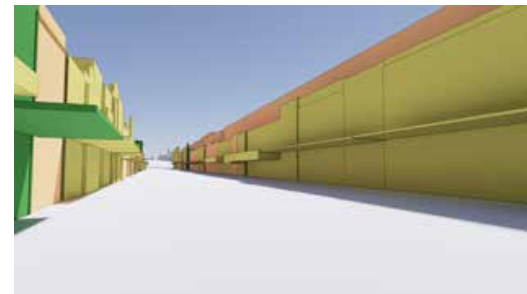
Internal Bridge Mall central sub-area looking east



Sturt Street/Camp Street - South



Curtis Street looking west (Viewpoint 3)



Internal Bridge Mall Central sub-area looking east

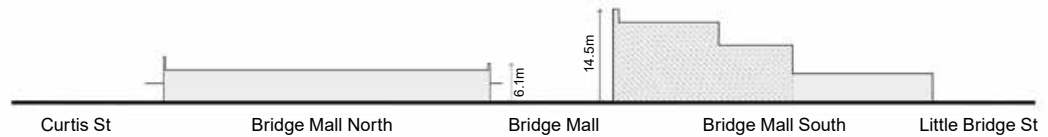
DEVELOPMENT OF BUILT FORM FRAMEWORK- COMPLETE AND PARTIAL CONCEALMENT TESTS



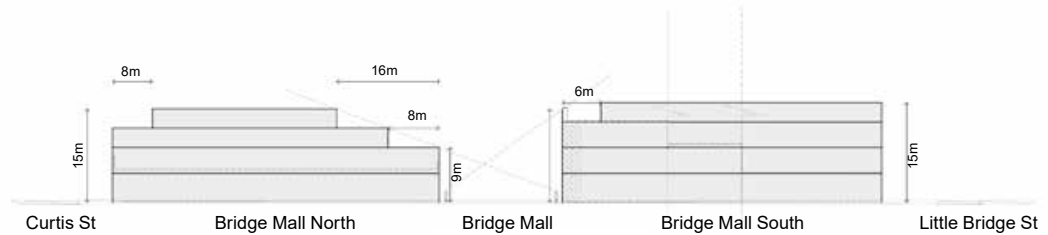
LEGEND

- Heritage - Individually significant
- Heritage - Contributory

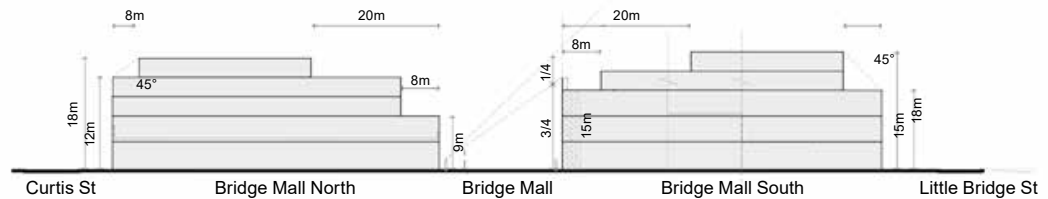
SECTION B



Existing section



Fully concealed upper level built form

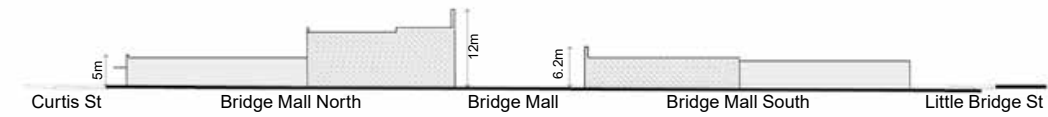


Partial concealed upper level built form

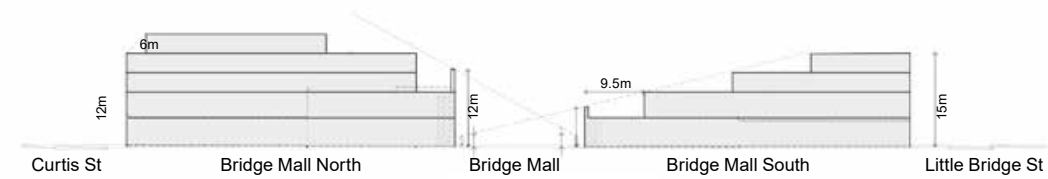
LEGEND

- Heritage building

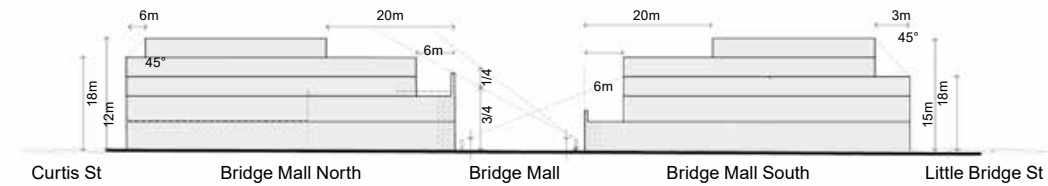
SECTION C



Existing section

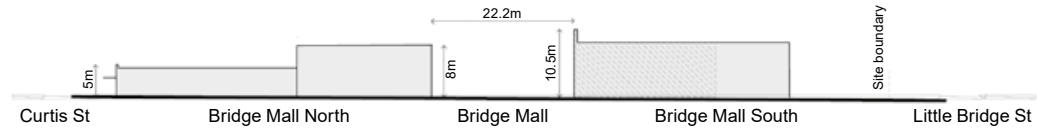


Fully concealed upper level built form

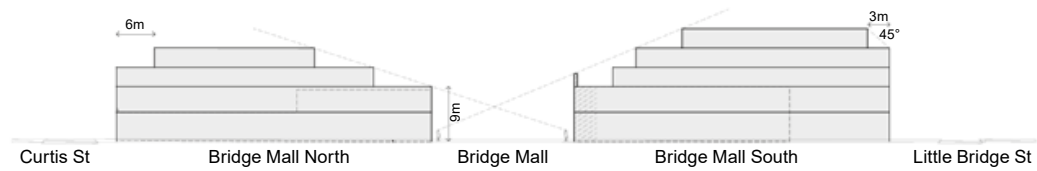


Partial concealed upper level built form

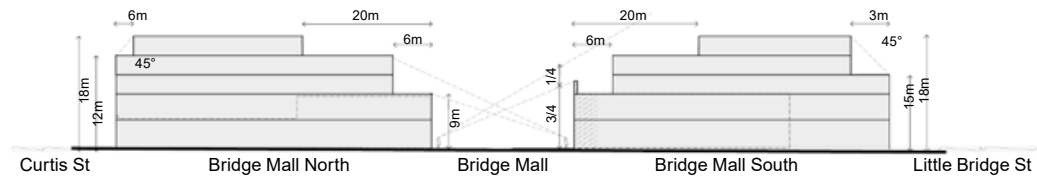
SECTION D



Existing section

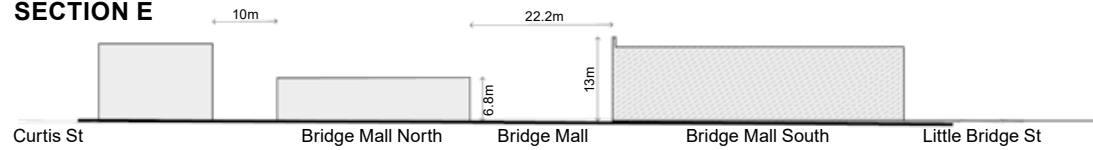


Fully concealed upper level built form

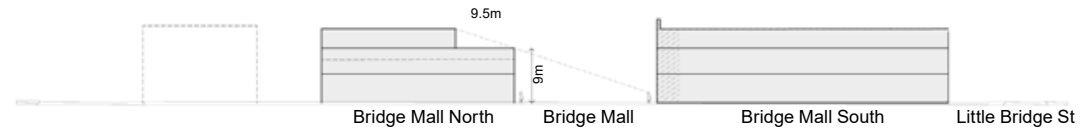


Partial concealed upper level built form

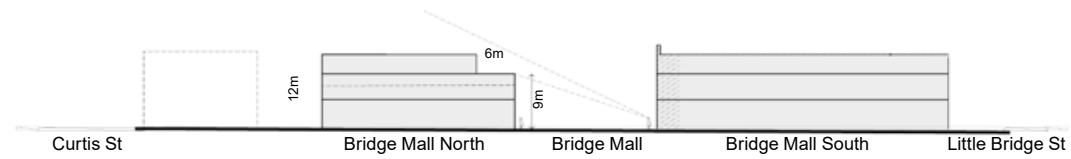
SECTION E



Existing section

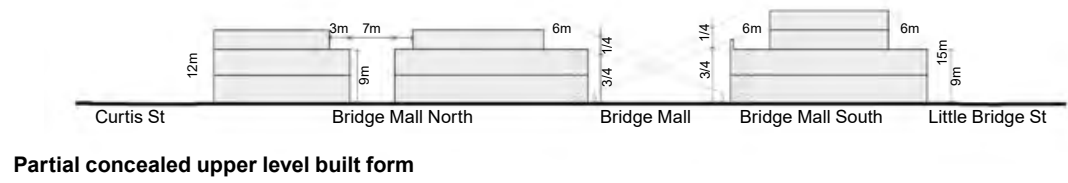
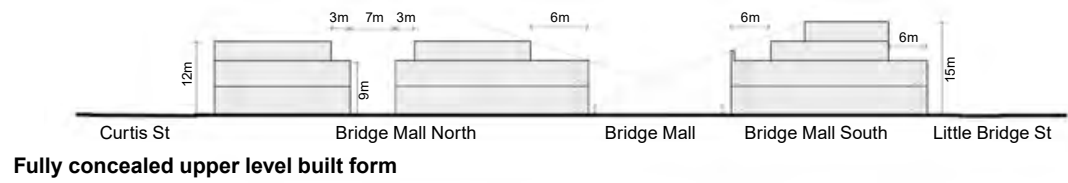
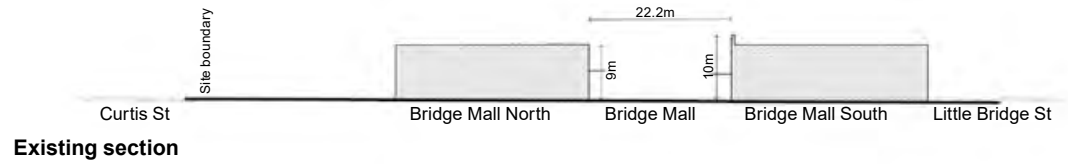


Fully concealed upper level built form

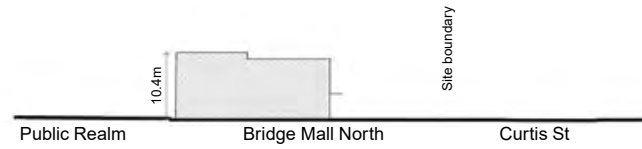


Partial concealed upper level built form

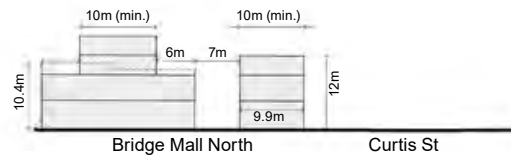
SECTION F



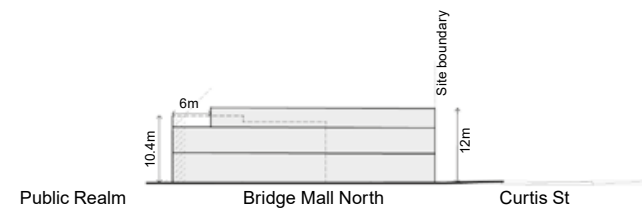
SECTION G



Existing section



Fully concealed upper level built form



Partial concealed upper level built form

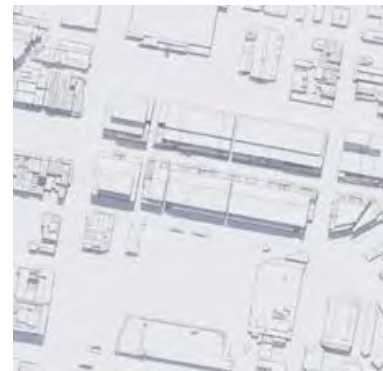
SHADOW ANALYSIS SEPTEMBER 22, 10AM-3PM



10am



11am



12pm



1pm



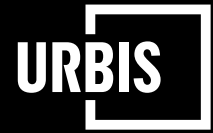
2pm



3pm

Note: overshadow requirements in current DDO:

Development should not cast additional shadow on any part of the southern footpath of Bridge Little Bridge Street to a distance of 3.0 metres from the kerb between 10am and 3pm at 22nd September



6.3. PLP/2022/508 - 8 MAIR STREET

Division: Development and Growth
Director: Natalie Robertson
Author/Position: Claire Pepin – Principal Planner

PURPOSE

1. The purpose of this report is to advise Councillors of Planning Permit Application No. PLP/2022/508 (8 Mair Street and 116 - 122 Lydiard Street, Ballarat Central) and the permit applicant's request to the Minister for Planning to call-in the application for a final decision. This is on the basis of the various land ownerships and related government agency responsibilities which affect the site, and that the development would include a key piece of public infrastructure spanning these various areas of responsibility.
2. The application seeks approval to demolish the existing building occupying 8 Mair Street and elements of buildings fronting Lydiard Street, construct a multi-storey mixed-use building comprising office space, retail tenancies, residential hotel and a childcare centre, the display of signage, a reduction in car parking requirements and alterations to an existing accessway off Mair Street (forming part of a Transport Zone 2).
3. The below images show the proposed building in greater detail.



Figure 1: Render image of proposed building as viewed from Camp Street (application documents)



Figure 2: Render image of proposed building as viewed from Coffee Palace Lane (application documents)

4. The application has undergone public notice and 17 submissions have been received to date.

BACKGROUND

5. Though not forming part of the application, the applicant has also outlined an intention to provide a pedestrian bridge linking the Ballarat Railway Station forecourt with the rear of the subject site. This is the key public infrastructure which officers consider to be of utmost importance and agree should be incorporated into a broader decision-making process carried out by the Minister for Planning.
6. Council officers have met with the permit applicant and representatives from the Department of Transport and Planning (DTP), Heritage Victoria (HV), VicTrack and V/Line to discuss the proposed bridge. Concerns principally centre upon land ownership matters and responsibility for delivering and maintaining this bridge.
7. Importantly, the bridge is agreed in principle by all parties. Given the various land ownerships that exist however, all parties agree that the Minister for Planning is best placed to determine the planning application, as well as the pathway for facilitating the delivery of the bridge.
8. The permit applicant has now formally requested the Minister for Planning intervene and Officers are of the view that this is indeed warranted in this case. Again, this is principally due to the various land ownerships that exist here.

KEY MATTERS

9. It is not yet known if the Minister for Planning will opt to call-in the application. The Minister will determine this with reference to Section 97 of the *Planning and Environment Act 1987*.
10. If the Minister decides not to call-in the application, the City of Ballarat will remain the Responsible Authority and will then need to determine the application. This would not include the proposed bridge given it would be outside Council's jurisdiction. That said, pedestrian access would still be provided onto Coffee Palace Lane within the land

administered by Council. Direct access to the Ballarat Station railway forecourt would not however be provided and this key public benefit would be lost.

11. Given the number of stakeholders across the Victorian Government, officers support a potential 'call-in' by the Minister for Planning pursuant to Section 97B of the *Planning and Environment Act*.
12. Officers understand that if the Minister calls-in the application, a further round of community consultation (to include the pedestrian bridge should it form part of a future planning application) would be undertaken by the Minister. Officers also understand that a referral would be made to the Council in which a position on either 'support' (subject to changes) or 'not support' of the application would be sought.
13. Officers have completed an initial review of the application plans and have identified a number of design and built form alterations which would enhance activation at the street level and result in a more appropriate design response in relation to the site's heritage context. These built form alterations are outlined in the resolution below.

OFFICER RECOMMENDATION

14. That the Planning Delegated Committee resolves to:

Write to the Minister for Planning, in support of the applicant's recent request to the Minister for Planning, to call-in Permit Application No. PLP/2022/508 pursuant to Section 97B of the *Planning and Environment Act 1987*. This expression of support is subject to further community consultation on the planning application and a formal referral to Council for further consideration, which would include the following built form and design changes:

- a. Increased activation along the Coffee Palace Lane frontage of the site, including the provision of a safe, accessible, functional and visually appealing built form accommodating all road users;
- b. Full concealment of the development when viewed from the western side of Lydiard Street directly opposite the centre of the site frontage;
- c. Reduction in height of the Mair Street wall so that the parapet height generally matches that of 102 Lydiard Street. This reduced height must extend for a distance of no less than the width of the accessway along the western boundary of the site;
- d. A reduced number of car parking spaces on site, including the deletion of the car park extending off the laneway extending along the western property boundary (office and retail spaces) and the provision of additional end-of-trip and bicycle storage facilities in the vacated space to be used in association with office and retail uses and accessible off the western laneway. Car parking in association with the hotel and childcare centre only should be provided on site;
- e. The reduction in height of the entrance arch along the Mair Street frontage by a minimum of one storey. This might allow for the provision of additional office floor space at the upper level;

- f. Greater modulation of the Mair Street façade via the use of alternate materials to better reflect the streetscape rhythm of the surrounding heritage precinct. This includes the provision of additional masonry elements and a commensurate reduction in glazing;**
- g. Further consideration given to the presentation of the rear (northern) façade of the building. This might also include the provision of additional masonry elements to better reflect the built form character of the surrounding heritage precinct. A balance between additional masonry elements and the need to also provide for visual permeability into the building when approaching from the railway station forecourt is preferred. Some glazing will provide for this however the rear frontage should not be wholly glazed;**
- h. The overall height of the proposed building maintained and not increased at any point as a result of the abovementioned preferred changes; and**
- i. The delivery of the aforementioned pedestrian bridge from the Ballarat Railway Station forecourt over Coffee Palace Lane to the rear of 8 Mair Street. This bridge must be functional, of a high-quality design and to the satisfaction of all relevant authorities. This includes the provision of integrated screening limiting views into the rear of the Coffee Palace (126 Lydiard Street). This integrated screening could incorporate heritage interpretation panels along the length of the bridge.**

ATTACHMENTS

- 1. Governance Review [6.3.1 - 2 pages]
- 2. PLP 2022 508 8 Mair Street Ballarat Central Amended Plans [6.3.2 - 83 pages]

OFFICIAL

ALIGNMENT WITH COUNCIL VISION, COUNCIL PLAN, STRATEGIES AND POLICIES

1. This report aligns with Council's Vision, Council Plan, Strategies and Policies.

COMMUNITY IMPACT

2. There are no negative community impacts identified for the subject of this report. The recommended pedestrian bridge will deliver community benefits by way of improved access between Ballarat Railway Station and the central city.

CLIMATE EMERGENCY AND ENVIRONMENTAL SUSTAINABILITY IMPLICATIONS

3. There are no environmental sustainability implications identified for the subject of this report.

ECONOMIC SUSTAINABILITY IMPLICATIONS

4. There are no economic sustainability implications identified for the subject of this report.

FINANCIAL IMPLICATIONS

5. If applicable, the cost of running a VCAT hearing is already included within the Statutory Planning Unit's approved budget.

LEGAL AND RISK CONSIDERATIONS

6. There are no legal and risk considerations relevant to the subject of this report.

HUMAN RIGHTS CONSIDERATIONS

7. It is considered that the report does not impact on any human rights identified in the *Charter of Human Rights and Responsibilities Act 2006*.

COMMUNITY CONSULTATION AND ENGAGEMENT

8. The planning permit application was advertised pursuant to *Section 52 of the Planning and Environment Act 1987*.

GENDER EQUALITY ACT 2020

9. There are no gender equality implications identified for the subject of this report.

CONFLICTS OF INTEREST THAT HAVE ARISEN IN PREPARATION OF THE REPORT

OFFICIAL

OFFICIAL

10. Council officers affirm that no general or material conflicts need to be declared in relation to the matter of this report.

OFFICIAL

116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350

TOWN PLANNING APPLICATION

NO.12980

DATE: 22/12/2022

REVISION: 1

PLUS ARCHITECTURE RESPECTFULLY ACKNOWLEDGES THE WADAWURRUNG PEOPLE OF THE KULIN NATION, THE TRADITIONAL CUSTODIANS OF THE LAND UPON WHICH WE STAND, AND ALL TRADITIONAL CUSTODIANS OF THE LAND AND WATERWAYS WE BREATHE, LIVE AND WORK ON. WE PAY OUR RESPECTS TO THE LAND, THEIR ANCESTORS AND THEIR ELDERS - PAST, PRESENT AND EMERGING. WE APPRECIATE THE WEALTH OF THEIR CREATIVE PRACTICES HARKING BACK TO DREAMTIME. WE RECOGNISE SOVEREIGNTY WAS NEVER CEDED.

0

C O N T E N T S

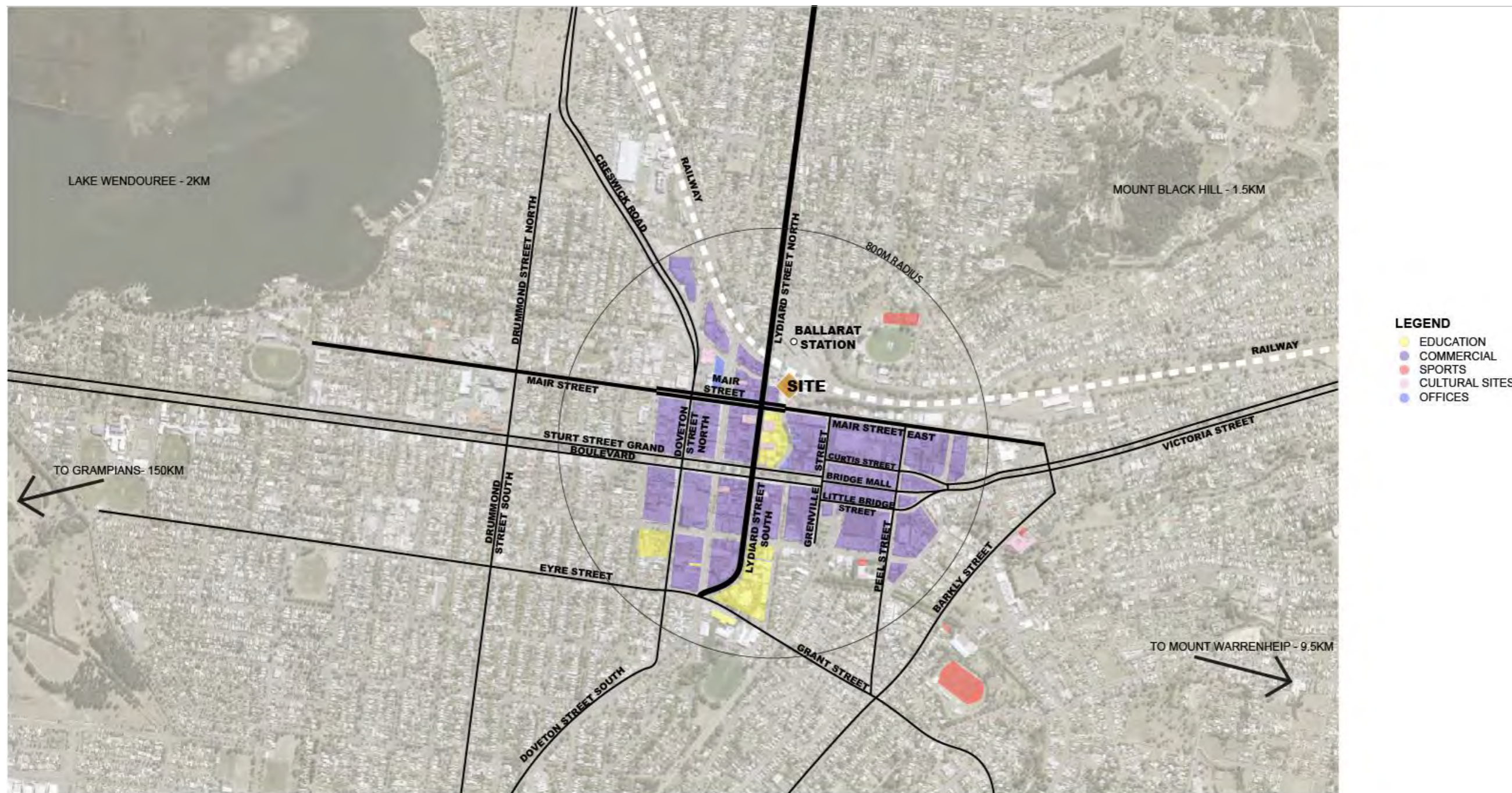
SITE INFORMATION	1
DESIGN RESPONSE	2
DEVELOPMENT SCHEDULE	3
ARCHITECTURALS	4
SHADOW ANALYSIS	5
MATERIAL SCHEDULE	6



1

SITE INFORMATION

1.01



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SITE LOCATION

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



1.02



PROJECT
 116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
 CONTEXT PLAN

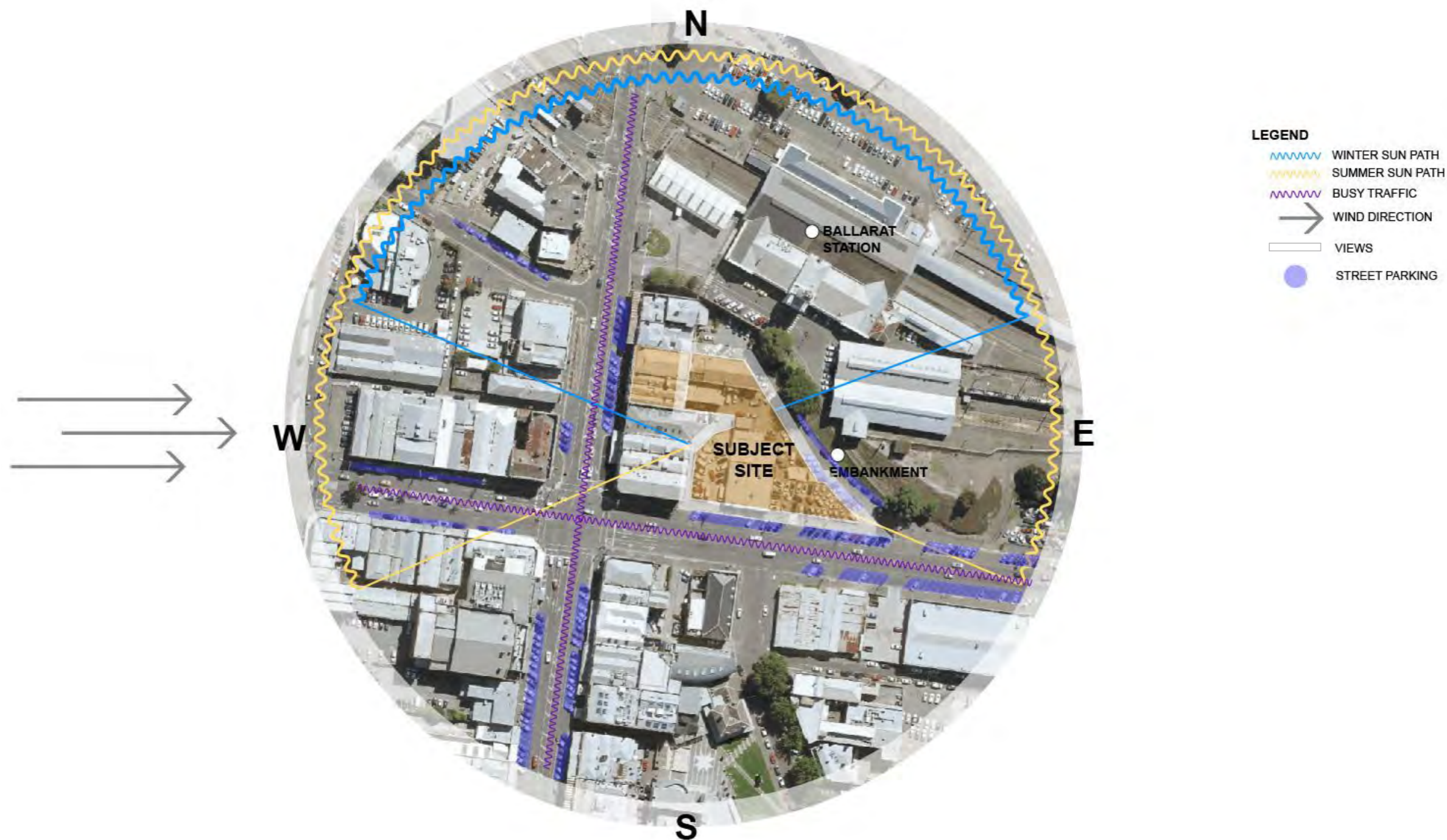
JOB NUMBER
 12980

DATE
 22/12/2022

REVISION
 1



1.03



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SITE ANALYSIS

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



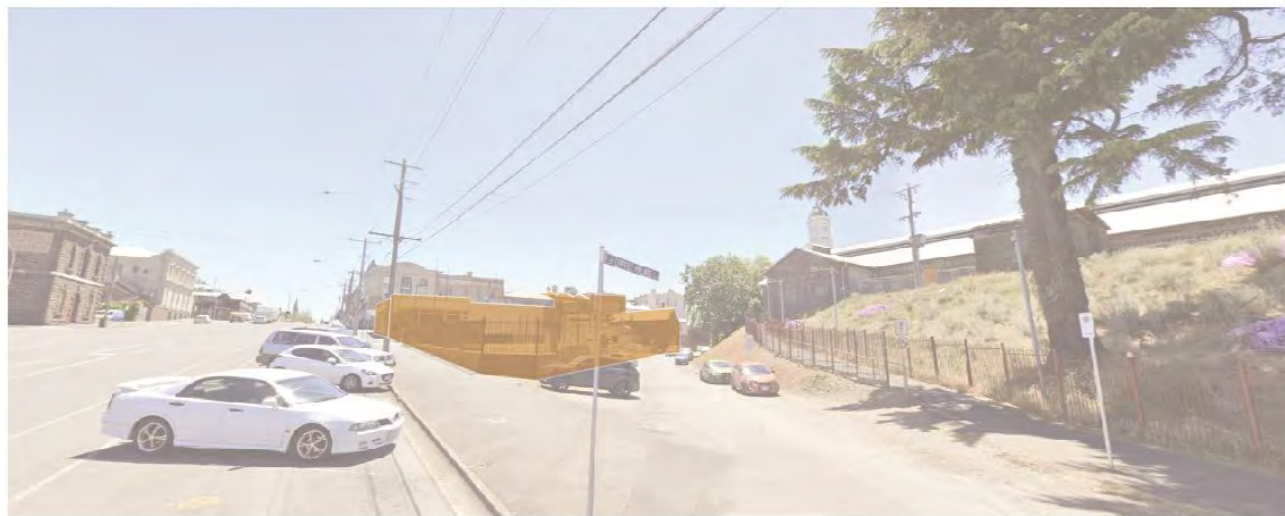
1.04



1. 116-122 LYDIARD STREET NORTH
 LYDIARD STREET NORTH FRONTAGE



2. 8-10 MAIR STREET
 VIEW COMING FROM CAMP STREET ON TO MAIR STREET



3. 8-10 MAIR STREET
 CORNER OF MAIR STREET AND COFFEE PALACE LANE

PROJECT
 116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
 SITE PHOTOS

JOB NUMBER
 12980

DATE
 22/12/2022

REVISION
 1



1.05



4. COFFEE PALACE LANE
VIEW DOWN COFFEE PALACE LANE



5. STATION CARPARK
VIEW FROM STATION CARPARK (FUTURE STATION PLAZA)

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SITE PHOTOS

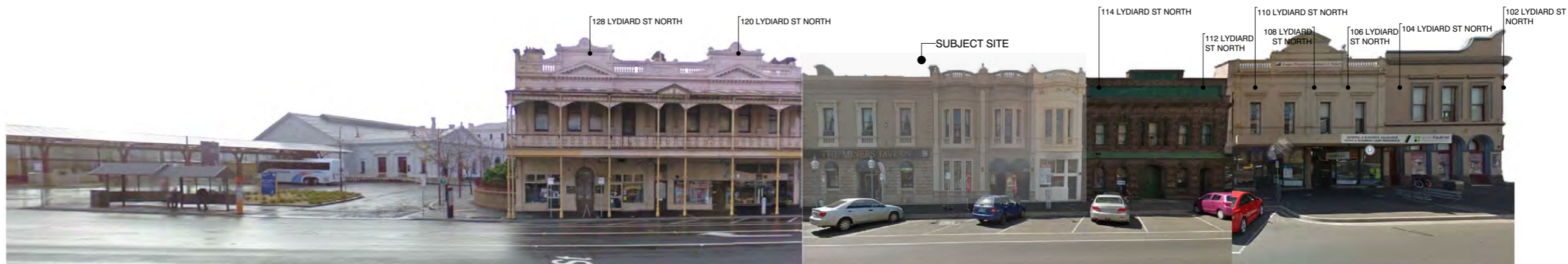
JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



1.06



LYDIARD STREET NORTH STREETSCAPE



MAIR STREET STREETSCAPE

PROJECT
 116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
 STREET SCAPES

JOB NUMBER
 12980

DATE
 22/12/2022

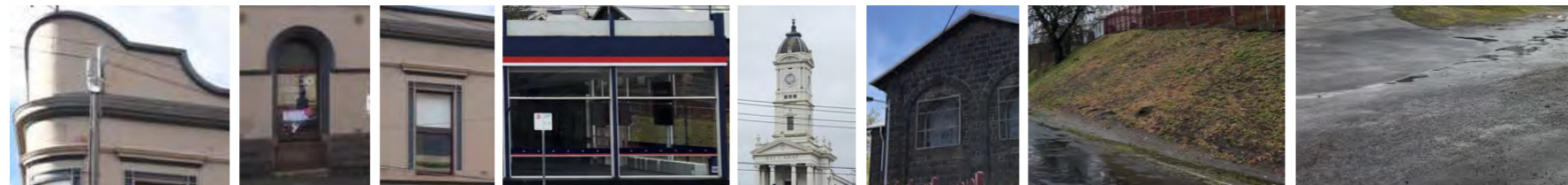
REVISION
 1



1.07



LYDIARD STREET NORTH STREETScape MATERIALITY



MAIR STREET STREETScape MATERIALITY

PROJECT
 116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
 STREET MATERIALITY

JOB NUMBER
 12980

DATE
 22/12/2022

REVISION
 1



1.08



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
WORK WEEK ACTIVATION

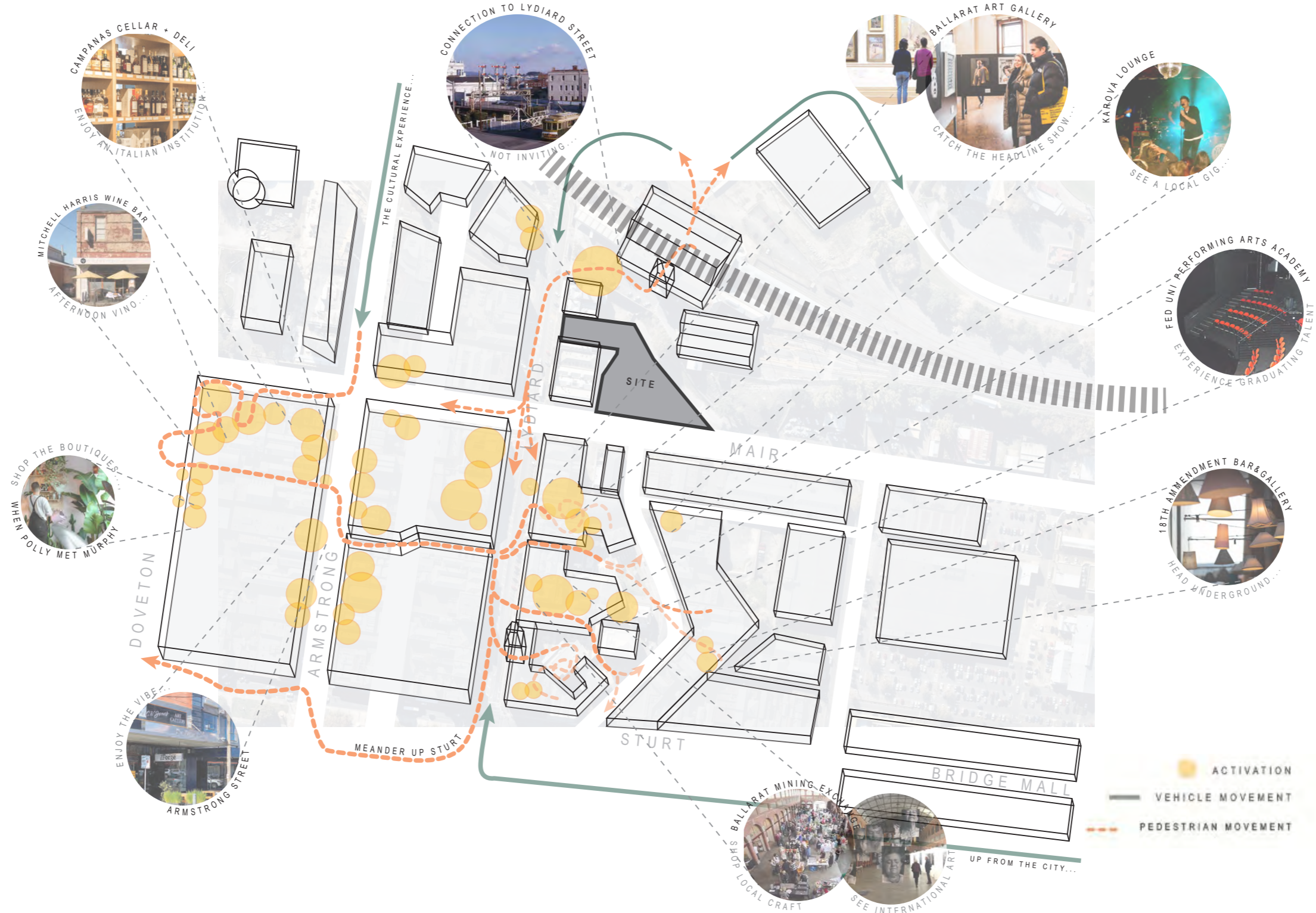
JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



1.09



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
CULTURAL ACTIVATION

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



2

DESIGN RESPONSE

BALLAARAT GATEWAY

A GATEWAY FOR THE CITY A HUB FOR THE NEW BALLARAT ACKNOWLEDGING HISTORIES AND CONNECTING FUTURES

The Regeneration of 116-122 Lydiard Street North and 8-10 Mair St is designed as a contemporary Civic addition to Ballarat's CBD and transportation hub; proposed as an engaging and invigorating Gateway to Ballarat.

The Ballaarat Gateway Regeneration will revitalize the Renaissance Revival bluestone building at 122 Lydiard Street North, formerly Robert Dunn's Warehouse, as well as a triple fronted commercial terrace row adjacent at 116-120, refurbishing it into a compelling hospitality and wellness destination.

A contemporary Hotel is positioned behind the Heritage fabric, facing out onto Coffee Palace Lane, and accessible via an arcade running East to West from 116 Lydiard St, an external stair from Coffee Palace lane, lifts accessible via the Coffee Palace Lane building entrance, an arcade running North to South from Mair St, and a proposed bridge spanning across from the Station South Plaza over Coffee Palace Lane.

The Gateway links Ballarat Station to the CBD beyond via Lydiard S, Mair St and Coffee Palace Lane, stitching together a previously disconnected section of the CBD. It becomes both a user friendly route, and a destination in its own right, with arcades converging to create meeting places.

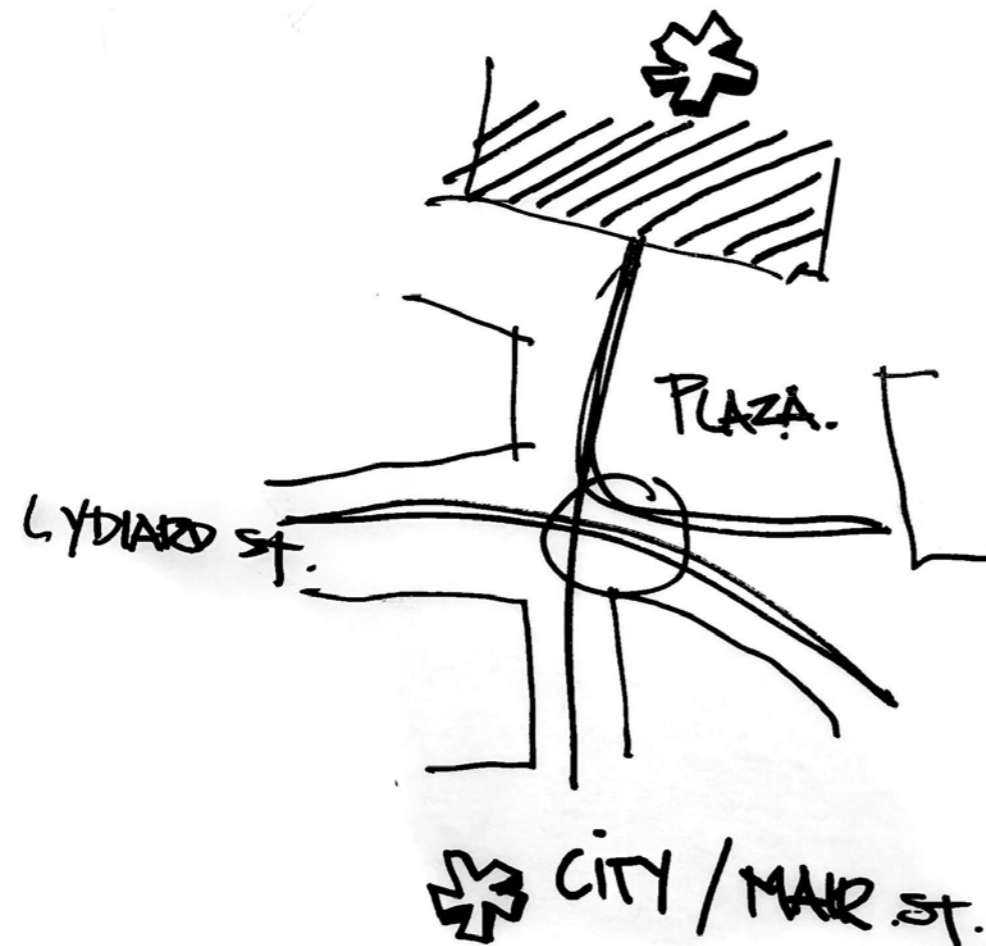
South of the Hotel and addressing the 8-10 Mair St interface, a premium, state of the art Workplace is proposed that will drive a new era of innovation and commerce in Ballarat, a platform for the shifting modes of work and collaboration spaces and interactions. A workplace built on the traditions of equity and entrepreneurialism reminiscent of Ballarat's history.

The Regeneration is treated as a civic space that celebrates coming together. It will inject hospitality, retail, hotel, leisure and workplace uses into the precinct that seeks to create its own gravity to compel people to visit, stay, engage with and enjoy what past, present and future Ballarat has to offer.

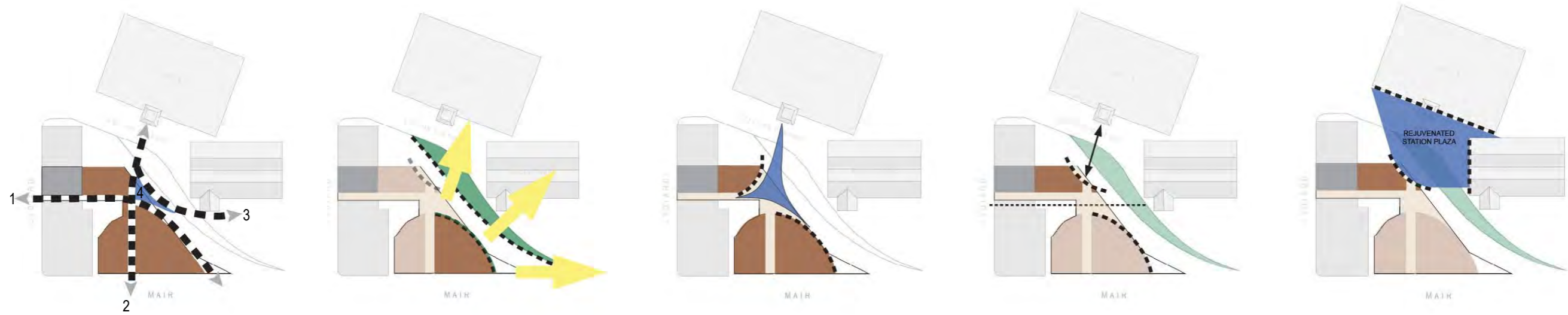
Mediating several disparate levels, it will create an easily accessible tiered public space that is simultaneously nuanced and intimate, yet flexible and performative. Locally sourced metals and masonry materials adorn the façade, and are teamed with varying opacities of high performance glazing and integrated photovoltaic panels. The building fabric enables views out to the rich landscape and mountains beyond, provides comfort to its users, and draws solar energy to fuel the precinct renewably.

Ambitious Environmental Design standards have been set, a NABERS Rating of 5 for the Hotel and 5.5 for the Workplace, and 4 star Green Star Buildings Rating, in tandem with Carbon Neutral Certification, Fossil Fuel Free, and beautiful, natural timber feature structural components to complement these ambitions. It puts the environment on the agenda as a priority for the future of Ballarat.

Drawing users in, through and around the Regeneration, Ballaarat Gateway is a place of inclusion, equity, engagement and inspiration. It draws on design elements of the industrial mining structures, the proportion, whimsy and wayfinding cues of Victorian era development, and the hues, reflections and storytelling of the native landscape and Traditional Owners, weaving these together to produce an Architecture that is complementary yet receding to the context, as well as engaging and inspiring for a place befitting of the shared future of Ballarat; a welcoming place of integrity, progress, and warmth.



2.04



A. CONNECTING TO THE CITY + CREATING FUTURE PUBLIC SPACE

B. RESPONDING TO EMBANKMENT + FUNNELING THROUGH

C. PUBLIC SPACE SHAPED BY THE PEDESTRIAN EXPERIENCE

D. RESPONDING TO THE STATION CLOCK TOWER + INVERSING THE CURVE

E. REJUVENATED PUBLIC SPACE

- NEW PUBLIC SPACE
- 1. LYDIARD ST TO COFFEE PALACE LANE
- 2. BALLARAT STATION TO BALLARAT CITY
- 3. BALLARAT STATION TO ENGINE SHED (FUTURE PUBLIC DEVELOPMENT)
- 4. INTERSECTION POINT - FUTURE CENTRAL MEETING POINT

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
BUILDING FORM

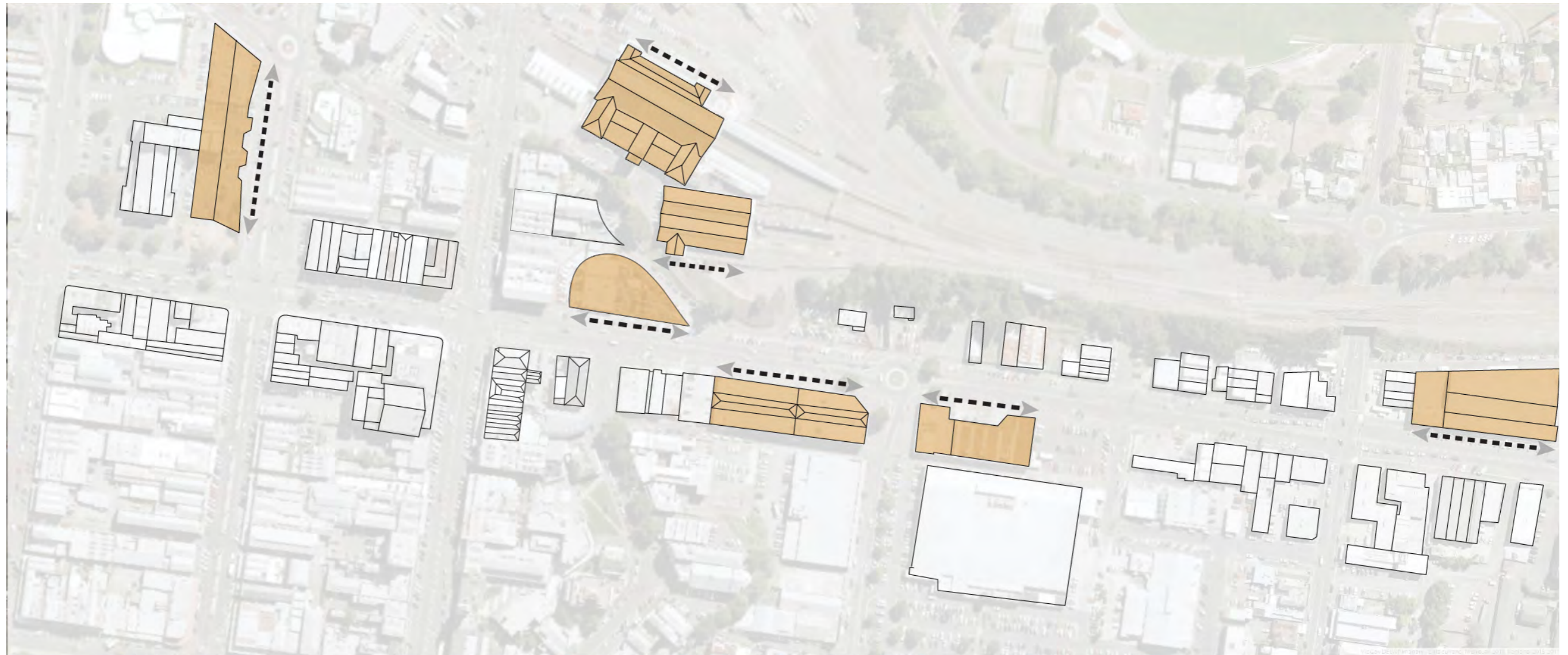
JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



2.05



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
MACRO CONTEXT SCALE

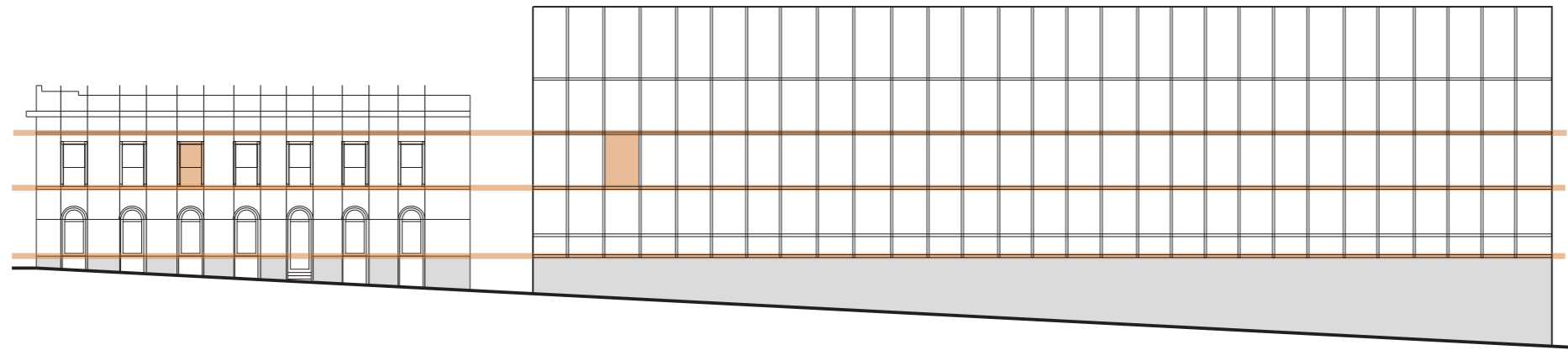
JOB NUMBER
12980

DATE
22/12/2022

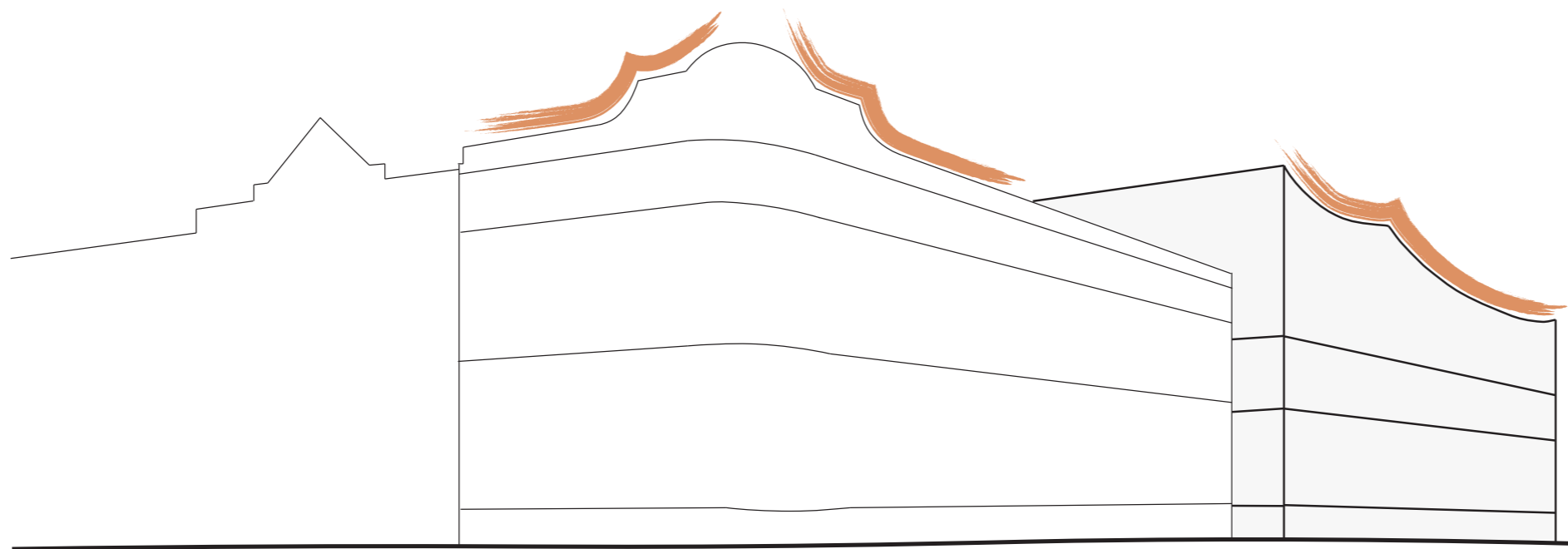
REVISION
1



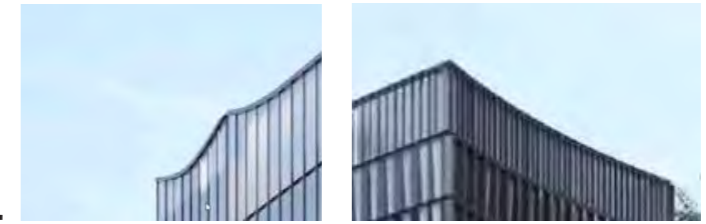
2.06



RELATIONSHIP TO OUR NEIGHBOUR
SCALE + PROPORTION



PEAKS + FALLS OF ROOF LINES
THE INFLUENCE OF HISTORY



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
BUILDING LANGUAGE

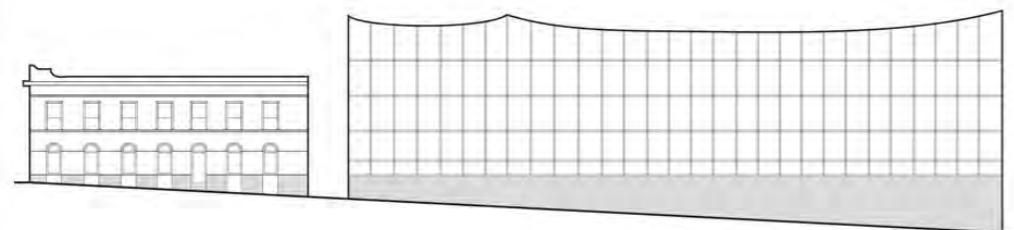
JOB NUMBER
12980

DATE
22/12/2022

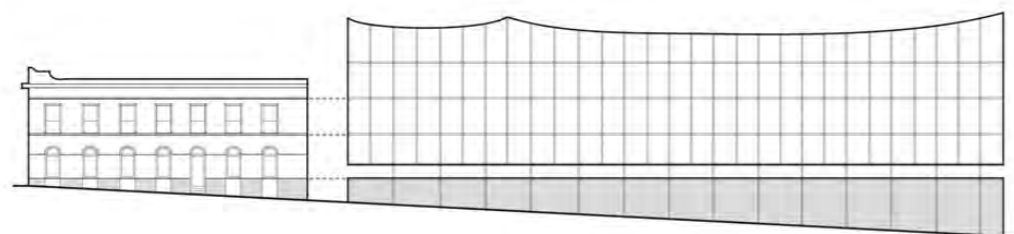
REVISION
1



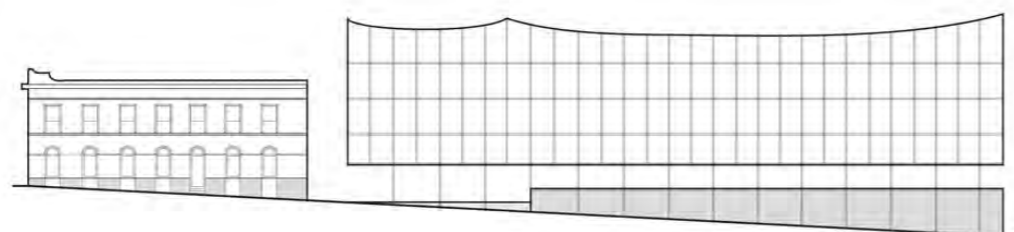
2.07



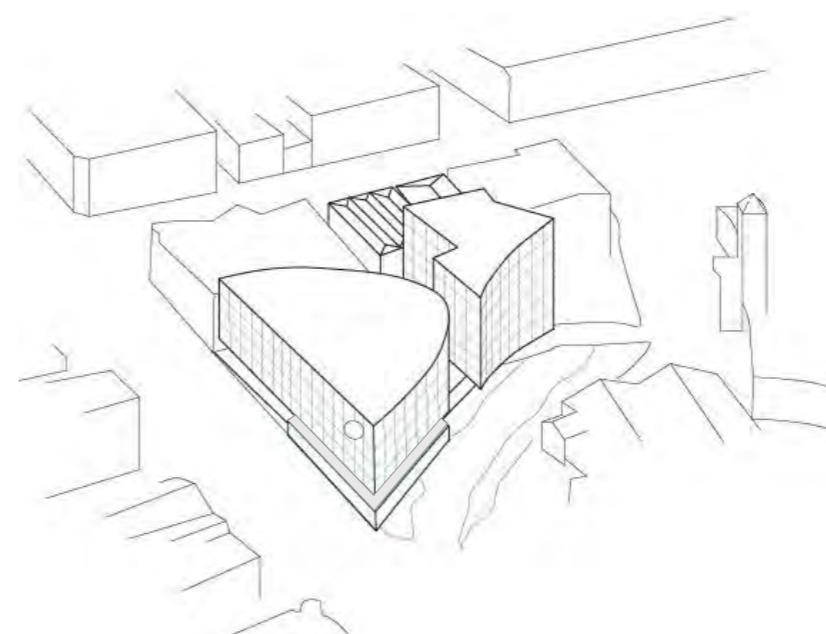
1. FORM + EARLY LANGUAGE
THE INFLUENCE OF HISTORY



2. FORM PROPORTION
THE INFLUENCE OF HISTORY



3. FORM HIERARCHY
THE INFLUENCE OF HISTORY



FORM IN PERSPECTIVE

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
BUILDING IN ELEVATION

JOB NUMBER
12980

DATE
22/12/2022

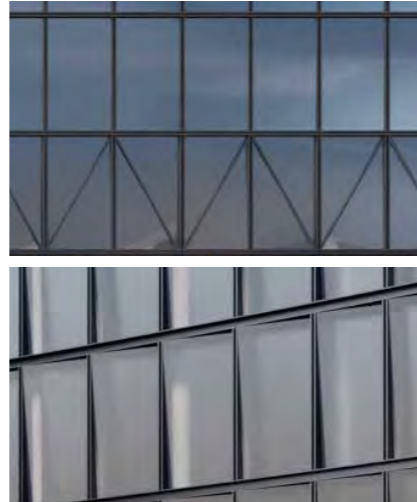
REVISION
1



2.08



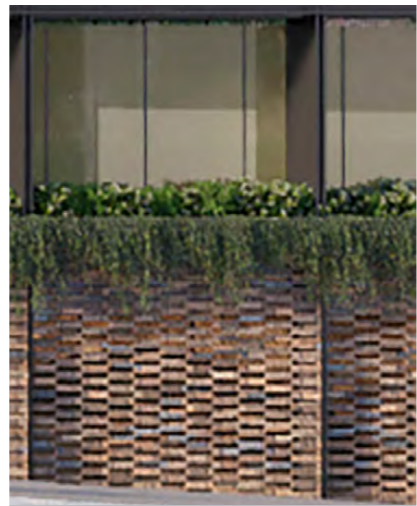
1. DIAGONAL DETAIL REFERENCES



+

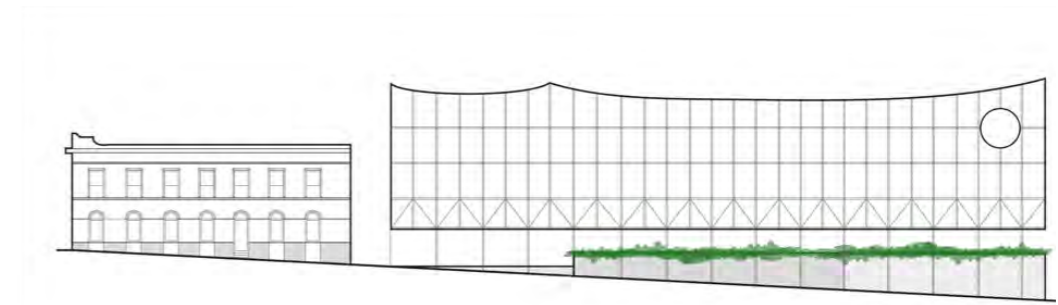


2. LANDSCAPE + NATURE DETAIL REFERENCES



+

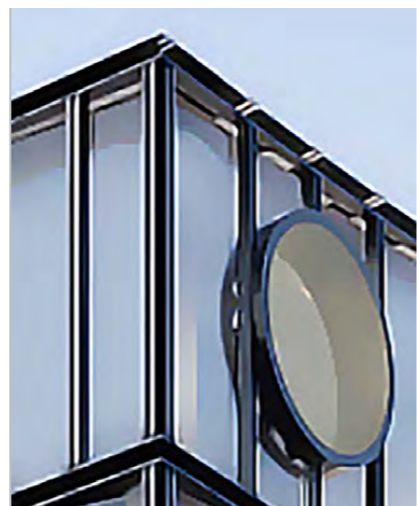
=



DIAGRAMMATIC ELEVATION



3. TIME DETAIL REFERENCES



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
BUILDING DETAILS

JOB NUMBER
12980

DATE
22/12/2022

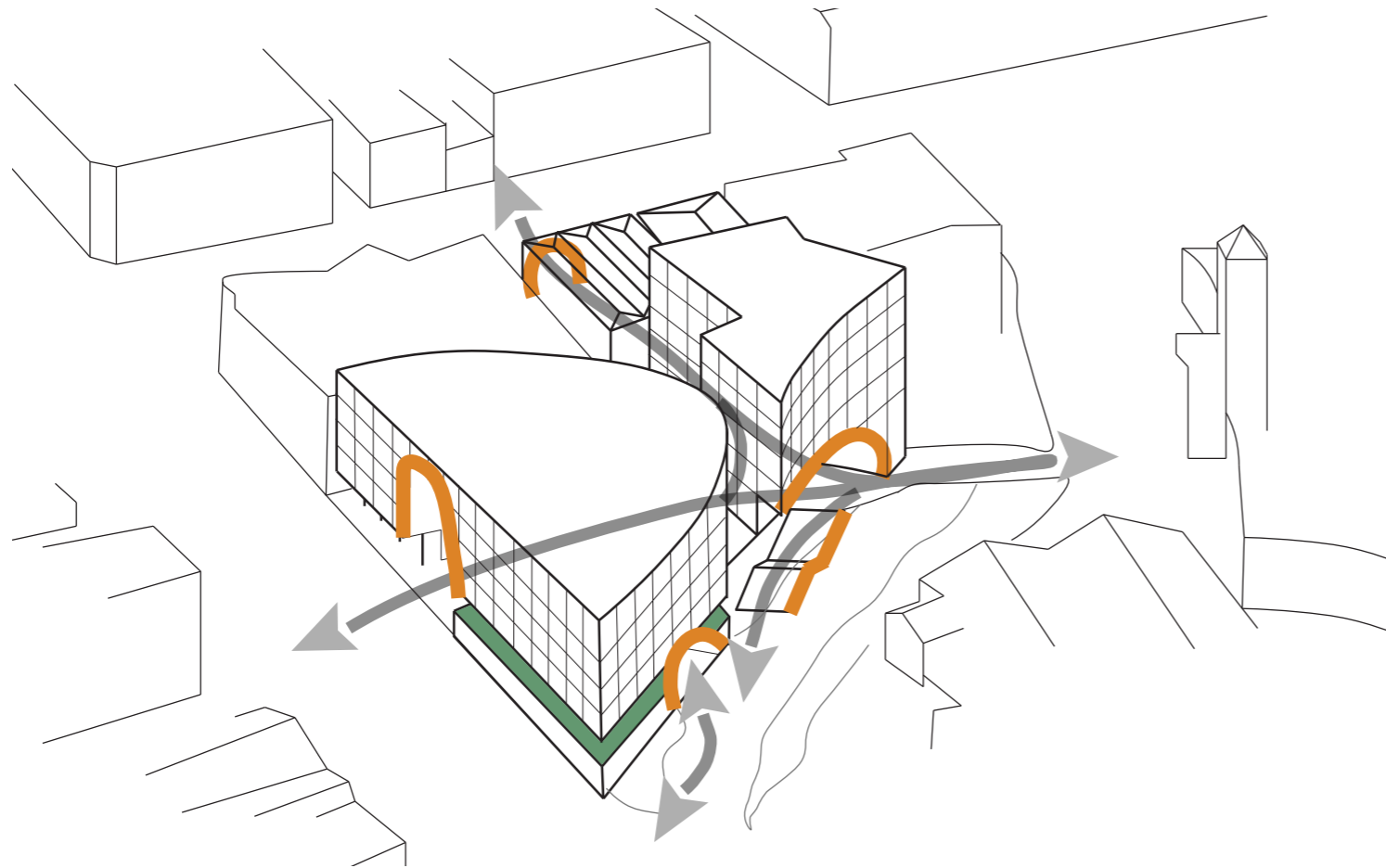
REVISION
1



2.09



GATEWAY DEVICES



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
GATEWAY DEVICE

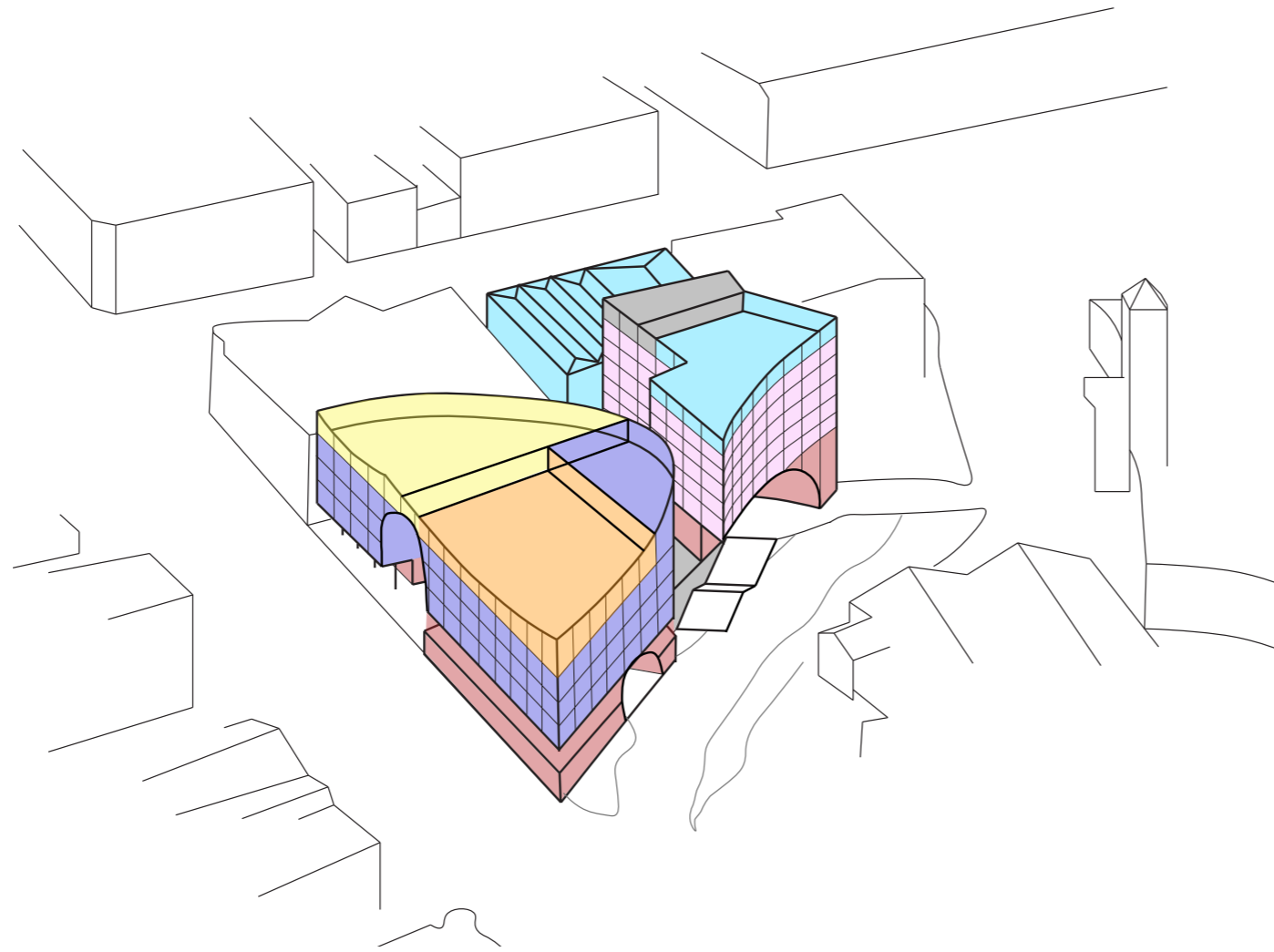
JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



2.10



LEGEND

- RETAIL / HOSPITALITY
- OFFICES
- CHILDCARE
- ROOFTOP TERRACE + HOSPITALITY
- HOTEL
- WELLNESS / HOSPITALITY
- SERVICES

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
BUILDING PROGRAM

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



VIEW FROM STATION SOUTH EXIT

2.12



SOUTHERN INTERFACE - MAIR ST

2.13



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SOUTHERN INTERFACE - MAIR ST

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



SOUTH EAST APPROACH

2.14



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SOUTH EAST APPROACH - MAIR ST

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



VIEW FROM COFFEE PALACE LANE

2.15



NOTE:
BRIDGE SUBJECT TO A SEPARATE
PLANNING APPLICATION, IN
CONSULTATION WITH STAKEHOLDERS

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
VIEW FROM COFFEE PALACE LANE

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1

plus
architecture

SKYLINE STUDY - 'LINEAR VIEW 5'

2.16



STATION SOUTH APPROACH

2.17



VIEW FROM LYDIARD STREET NORTH 2.18



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
VIEW FROM LYDIARD STREET NORTH

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



SKYLINE STUDY - 'PANORAMIC VIEW 5' 2.19



PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
SKYLINE STUDY - 'PANORAMIC VIEW 5'

JOB NUMBER
12980

DATE
22/12/2022

REVISION
1



3

DEVELOPMENT SCHEDULE

3.01

Date 5/05/2022

SITE A 116-122 LYDIARD ST NORTH	HOTEL				TOTAL ROOMS/FLOOR	CIRCULATION & SERVICES Area	HOSPITALITY/ RETAIL Area	WELLNESS/ CONFERENCE Area	-	CARPARK		TERRACE Area	AREA PER LEVEL (EXCLUDING BALCONIES)		FLOOR EFFICIENCY (EX CARS & BALCONIES) %
	Area	MIX								NO	Area		NLA	GFA	
		STANDARD	KING	DDA											
Lower Ground					0	624	198	533		59		731	1414	53.95%	
Mezzanine					0	242		140				140	382	36.65%	
Upper Ground	75	3			3	681	504	28			317	607	1288	47.13%	
Level 01	75	3			3	193		515			0	590	783	75.35%	
Level 02	529	17	2	1	20	163					0	529	692	76.45%	
Level 03	529	17	2	1	20	163					0	529	692	76.45%	
Level 04	529	17	2	1	20	163					0	529	692	76.45%	
Level 05	533	14	4	1	19	162					0	533	695	76.69%	
Level 06	533	14	4	1	19	162					0	533	695	76.69%	
Roof					0	247	133	60			255	193	440	43.86%	
Totals	2803	85	14	5	104	2800	835	1276	0	0	59	572	4381	7078	
										m2/cp	-				

SITE B 8-10 MAIR ST	-				ROOMS/FLOOR	CIRCULATION, SERVICES Area	HOSPITALITY/ RETAIL/ Area	COMMERCIAL Area	CHILDCARE Area	CARPARK		TERRACE Area	AREA PER LEVEL		EFFICIENCY (EX CARS & BALCONIES) %
	Area	MIX								NO	Area		NLA	GFA	
		-	-	-											
Basement 01					0	744				65	2153		0	2897	0.00%
Lower Ground					0	540	405			22	892		405	1837	42.86%
Mezzanine					0	490				21	808		0	1298	0.00%
Upper Ground					0	580		1221					1221	1801	67.80%
Level 01					0	254		1351					1351	1605	84.17%
Level 02					0	242		1429					1429	1671	85.52%
Level 03					0	242		1429					1429	1671	85.52%
Level 04					0	254	136	231	819		312	1186	1440	82.36%	
Level 05					0	754						0	754	0.00%	
Roof					0										-
Totals	0	0	0	0	0	4100	541	5661	819	108	3853	312	7021	14974	
										m2/cp	35.7				

BIKE PARKING	HOTEL STAFF	RETAIL STAFF	VISITORS	OFFICE STAFF
	16	15	25	85
TOTAL BIKES	141			

PROJECT
116-122 LYDIARD ST N & 8-10 MAIR ST, BALLARAT

DRAWING
DEVELOPMENT SCHEDULE

JOB NUMBER
12980

DATE
22/12/2022



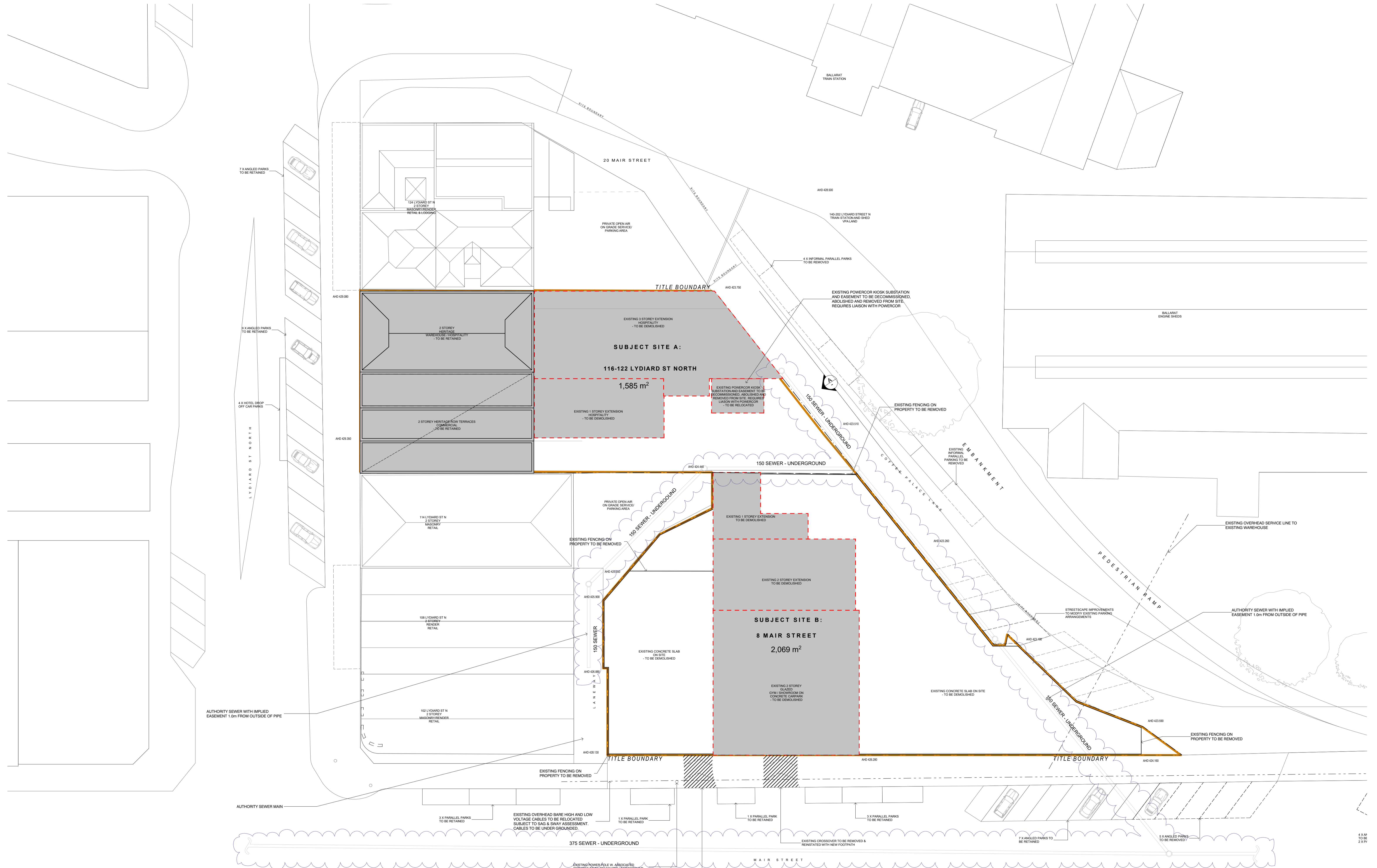
4

ARCHITECTURALS

DRAWING SCHEDULE

GENERAL FLOOR PLANS:		TP099-TP110
BASEMENT 01 FLOOR PLAN	1:200	TP099
BASEMENT 01 FLOOR PLAN - ZONE 1	1:100	TP099-Z1
BASEMENT 01 FLOOR PLAN - ZONE 2	1:100	TP099-Z2
LOWER GROUND FLOOR PLAN	1:200	TP100
LOWER GROUND FLOOR PLAN - ZONE 1	1:100	TP100-Z1
LOWER GROUND FLOOR PLAN - ZONE 2	1:100	TP100-Z2
MEZZANINE FLOOR PLAN	1:200	TP101
MEZZANINE FLOOR PLAN - ZONE 1	1:100	TP101-Z1
MEZZANINE FLOOR PLAN - ZONE 2	1:100	TP101-Z2
UPPER GROUND FLOOR PLAN	1:200	TP102
UPPER GROUND FLOOR PLAN - ZONE 1	1:100	TP102-Z1
UPPER GROUND FLOOR PLAN - ZONE 2	1:100	TP102-Z2
LEVEL 01 FLOOR PLAN	1:200	TP103
LEVEL 01 FLOOR PLAN - ZONE 1	1:100	TP103-Z1
LEVEL 01 FLOOR PLAN - ZONE 2	1:100	TP103-Z2
LEVEL 02 FLOOR PLAN	1:200	TP104
LEVEL 02 FLOOR PLAN - ZONE 1	1:100	TP104-Z1
LEVEL 02 FLOOR PLAN - ZONE 2	1:100	TP104-Z2
LEVEL 03 FLOOR PLAN	1:200	TP105
LEVEL 03 FLOOR PLAN - ZONE 1	1:100	TP105-Z1
LEVEL 03 FLOOR PLAN - ZONE 2	1:100	TP105-Z2
LEVEL 04 FLOOR PLAN	1:200	TP106
LEVEL 04 FLOOR PLAN - ZONE 1	1:100	TP106-Z1
LEVEL 04 FLOOR PLAN - ZONE 2	1:100	TP106-Z2

GENERAL FLOOR PLANS:		TP099-TP110
LEVEL 05 FLOOR PLAN	1:200	TP107
LEVEL 05 FLOOR PLAN - ZONE 1	1:100	TP107-Z1
LEVEL 05 FLOOR PLAN - ZONE 2	1:100	TP107-Z2
LEVEL 06 FLOOR PLAN	1:200	TP108
LEVEL 07 FLOOR PLAN	1:100	TP109
ROOF PLAN	1:100	TP110
ELEVATIONS / SECTIONS:		TP200-TP214
ELEVATIONS		
ELEVATION EAST - ZONE 1	1:100	TP200
ELEVATION EAST - ZONE 2	1:100	TP201
ELEVATION SOUTH - ZONE 1	1:100	TP202
ELEVATION SOUTH - ZONE 2	1:200	TP203
ELEVATION WEST - ZONE 1	1:100	TP204
ELEVATION WEST - ZONE 2	1:100	TP205
ELEVATION NORTH - ZONE 1	1:100	TP206
ELEVATION NORTH - ZONE 2	1:100	TP207
SECTIONS		
SECTION A-A - ZONE 1	1:100	TP210
SECTION A-A - ZONE 2	1:100	TP211
SECTION B-B - ZONE 1	1:100	TP212
SECTION C-C - ZONE 1 & 2	1:200	TP213
SECTION D-D - ZONE 2	1:100	TP214



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RFP#	MATTHEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRSB	<input type="checkbox"/> SVRCE FAWORTH	<input type="checkbox"/> ANH RESOURCES	<input type="checkbox"/> WSP	<input type="checkbox"/> ESTP	
	T 00 9617 8944	T 00 9303 4299	T 00 9626 8790	T 01 427 044 24	



PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
EXISTING SITE

SCALE
1:200 @B1

DATE
18/12/2022

DRAWN
NAG

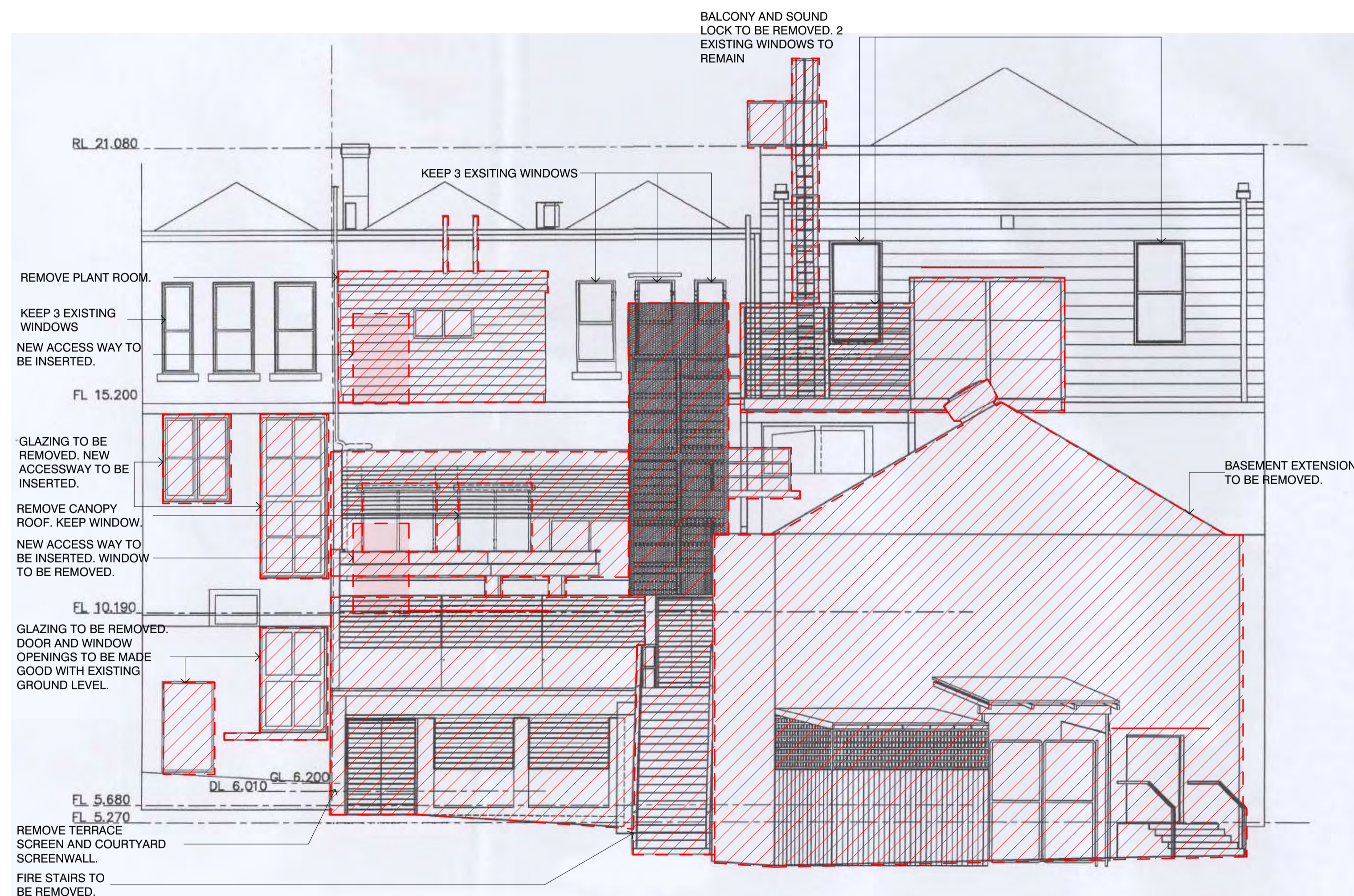
JOB NO.
12980

DRAWING NO.
TP095

REVISION
1

TOWN PLANNING

DATE	REVISION	BY	CHK	NO.
18/12/2022	1	NAG	NAG	1



A HERITAGE DEMOLITION ELEVATION TO BE DEMOLISHED



B LYDIARD ST NORTH HERITAGE ALTERATION ELEVATION

DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#	MARSEN	NAG	1					

CONSULTANTS	NAME	PHONE
TOWN PLANNER	URBS	1 00 9617 8144
HERITAGE	BRUCE HAWORTH	1 00 9323 4299
EBD	ANK RESOURCES	1 00 9636 8396
SERVICES	WSP	1 00 9622 8790
TRAFFIC	ESTP	T +61 427 044 324

NIGRO GROUP.

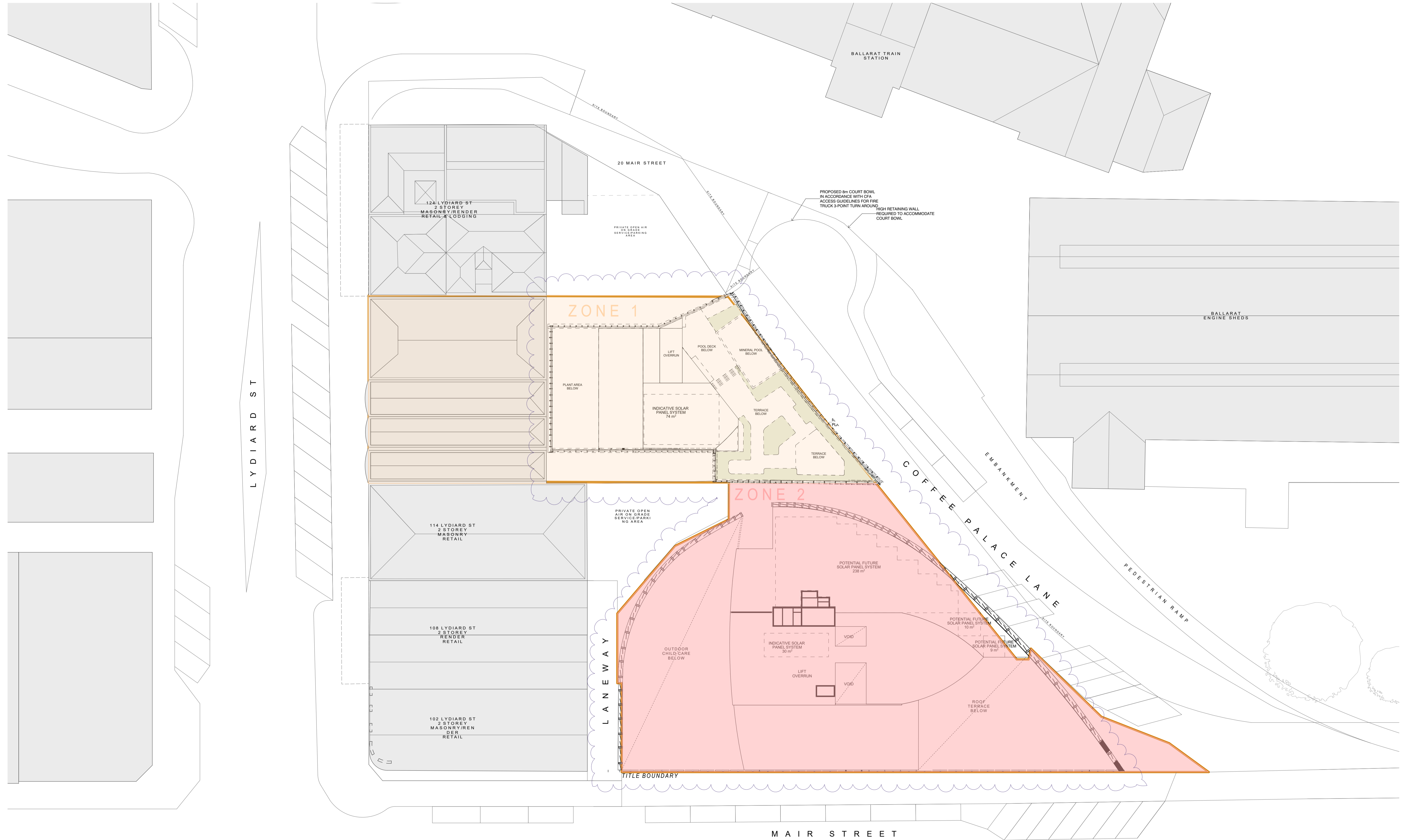
Level 6, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
Ph: 03 9438 9999
ACN 601392214

Melbourne
Christchurch
Sydney
Perth
Auckland

441 1846 3999
nigro@nigrogroup.com.au
www.nigrogroup.com.au

PROJECT 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350	DRAWING TITLE EXISTING HERITAGE ELEVATIONS
---	--

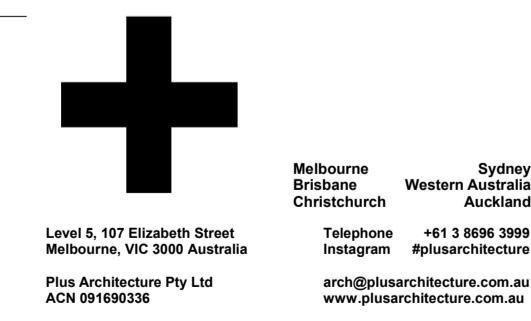
TOWN PLANNING			
SCALE 1:60.67 @B1	PLOT DATE 18/12/2022	CHECKED NAG	REVISION 1
DATE 18/12/2022	DRAWN NAG	DRAWING NO. TP096	
JOB NO. 12980			



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RPT	MATSEW	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	BY	CHK	NO.
TOWN PLANNER	<input type="checkbox"/> VIBS		T 01 9617 8144
HERITAGE	<input type="checkbox"/> BRUCE HAWORTH		T 01 9623 4299
RBD	<input type="checkbox"/> ANH RESOURCES		T 01 9626 8296
SERVICES	<input type="checkbox"/> WSP		T 01 9622 8790
TRAFFIC	<input type="checkbox"/> ESTP		T 01 427 046 234

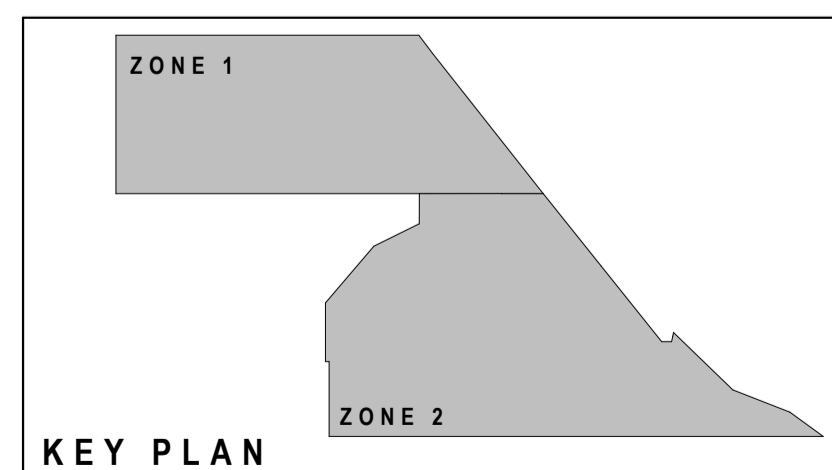
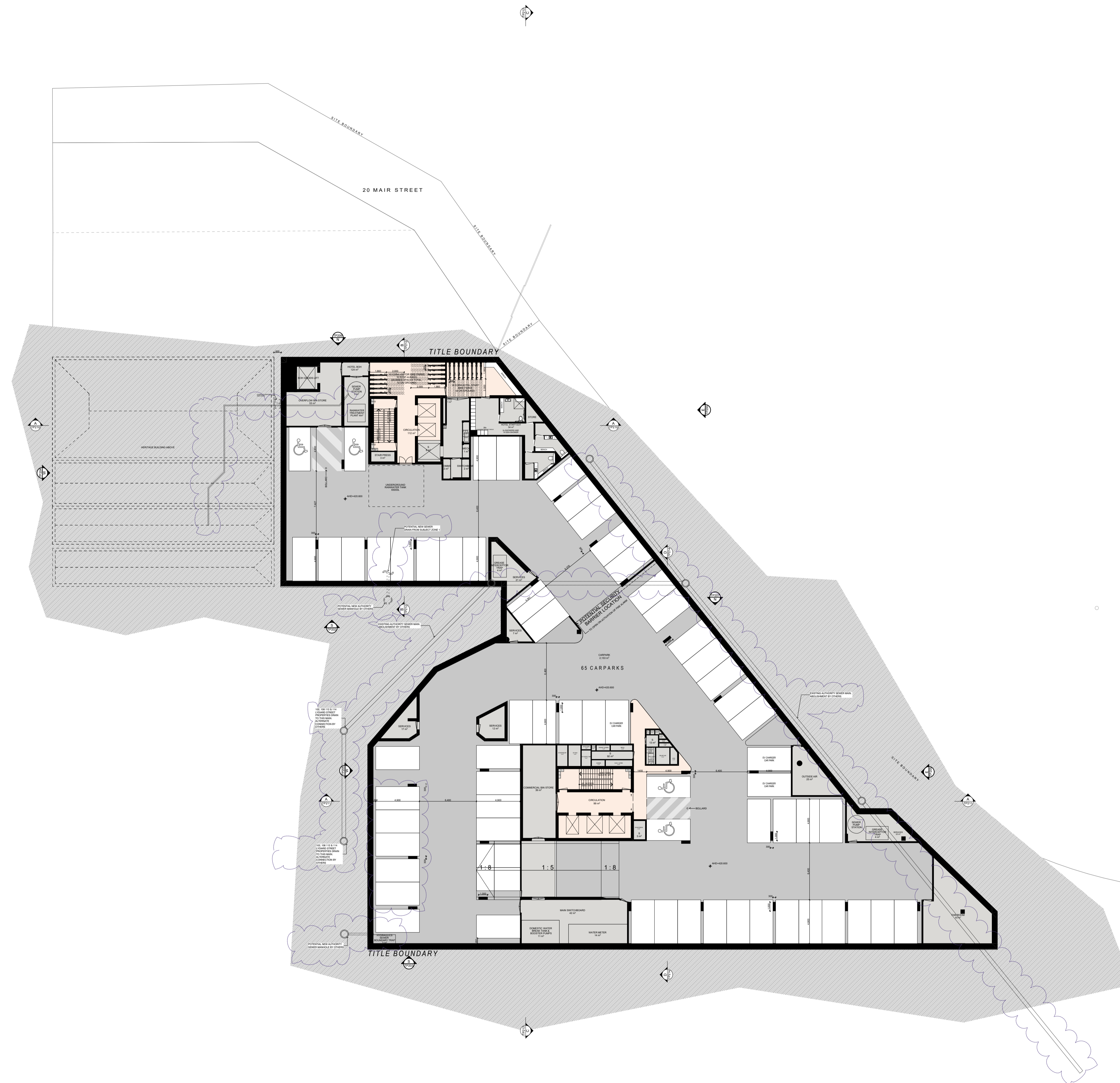


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
PROPOSED SITE PLAN

I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief.

TOWN PLANNING			
SCALE	1:200 @B1	DRAWING TITLE	PROPOSED SITE PLAN
DATE	18/12/2021	PLOT DATE	20/10/2022
DRAWN	NAG	CHECKED	NAG
JOB NO.	12980	DRAWING NO.	TP097
		REVISION	1



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RP#s	MARSEEN	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	NAME	PHONE
TOWN PLANNER	<input type="checkbox"/> VIBES	T 03 9617 8544
HERITAGE	<input type="checkbox"/> BRUCE FAWCOTT	T 03 9323 4299
RKD	<input type="checkbox"/> ANK RESOURCES	T 03 9636 8396
SERVICES	<input type="checkbox"/> WSP	T 03 9422 8790
TRAFFIC	<input type="checkbox"/> ESTP	T 01 427 044 324

+

Level 6, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
Ph: 03 9439 9999
ACN 601892214

+

Melbourne
Christchurch
Auckland

441 1846 3999
Instagram @jpasarchitectures
www.jpasarchitectures.com.au
www.jpasarchitectures.com.au

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

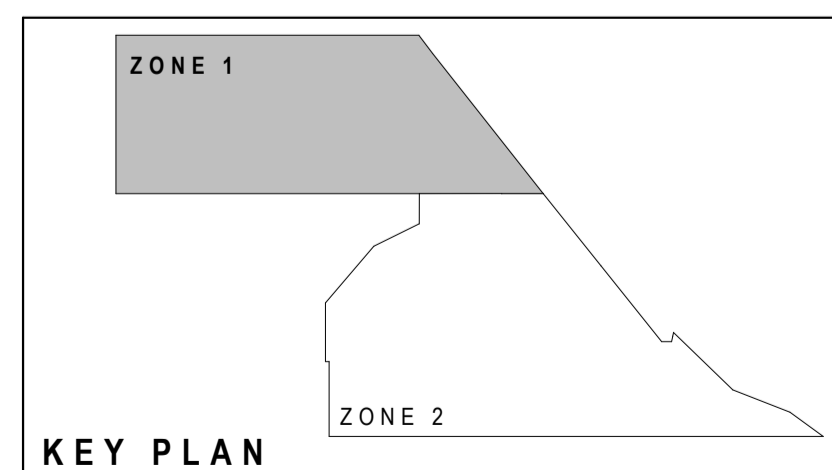
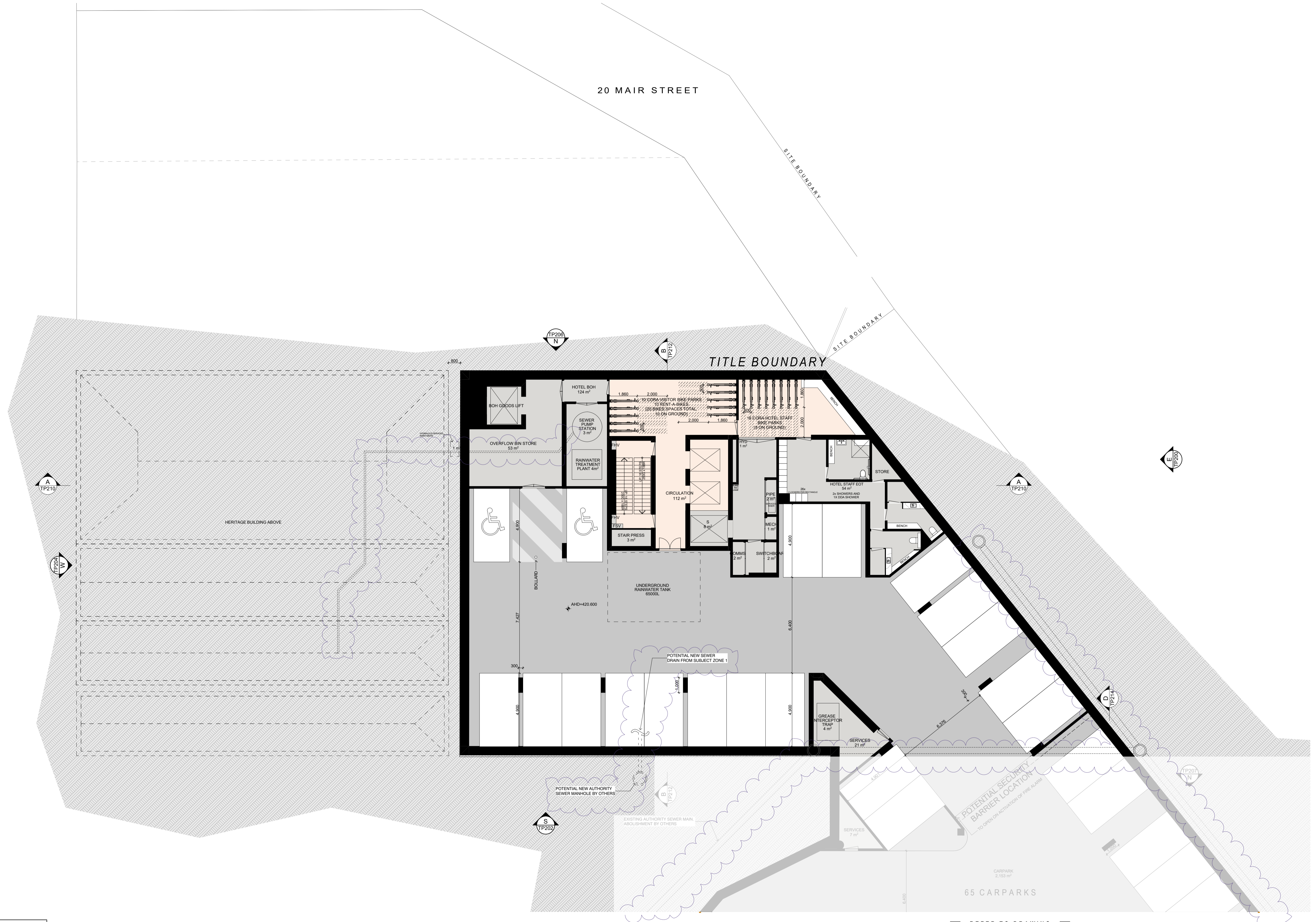
DRAWING TITLE
BASEMENT 01

Scale: 1:200 @B1

DATE: 18/12/2022
DRAWN: NAG
JOB NO.: 12980

PLOT DATE: 22/10/2023
CHECKED: NAG
DRAWING NO.: TP099

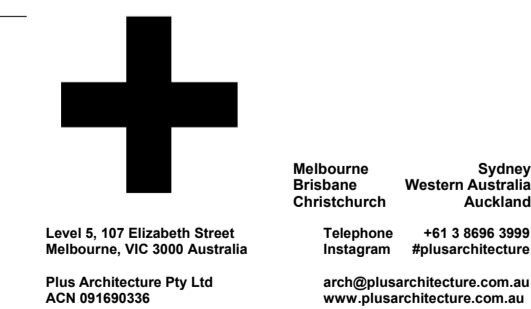
REVISION: 1



DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RPT	MAWSEW	NAG	1

DATE	REVISION	BY	CHK.	NO.

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	<input type="checkbox"/> SVRCE MAWORTH	<input type="checkbox"/> ANK RESOURCES	<input type="checkbox"/> YSP	<input type="checkbox"/> ESTP	

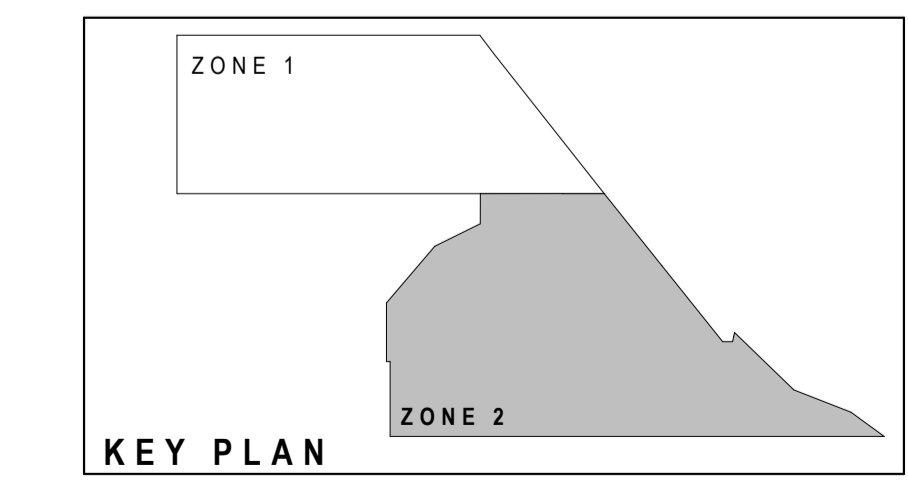
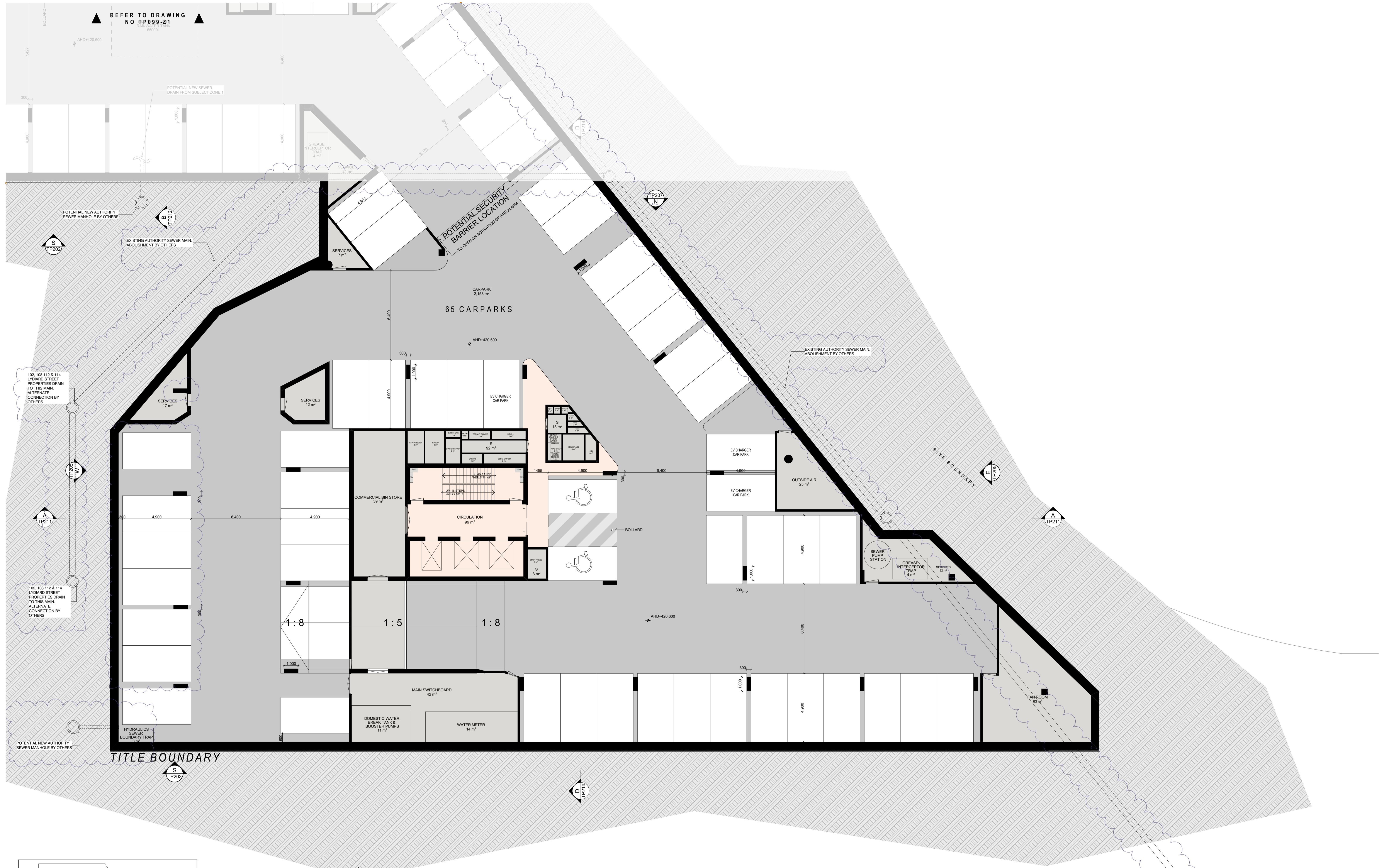


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
BASEMENT 01 - ZONE 1

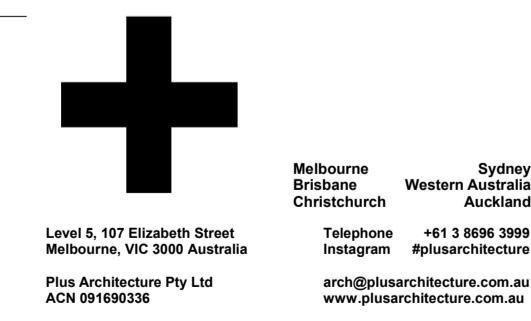
TOWN PLANNING	
SCALE 1:100 @B1	DRAWING TITLE BASEMENT 01 - ZONE 1
DATE 18/12/2021	PLOT DATE 20/06/2022
DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP099-Z1
	REVISION 1

REFER TO DRAWING NO TP099-Z2



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPN	MAWSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	1 00 9617 8544
HERITAGE	<input type="checkbox"/>	BYRCE HAWORTH	1 00 9620 4299
RBD	<input type="checkbox"/>	ANW RESOURCES	1 00 9620 8396
SERVICES	<input type="checkbox"/>	WSP	1 00 9622 8790
TRAFFIC	<input type="checkbox"/>	ESTP	1 01 427 044 234

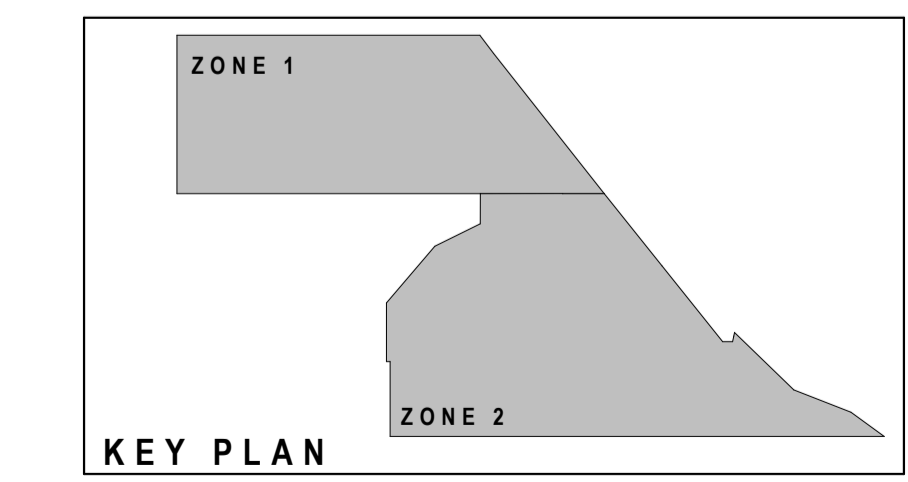
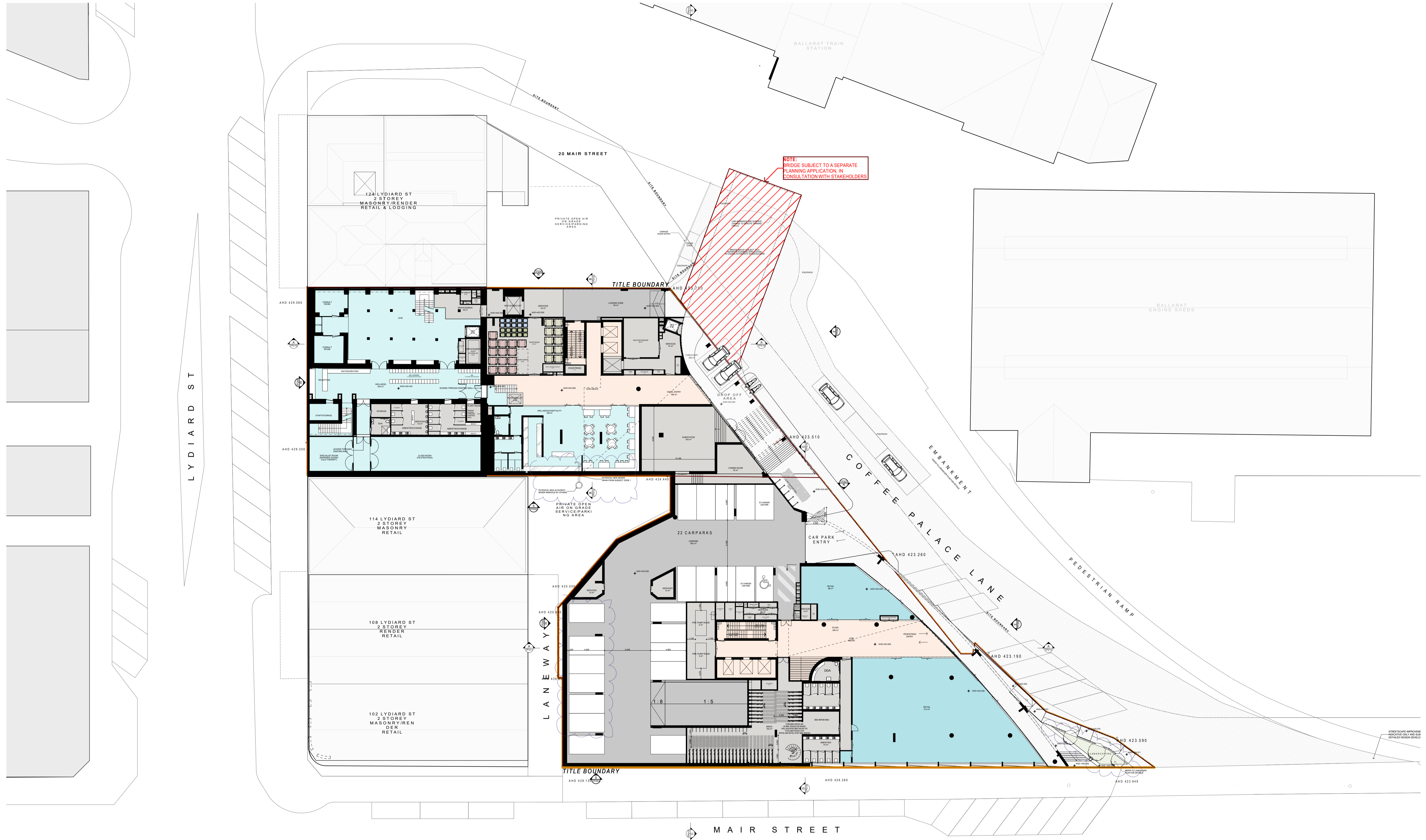


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
BASEMENT 01 - ZONE 2

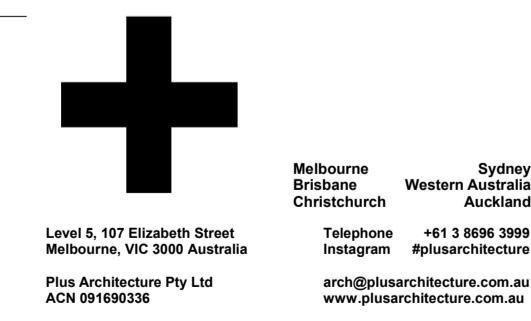
I warrant that during the term of this document the recipient agrees that (BBA) is the author of the content of this document and that (BBA) retains all intellectual property rights. The recipient agrees not to use this document for any purpose other than that intended and to advise (BBA) in writing of any changes to the content of this document. The recipient agrees to indemnify (BBA) for any loss or damage caused by the use of this document. The recipient agrees to indemnify (BBA) for any loss or damage caused by the use of this document. The recipient agrees to indemnify (BBA) for any loss or damage caused by the use of this document.

TOWN PLANNING			
SCALE	1:100 @B1	PLOT DATE	18/12/2022
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	REVISION	
JOB NO.	12980	DRAWING NO.	TP099-Z2
		REVISION	1



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#s	MATSEEN	NAG	1					

CONSULTANTS	TOUR PLANNER	HERITAGE	R&D	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 00 9617 8044	<input type="checkbox"/> BRUCE FAWCOTT	T 00 9620 4299	<input type="checkbox"/> ANK RESOURCES	T 00 9626 8286
<input type="checkbox"/> WSP	T 00 9622 8790	<input type="checkbox"/> ESTP	T 01 427 044 24		

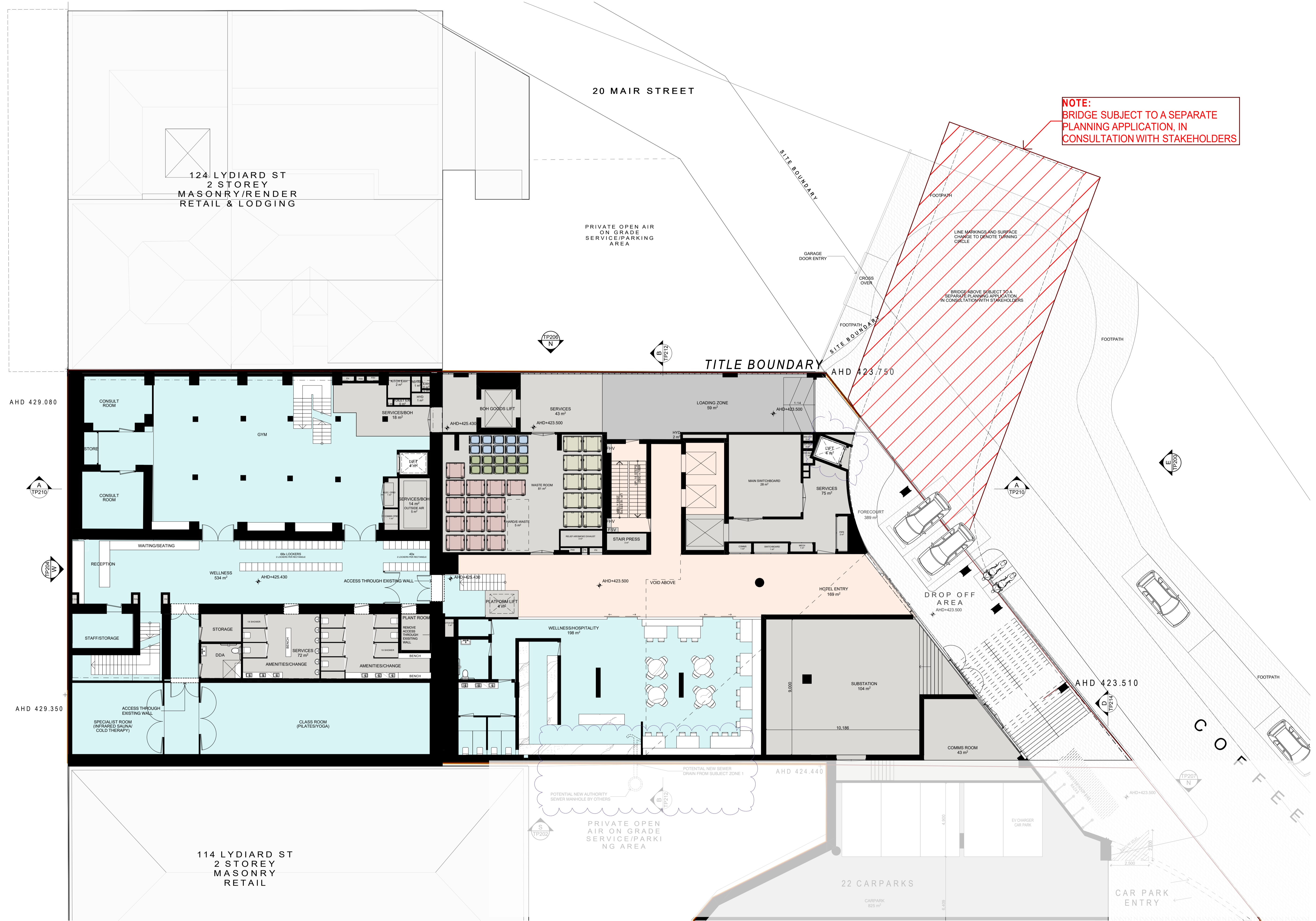


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

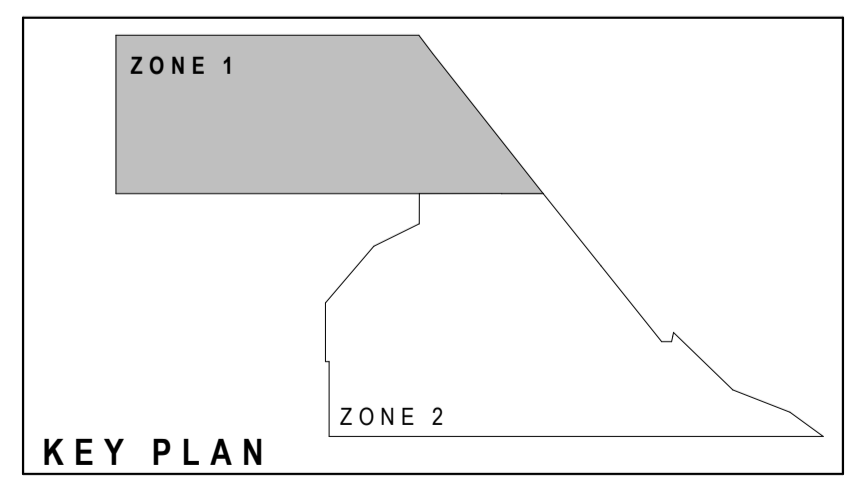
DRAWING TITLE
LOWER GROUND

I warrant and affirm that this document is correct to the best of my knowledge and belief. I warrant and affirm that I am not aware of any facts or circumstances which would render this document misleading or deceptive. I warrant and affirm that I have not been negligent in the preparation of this document. I warrant and affirm that I have not been negligent in the preparation of this document. I warrant and affirm that I have not been negligent in the preparation of this document.

TOWN PLANNING			
SCALE	1:200 @B1	PLOT DATE	18/12/2022
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	DRAWING NO.	TP100
JOB NO.	12980	REVISION	1



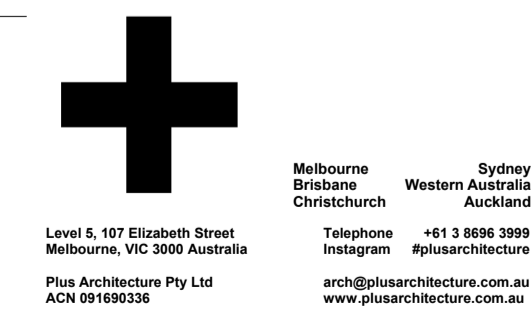
NOTE:
BRIDGE SUBJECT TO A SEPARATE
PLANNING APPLICATION, IN
CONSULTATION WITH STAKEHOLDERS



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP%	MATSEW	NAG	1					

CONSULTANTS	DATE	REVISION	BY	CHK	NO.
TOWN PLANNER					
HERITAGE					
ENV					
SERVICES					
TRAFFIC					

VRSB T 00 9617 8544
 SVRCE HAWORTH T 00 9323 4299
 ANK RESOURCES T 00 9636 8396
 WSP T 00 9422 8790
 ESTP T +61 427 044 24

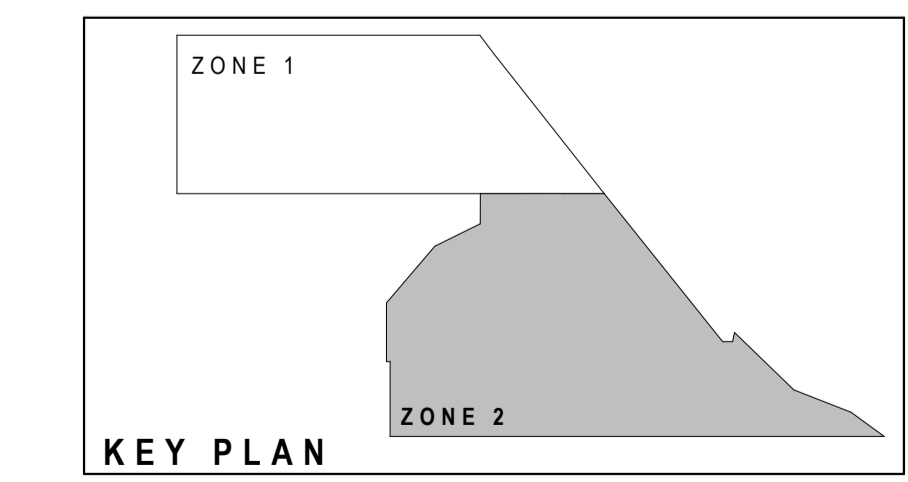
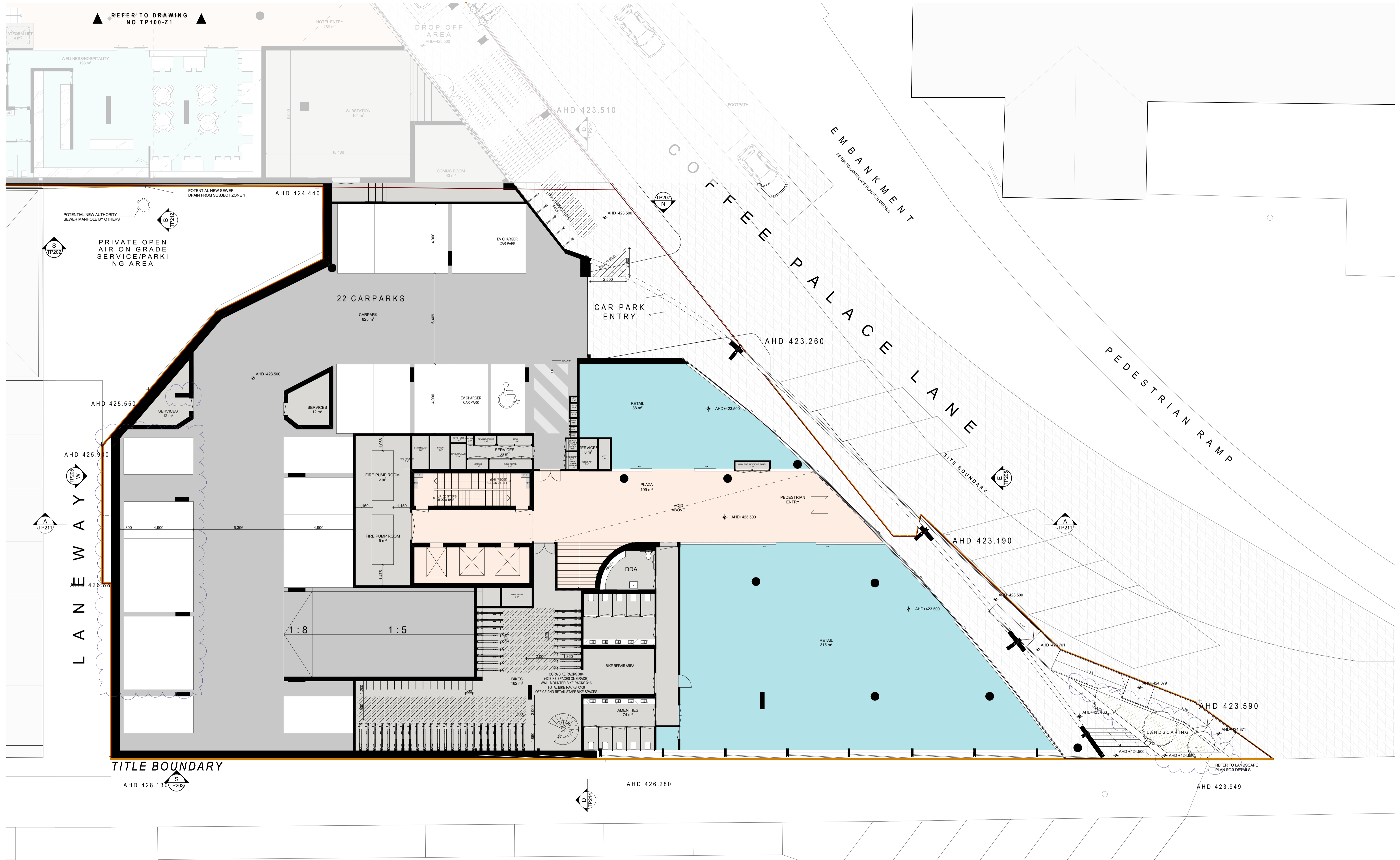


PROJECT
**116-122 LYDIARD ST
 N & 8-10 MAIR ST
 BALLARAT CENTRAL
 VIC 3350**

DRAWING TITLE
**LOWER GROUND - ZONE
 1**

TOWN PLANNING			
SCALE 1:100 @B1	DRAWING TITLE LOWER GROUND - ZONE 1	DATE 18/12/2022	PLANT DATE 20/10/2022
DRAWN NAG	CHECKED NAG	DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP100-Z1	REVISION 1	

REFER TO DRAWING NO TP100-Z2



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
29.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT#	NAG	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	T 00 9617 8944
HERITAGE	BYRCE HAWORTH		T 00 9603 4299
RBD	ANR RESOURCES		T 00 9606 8396
SERVICES	WSP		T 00 9422 8790
TRAFFIC	ESTP		T +61 427 044 244

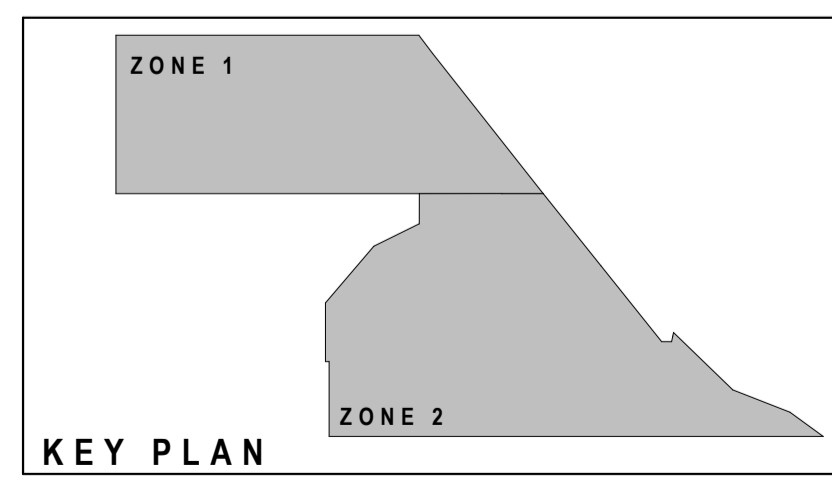
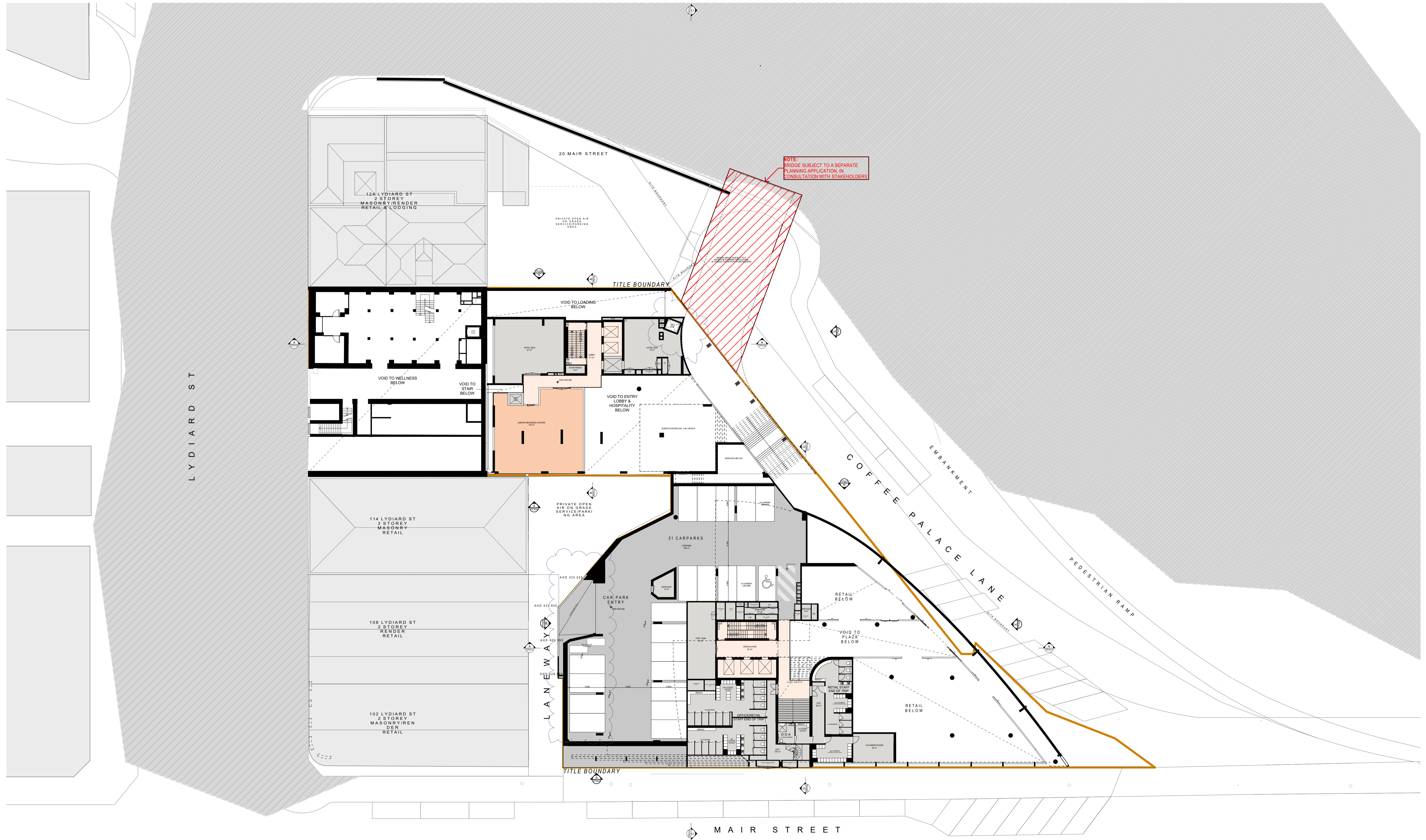


Level 6, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
Ph: 03 9422 8790
ACN 601828224

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

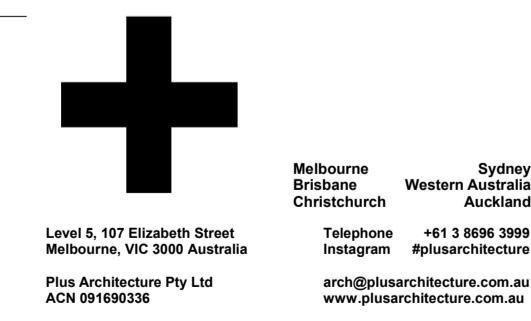
DRAWING TITLE
**LOWER GROUND - ZONE
2**

TOWN PLANNING			
SCALE 1:100 @B1	DATE 18/12/2022	PLOT DATE 18/12/2022	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP100-Z2	REVISION 1	



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#s	MATSEW	NAG	1					

CONSULTANTS	NAME	PHONE
TOWN PLANNER	URS	T 03 9617 8944
HERITAGE	SVCE FAWORTH	T 03 9323 4299
R&D	ANR RESOURCES	T 03 9636 8396
SERVICES	WSP	T 03 9622 8790
TRAFFIC	ESTP	T +61 427 044 324

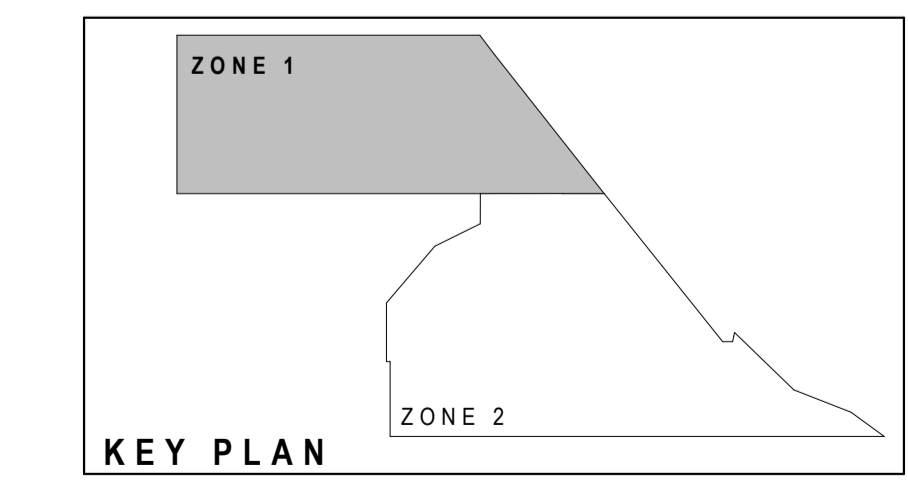
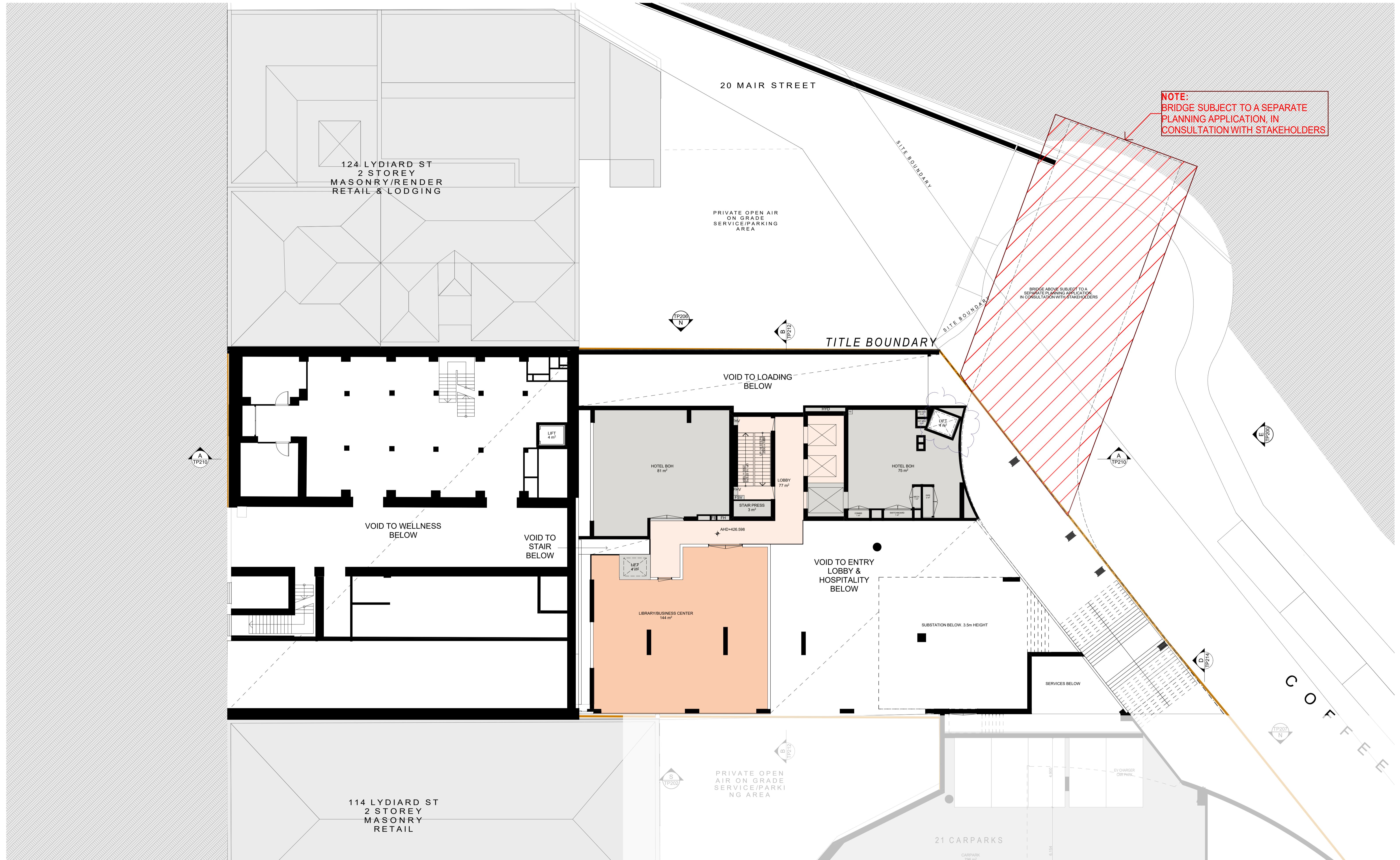


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
MEZZANINE

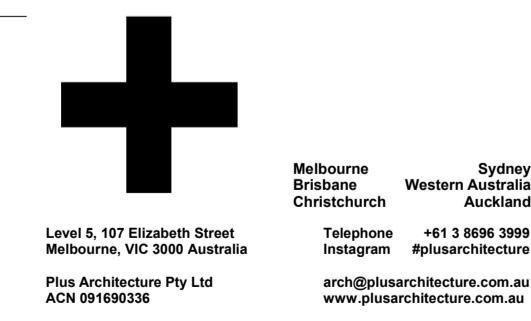
I warrant and affirm that this document is my original work and that I own the copyright and intellectual property rights. The recipient agrees not to use this document for any purpose other than that intended and to advise of changes against their liability. This document is confidential and its use for any other purpose without the prior written consent of Plus Architecture Pty Ltd is prohibited. This document is for the recipient's use only and is not to be distributed to any other person without the prior written consent of Plus Architecture Pty Ltd. The recipient shall be responsible for any loss or damage caused by the use of this document.

TOWN PLANNING			
SCALE	1:200 @B1	PLOT DATE	
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	DRAWING NO.	TP101
JOB NO.	12980	REVISION	1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT%	MARSEEN	NAG	1					

CONSULTANTS	NAME	PHONE
TOWN PLANNER	VRBS	T 03 9617 8144
HERITAGE	BRUCE HAWORTH	T 03 9323 4299
RBD	ANR RESOURCES	T 03 9636 8396
SERVICES	WSP	T 03 9422 8700
TRAFFIC	ESTP	T +61 427 044 324

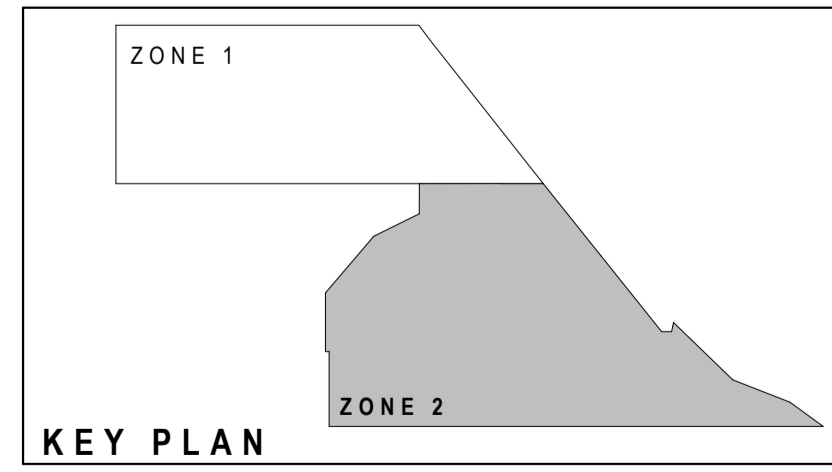
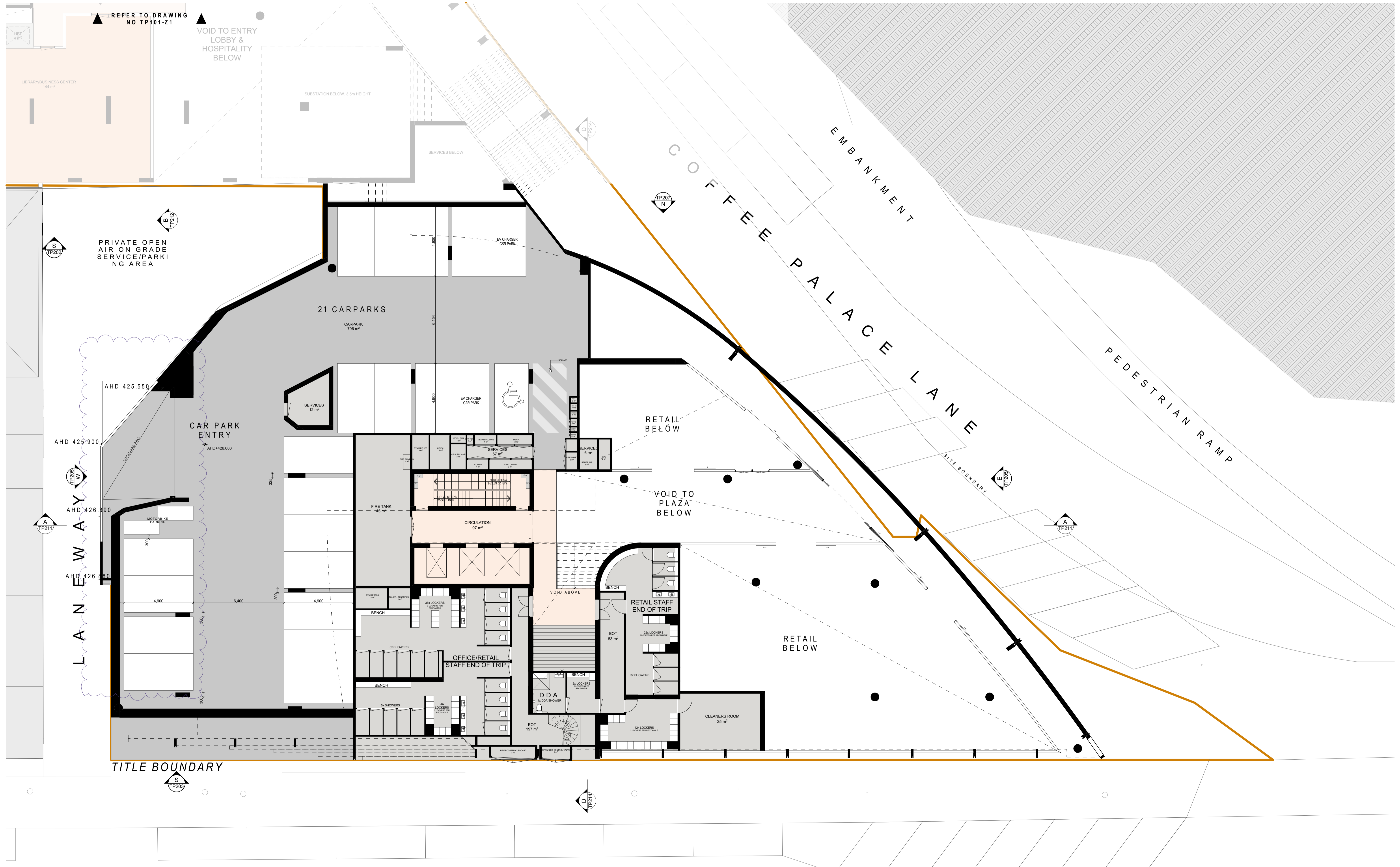


PROJECT: 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350

DRAWING TITLE: MEZZANINE - ZONE 1

1. This document is being issued as a preliminary design and is not intended to be used for construction. It is subject to change without notice. The client agrees to use this document for any purpose other than that intended and to indemnify the architect from all claims, damages, costs and expenses, including reasonable legal costs, arising from any use of this document for any purpose other than that intended. The architect shall not be responsible for any errors or omissions in this document. The client shall be responsible for providing all necessary information and data for the preparation of this document. The architect shall not be responsible for any errors or omissions in this document. The client shall be responsible for providing all necessary information and data for the preparation of this document.

TOWN PLANNING			
SCALE: 1:100 @B1			
DATE: 18/12/2021	PLOT DATE: 20/10/2022		
DRAWN: NAG	CHECKED: NAG		
JOB NO. 12980	DRAWING NO. TP101-Z1	REVISION: 1	



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#	NAG	NAG	1					

CONSULTANTS	BY	CHK.	NO.
TOWN PLANNER			
HERITAGE			
ENV			
SERVICES			
TRAFFIC			

CONSULTANTS	CONTACT	PHONE
TOWN PLANNER	URS	T 03 9617 8944
HERITAGE	SHIRAZ FAWCETT	T 03 9323 4299
ENV	ANK RESOURCES	T 03 9636 8396
SERVICES	WSP	T 03 9422 8700
TRAFFIC	ESTP	T 01 427 044 324



Level 6, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
ACN 601823214

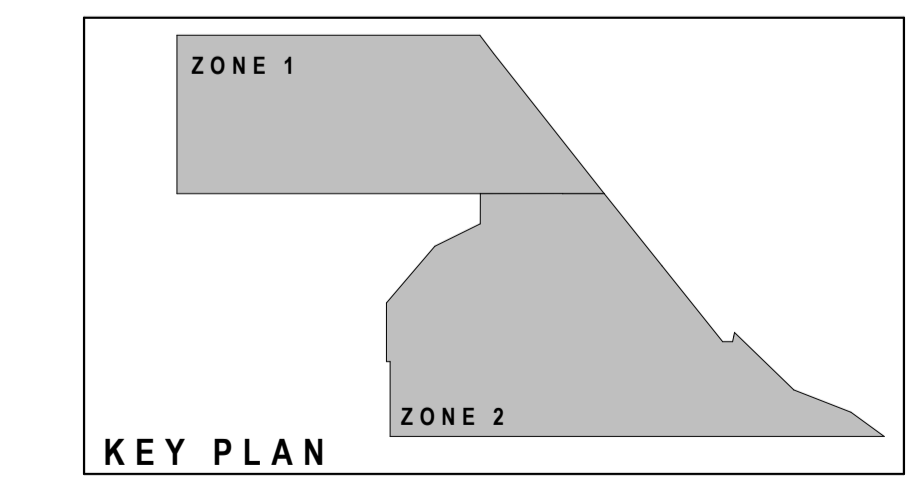
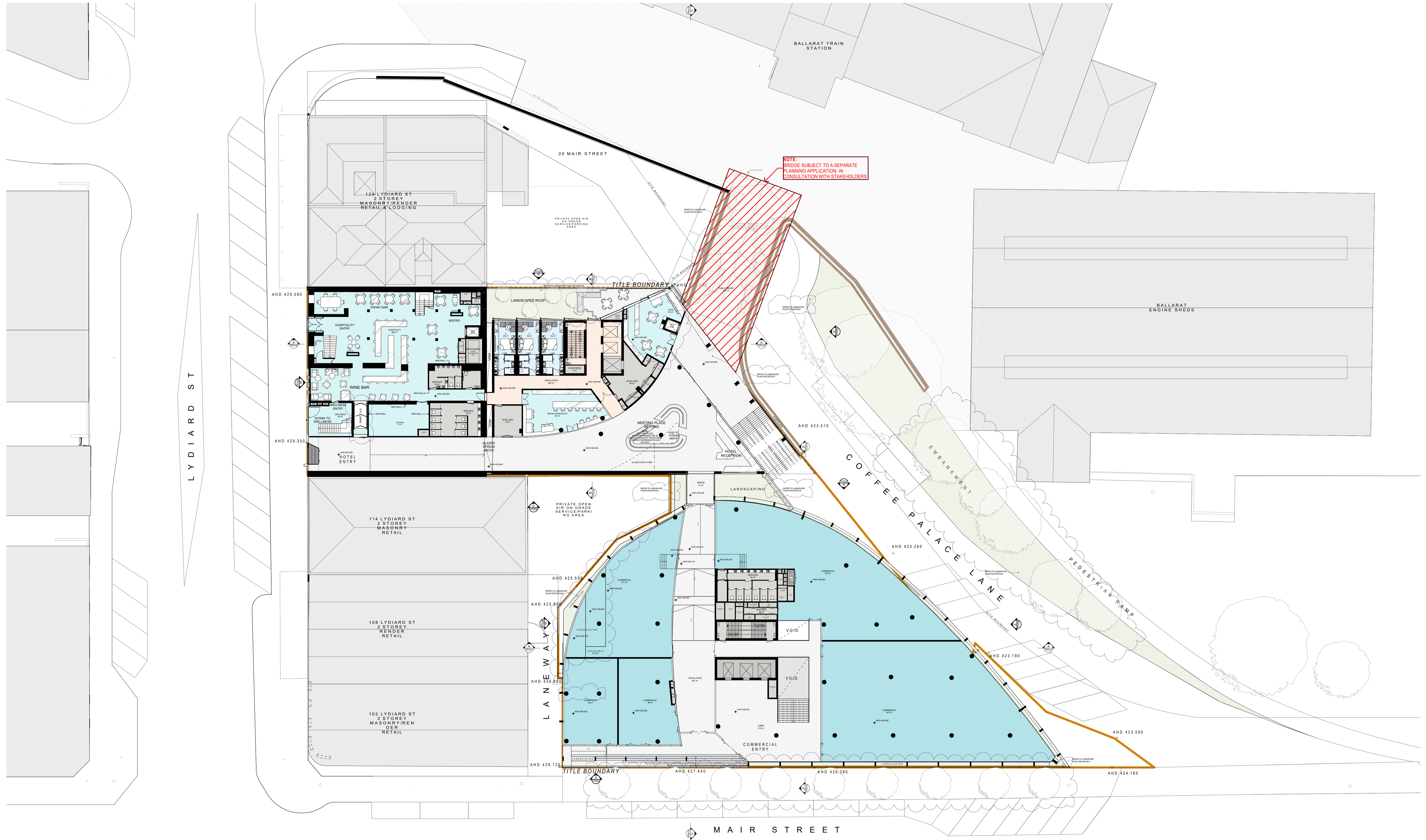
Telephone: +61 3 9496 3999
Instagram: @julesarchitectures
www.julesarchitectures.com.au
www.julesarchitectures.com.au

PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
MEZZANINE - ZONE 2

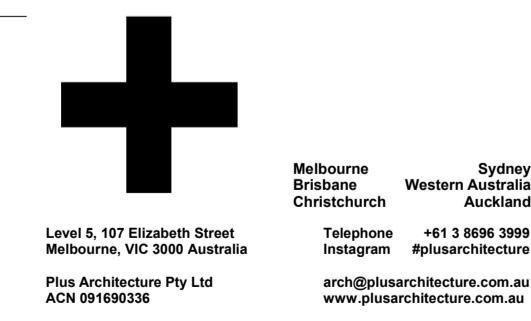
SCALE
1:100 @B1

DATE	PLLOT DATE
18/12/2021	18/12/2022
DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP101-Z2
	REVISION 1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT#	MATSEEN	NAG	2					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 01 9617 8544	<input type="checkbox"/> SVRCE FAWORTH	T 01 9323 4299	<input type="checkbox"/> ANH RESOURCES	T 01 9636 8396
<input type="checkbox"/> WSP	T 01 9622 8790	<input type="checkbox"/> ESTP	T 01 427 044 24		

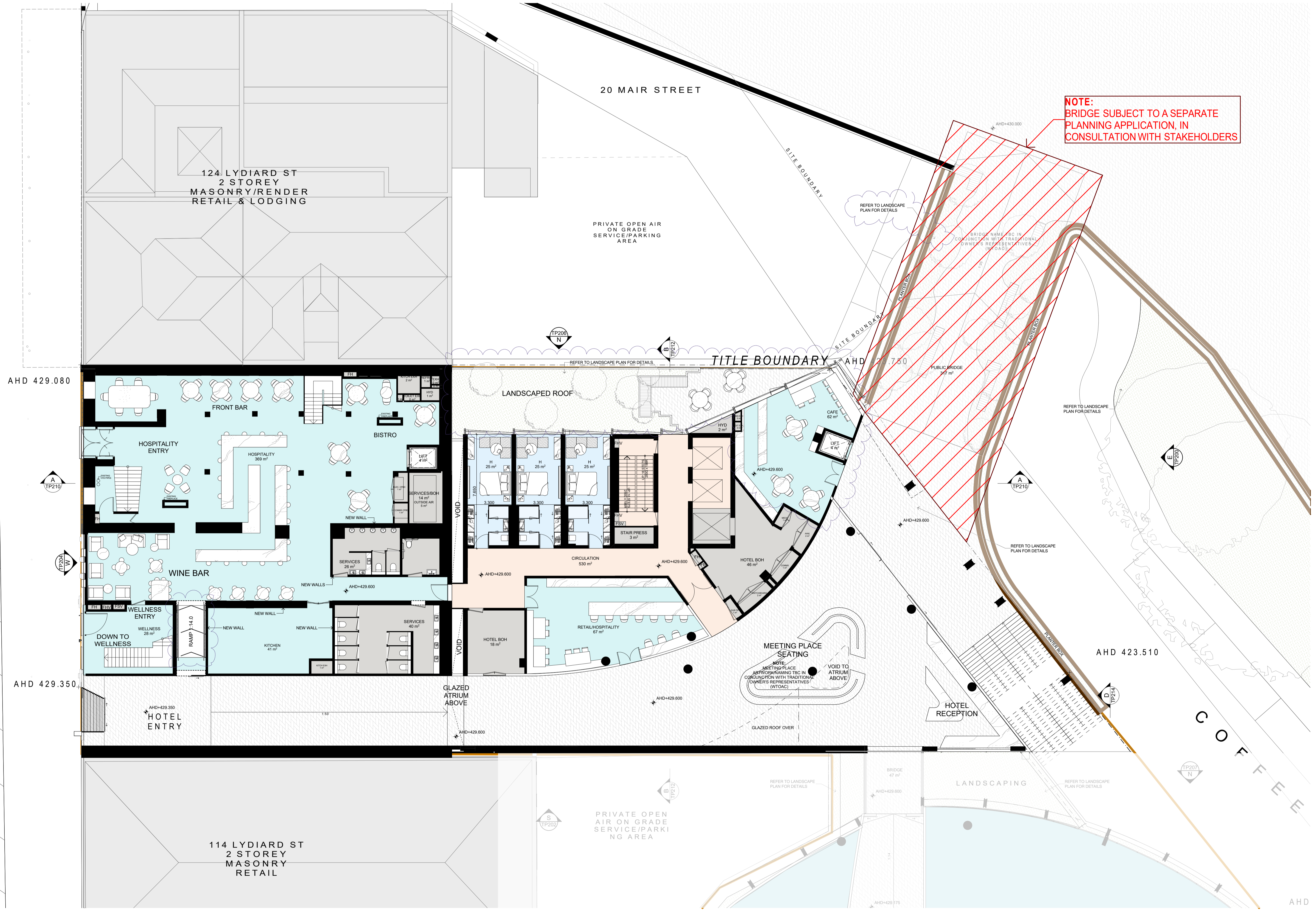


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

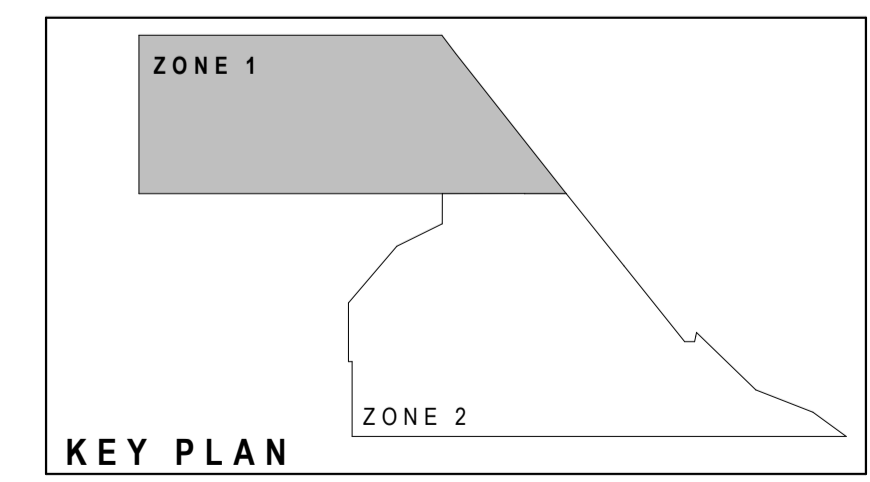
DRAWING TITLE
UPPER GROUND

I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that I am a qualified professional in the field of town planning and that I am not providing any services to you in my capacity as a consultant or otherwise. I warrant and certify that I am not providing any services to you in my capacity as a consultant or otherwise. I warrant and certify that I am not providing any services to you in my capacity as a consultant or otherwise.

TOWN PLANNING			
SCALE	1:200 @B1	PLOT DATE	18/12/2022
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	DRAWING NO.	TP102
JOB NO.	12980	REVISION	1

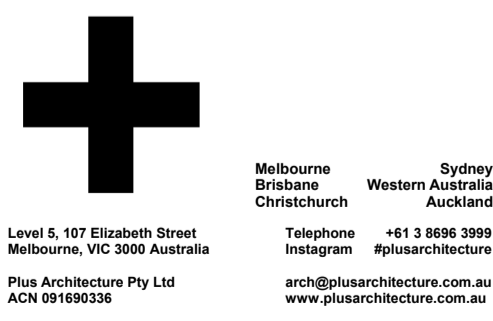


NOTE:
BRIDGE SUBJECT TO A SEPARATE
PLANNING APPLICATION, IN
CONSULTATION WITH STAKEHOLDERS



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#s	MATTHEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	<input type="checkbox"/> SERVICE MARGOTH	<input type="checkbox"/> ANH RESOURCES	<input type="checkbox"/> WSP	<input type="checkbox"/> ESTP	
T 01 9417 8144	T 03 9323 4299	T 03 9436 8396	T 03 9422 8790	T 41 427 044 24	



PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
UPPER GROUND - ZONE 1

SCALE
1:100 @B1

DATE
18/12/2022

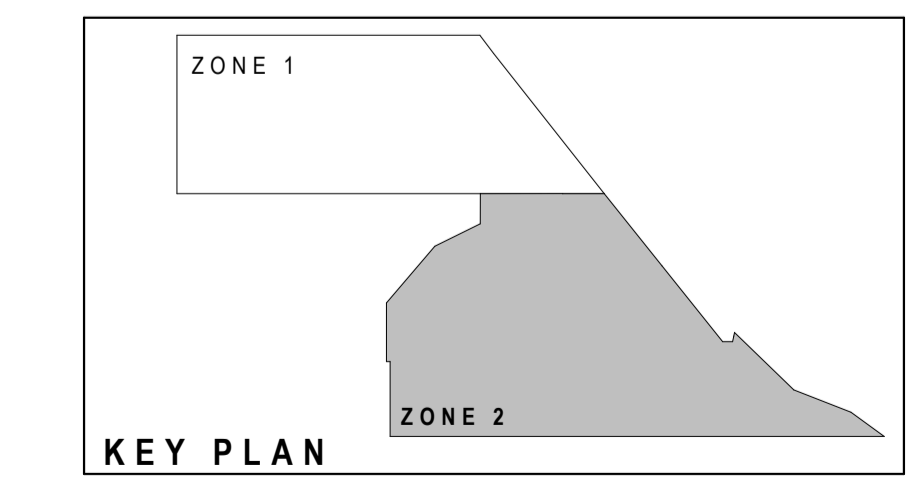
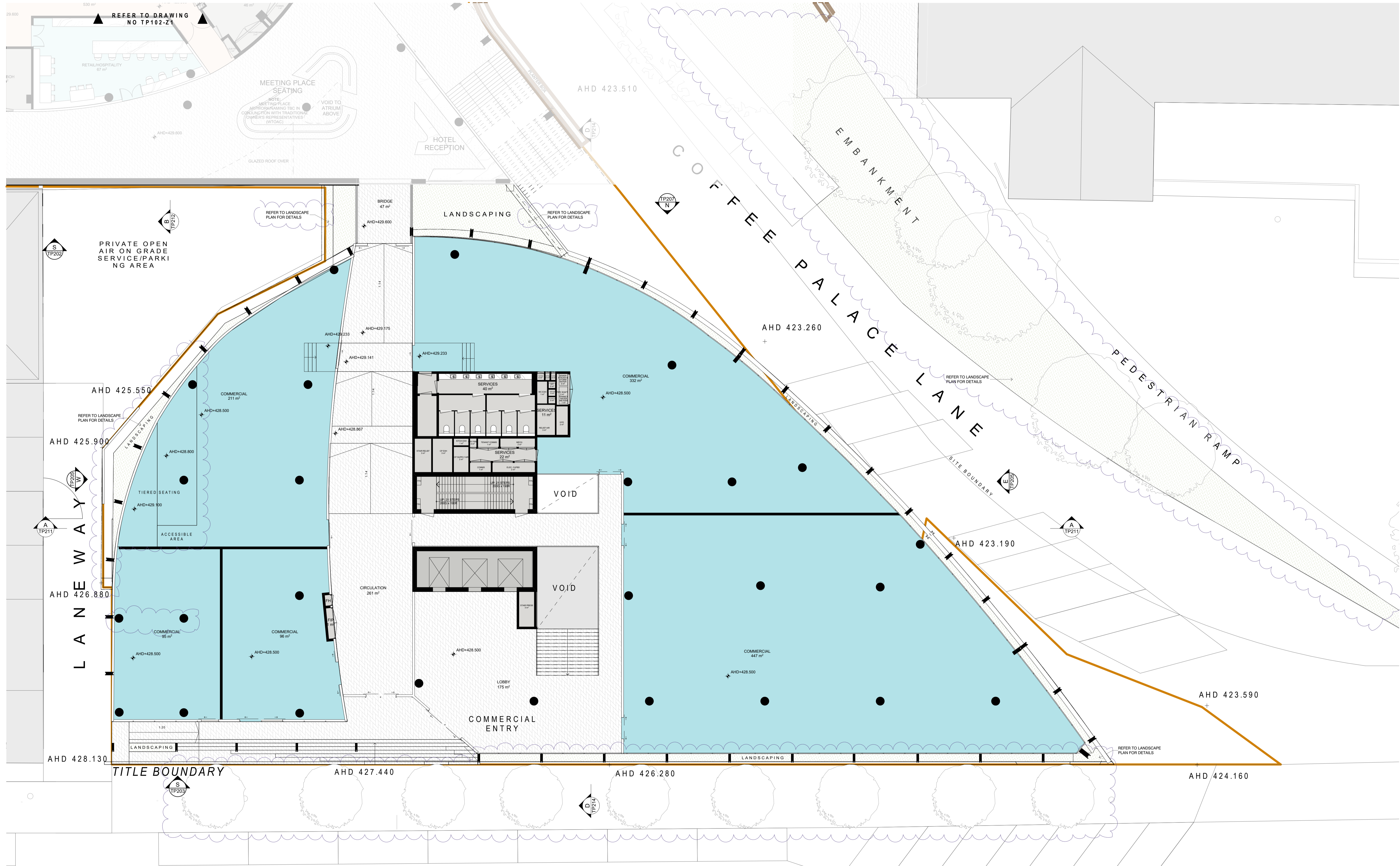
DRAWN
NAG

JOB NO.
12980

DRAWING NO.
TP102-Z1

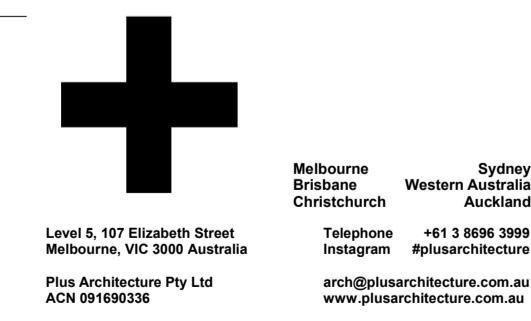
REVISION
1

TOWN PLANNING	
SCALE 1:100 @B1	DRAWING TITLE UPPER GROUND - ZONE 1
DATE 18/12/2022	PLOT DATE 20/10/2022
DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP102-Z1
REVISION 1	



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT#	NAG	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	1 00 9617 8544
HERITAGE	<input type="checkbox"/> SVRCE FAWORTH		1 00 9303 4299
RBD	<input type="checkbox"/> ANK RESOURCES		1 00 9636 8396
SERVICES	<input type="checkbox"/> WSP		1 00 9422 8790
TRAFFIC	<input type="checkbox"/> ESTP		1 01 427 044 324



PROJECT
**116-122 LYDIARD ST
 N & 8-10 MAIR ST
 BALLARAT CENTRAL
 VIC 3350**

DRAWING TITLE
UPPER GROUND - ZONE 2

SCALE
1:100 @B1

DATE
18/12/2022

DATE
18/12/2022

DRAWN
NAG

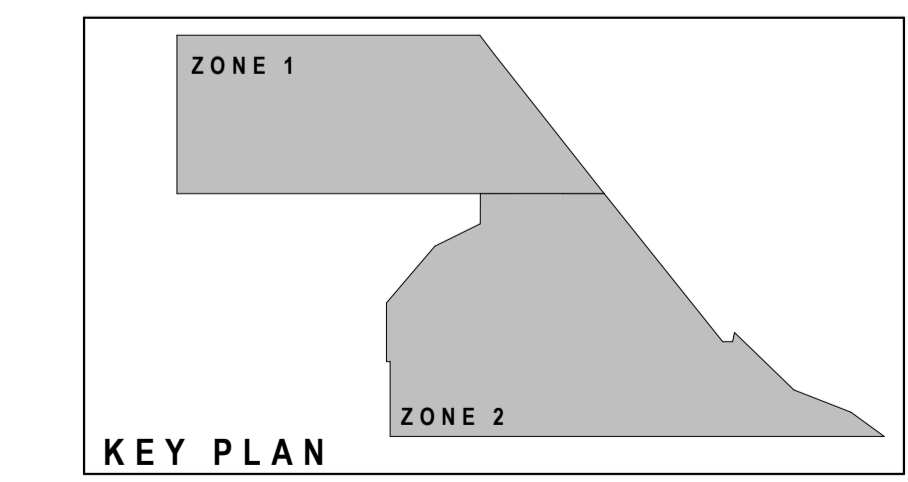
CHECKED
NAG

JOB NO.
12980

DRAWING NO.
TP102-Z2

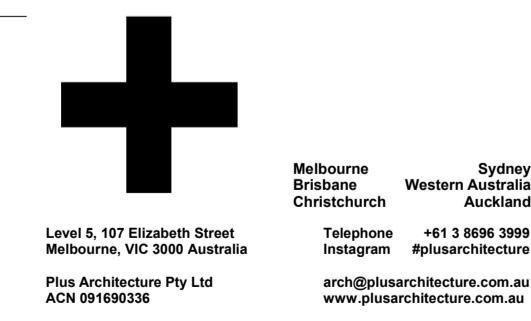
REVISION
1

TOWN PLANNING	
SCALE	1:100 @B1
DATE	18/12/2022
DATE	18/12/2022
DRAWN	NAG
CHECKED	NAG
JOB NO.	12980
DRAWING NO.	TP102-Z2
REVISION	1



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#s	MATSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	T 03 9617 8144
HERITAGE	<input type="checkbox"/>	SERVICE FAWORTH	T 03 9323 4299
R&D	<input type="checkbox"/>	ARK RESOURCES	T 03 9636 8396
SERVICES	<input type="checkbox"/>	WSP	T 03 9422 8790
TRAFFIC	<input type="checkbox"/>	ESTP	T 01 427 044 24

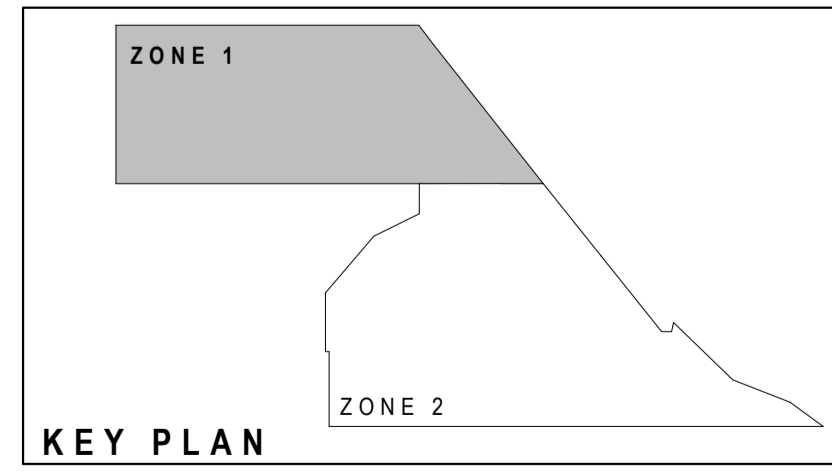
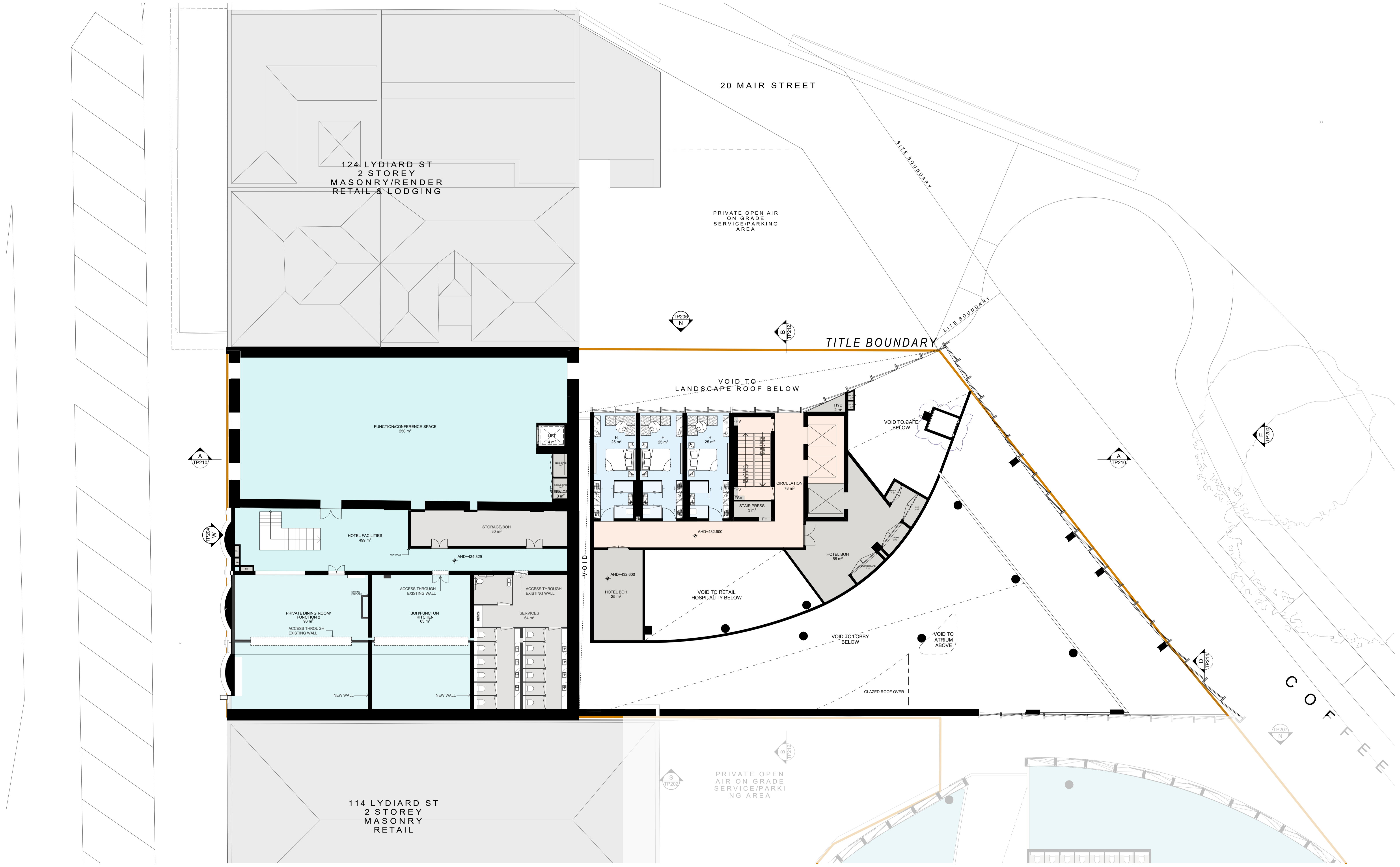


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 01

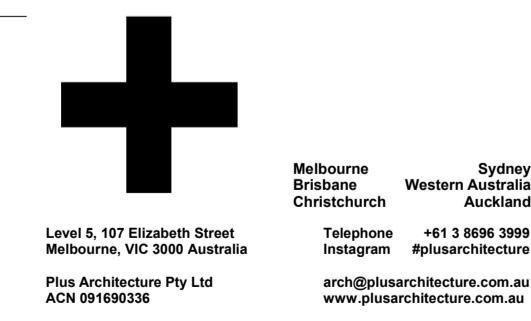
I, the undersigned, being the recipient of the document for the purposes of the Building Act 1993, do hereby certify that the document is a true and correct copy of the original document. I am a duly qualified and licensed professional person in the field of architecture and I am a member of the Institute of Architects in Australia. I have prepared this document for the purposes of the Building Act 1993 and I have not prepared this document for any other purpose. I have not prepared this document for any other purpose. I have not prepared this document for any other purpose. I have not prepared this document for any other purpose.

TOWN PLANNING			
SCALE	1:200 @B1	PLOT DATE	18/12/2022
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	DRAWING NO.	TP103
JOB NO.	12980	REVISION	1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP%	MATSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 03 9617 8144	<input type="checkbox"/> SERVICE PARWORTH	T 03 9323 4299	<input type="checkbox"/> ANK RESOURCES	T 03 9636 8396
<input type="checkbox"/> WSP	T 03 9422 8790	<input type="checkbox"/> ESTP	T 01 427 044 324		

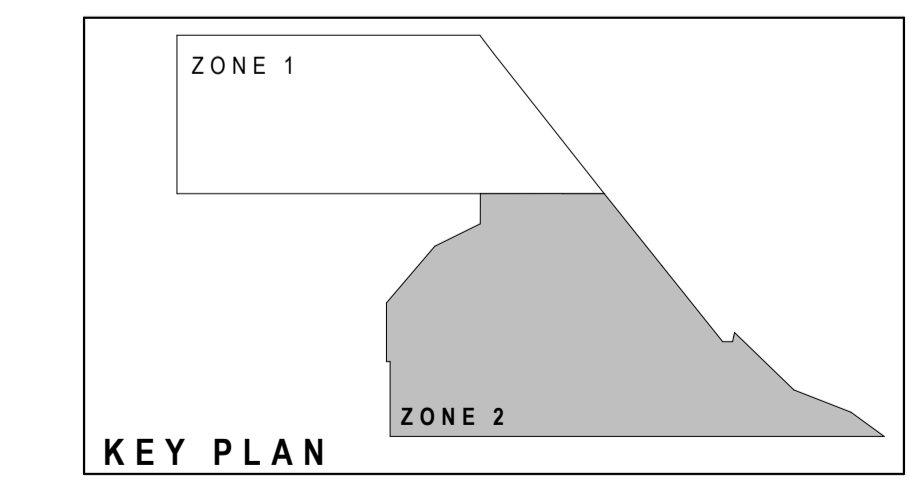
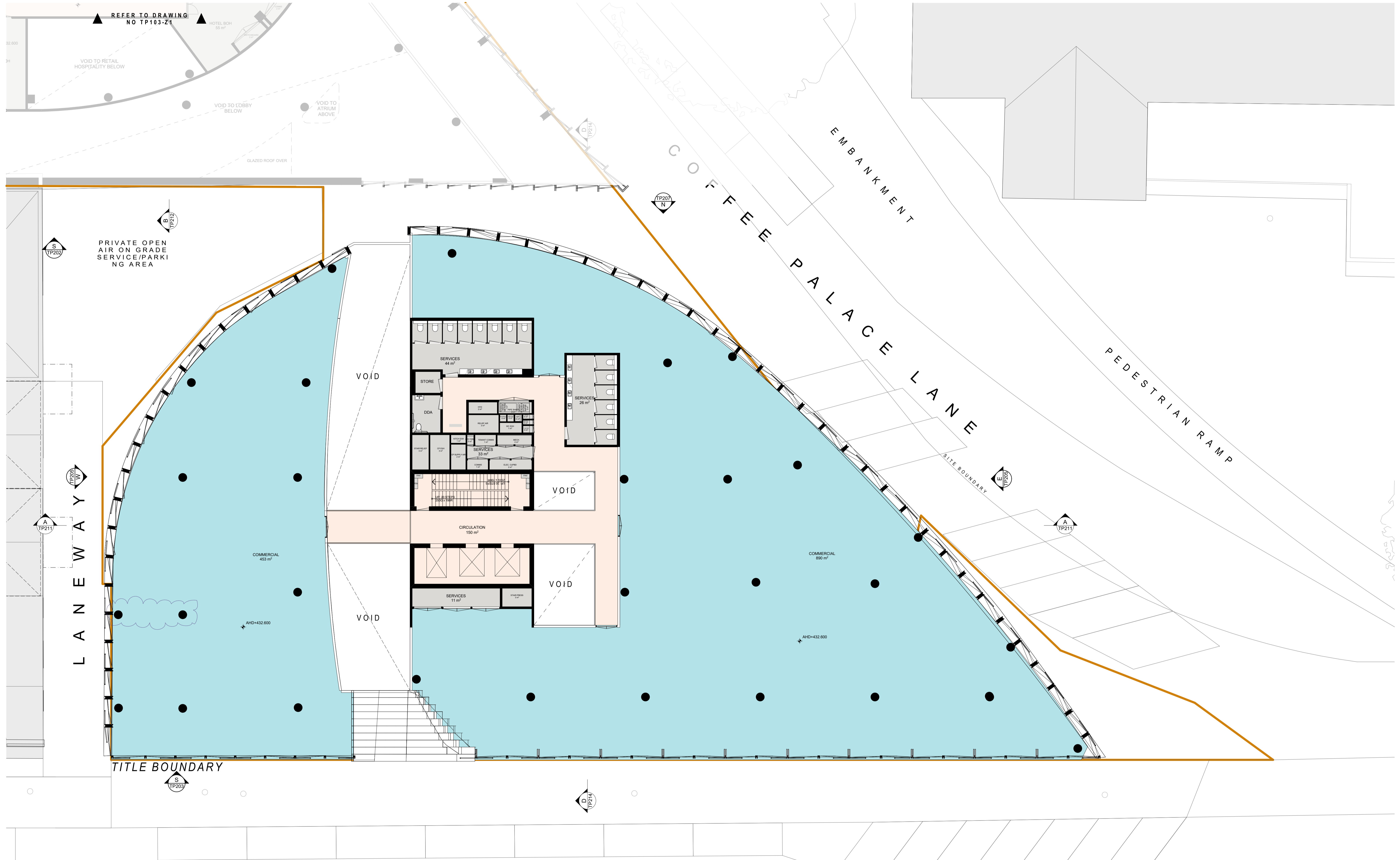


PROJECT: 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350

DRAWING TITLE: LEVEL 01 - ZONE 1

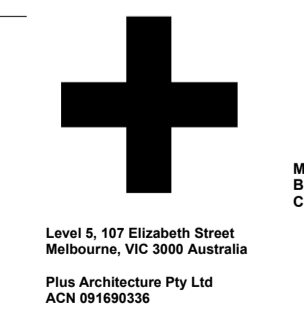
1. I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief. I warrant and certify that this document is correct and true to the best of my knowledge and belief.

TOWN PLANNING			
SCALE: 1:100 @B1			
DATE: 18/12/2022	PLOT DATE: 20/10/2022	CHECKED: NAG	
DRAWN: NAG			
JOB NO. 12980	DRAWING NO. TP103-Z1	REVISION: 1	



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
15.12.2022	RESPONSE TO COUNCIL RPN	MAITSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	T 01 9417 8144
HERITAGE	<input type="checkbox"/> SERVICE PARWORTH		T 01 9323 4299
RBD	<input type="checkbox"/> ANK RESOURCES		T 01 9436 8396
SERVICES	<input type="checkbox"/> WSP		T 01 9422 8790
TRAFFIC	<input type="checkbox"/> ESTP		T 01 427 044 324

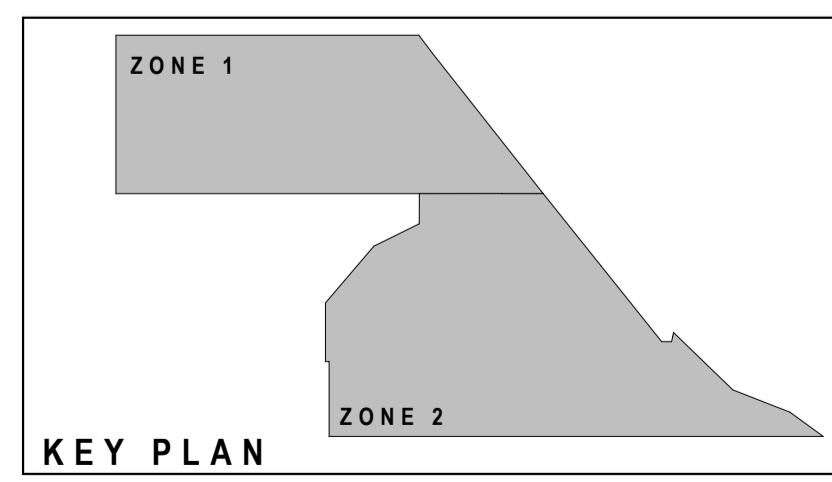


Level 6, 107 Elizabeth Street
Melbourne, VIC 3000 Australia
Ph: 03 9410 3999
www.ballarat.vic.gov.au

Project: 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350
Drawing Title: LEVEL 01 - ZONE 2

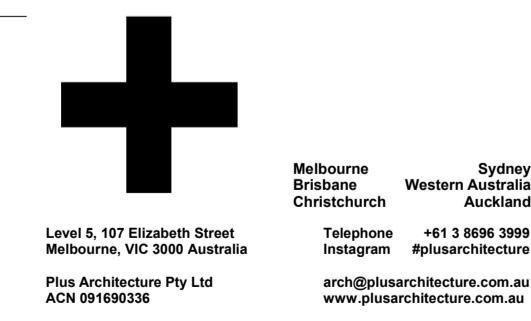
Scale: 1:100 @B1
Date: 18/12/2021
Drawn: NAG
Job No: 12980
Drawing No: TP103-Z2
Revision: 1

TOWN PLANNING	
SCALE	1:100 @B1
DATE	18/12/2021
DRAWN	NAG
CHECKED	NAG
JOB NO.	12980
DRAWING NO.	TP103-Z2
REVISION	1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RFP#	MATSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 03 9617 8544	<input type="checkbox"/> SERVICE FAWCOTT	T 03 9323 4299	<input type="checkbox"/> ANK RESOURCES	T 03 9636 8396
<input type="checkbox"/> WSP	T 03 9622 8790	<input type="checkbox"/> ESTP	T 01 427 044 24		

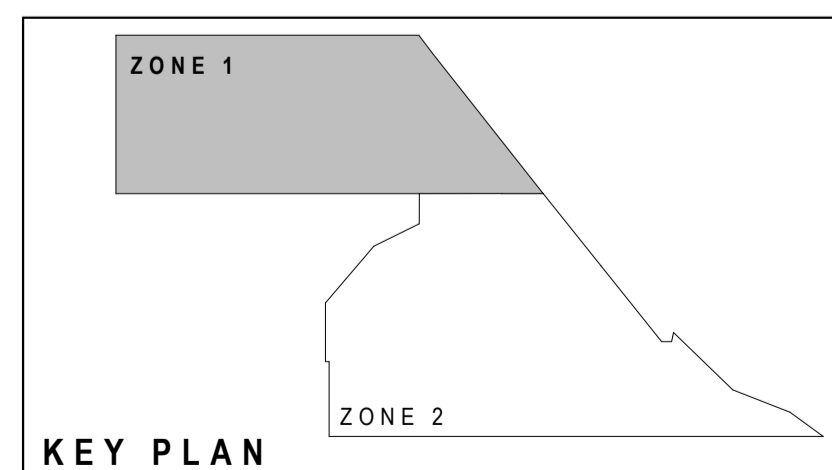
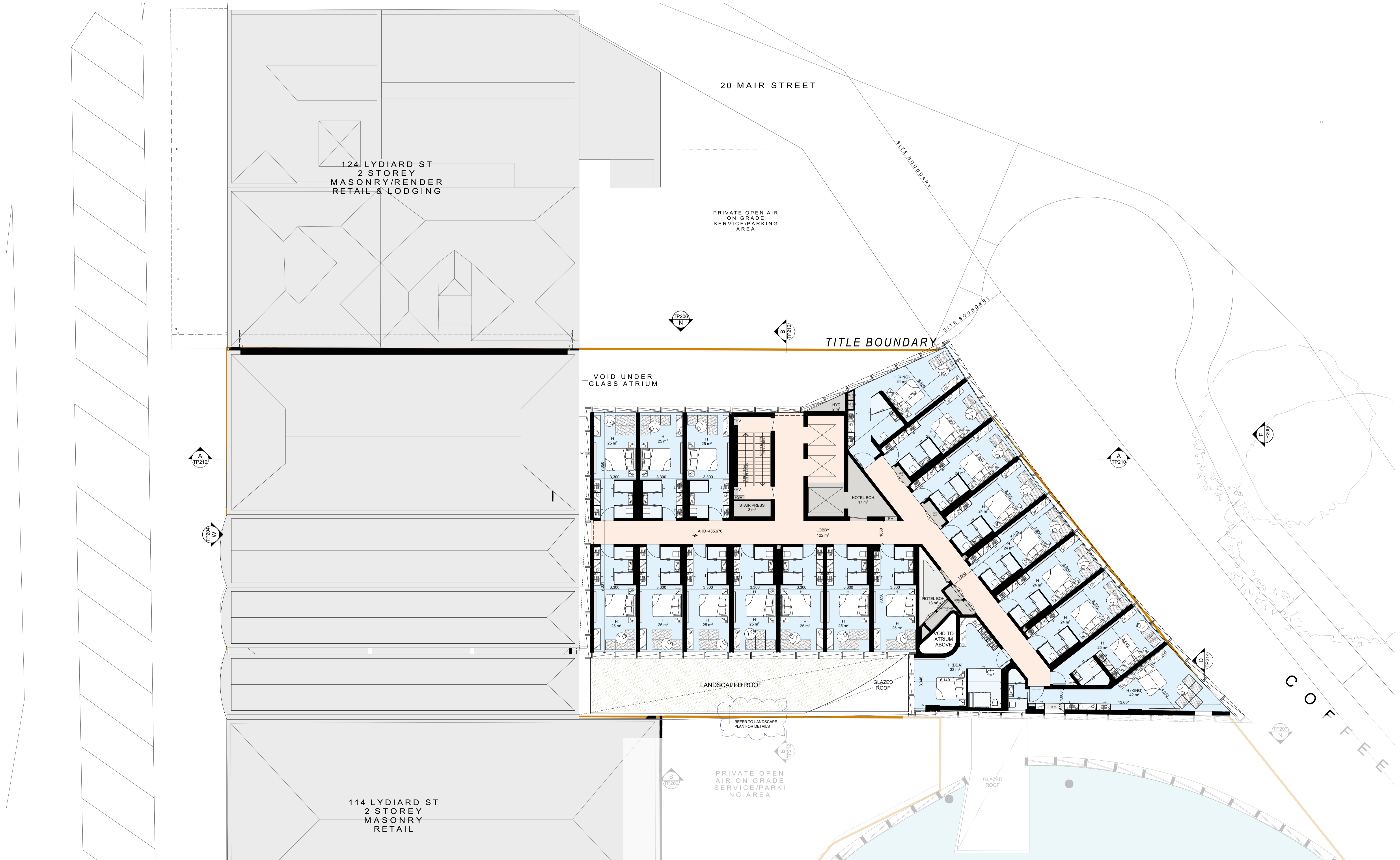


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 02

I, the undersigned, being the recipient of the document for which this document is intended, hereby acknowledge that the copyright in the design and/or drawings contained herein shall remain the property of the copyright owner. The recipient agrees not to use the design and/or drawings for any purpose other than that for which they were prepared and to indemnify the copyright owner from any liability in respect of the design and/or drawings. The copyright owner shall not be liable for any loss or damage, including consequential loss or damage, arising from the use of the design and/or drawings for any purpose other than that for which they were prepared. The copyright owner shall not be liable for any loss or damage, including consequential loss or damage, arising from the use of the design and/or drawings for any purpose other than that for which they were prepared.

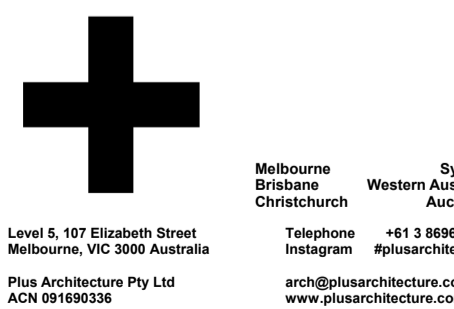
TOWN PLANNING			
SCALE	1:200 @B1	DRAWING TITLE	LEVEL 02
DATE	18/12/2022	PLOT DATE	18/12/2022
DRAWN	NAG	CHECKED	NAG
JOB NO.	12980	DRAWING NO.	TP104
		REVISION	1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#	MATTHEW	NAG	1					

CONSULTANTS	DATE	REVISION	BY	CHK	NO.
TOWN PLANNER					
HERITAGE					
ENV					
SERVICES					
TRAFFIC					

VERB	1 00 9617 8144
SERGE FAWCOTT	1 00 9620 4299
ANR RESOURCES	1 00 9636 8396
WSP	1 00 9622 8790
ESTP	1 01 427 044 234

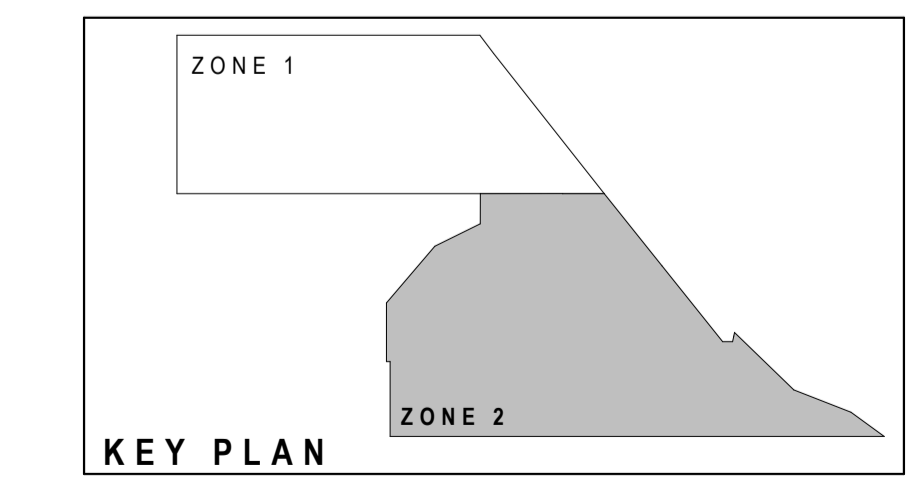
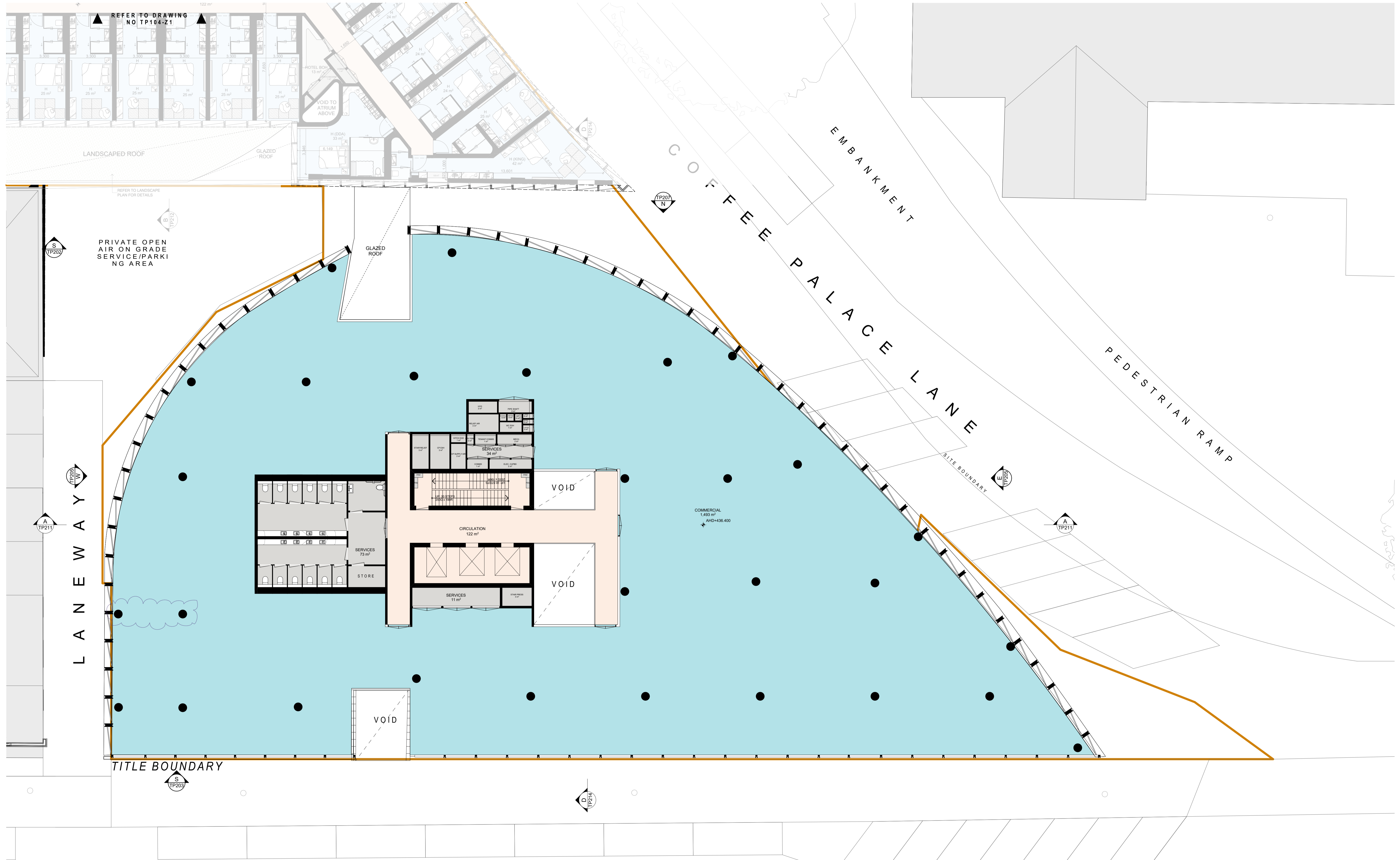


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 02 - ZONE 1

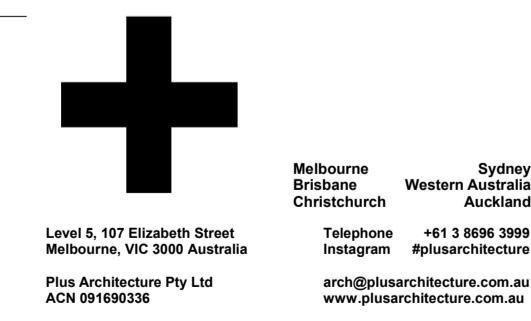
TOWN PLANNING			
SCALE	1:100 @B1	PLOT DATE	18/10/2022
DATE	18/10/2022	CHECKED	NAG
DRAWN	NAG	CHECKED	NAG
JOB NO.	12980	DRAWING NO.	TP104-Z1
		REVISION	1

REFER TO DRAWING NO TP104-Z2



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP#	MATTHEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 03 9617 8544	<input type="checkbox"/> SVRCE FAWORTH	T 03 9323 4299	<input type="checkbox"/> ANK RESOURCES	T 03 9436 8396
<input type="checkbox"/> WSP	T 03 9422 8790	<input type="checkbox"/> ESTP	T 41 424 043 24		

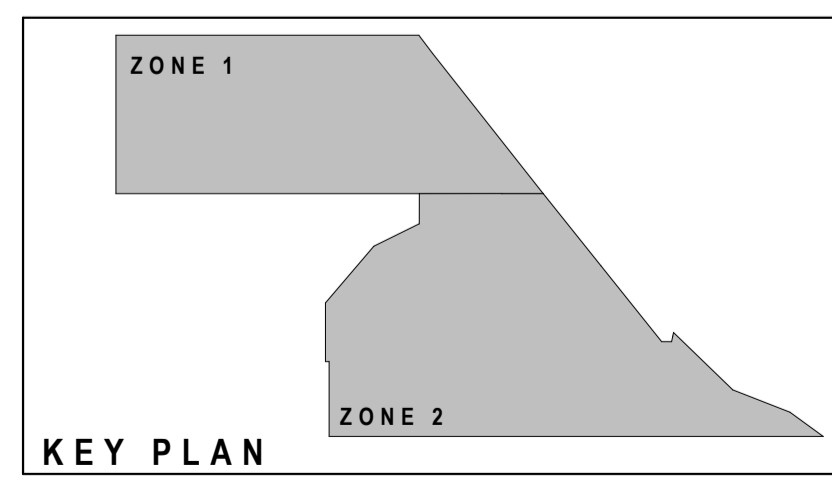
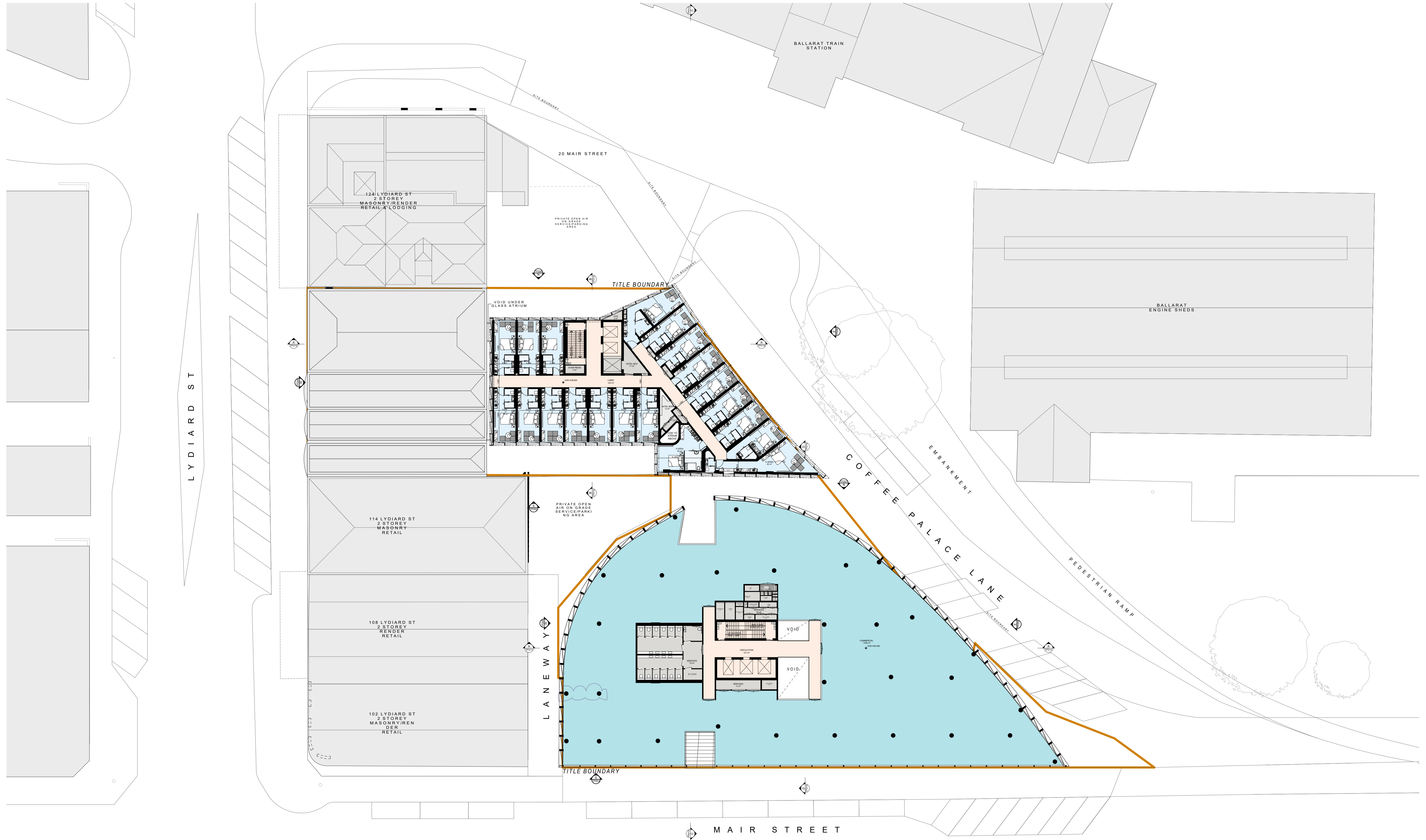


PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 02 - ZONE 2

1. This document is being issued for the recipient's use only. It is not to be used for any other purpose without the prior written consent of the architect. The recipient agrees that it is to be used for the purposes for which it is intended and that it is not to be used for any other purpose without the prior written consent of the architect. The recipient agrees that it is to be used for the purposes for which it is intended and that it is not to be used for any other purpose without the prior written consent of the architect.

TOWN PLANNING			
SCALE 1:100 @B1	DATE 18/12/2021	PLOT DATE 18/12/2022	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP104-Z2	REVISION 1	



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RP#s	MATSEEN	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	PHONE
TOWN PLANNER <input type="checkbox"/> URS	T 03 9617 8944
HERITAGE <input type="checkbox"/> BRYCE FAWCOTT	T 03 9323 4299
R&D <input type="checkbox"/> ANK RESOURCES	T 03 9636 8396
SERVICES <input type="checkbox"/> WSP	T 03 9422 8790
TRAFFIC <input type="checkbox"/> ESTP	T +61 427 044 324

+
Level 6, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
ACN 601922124

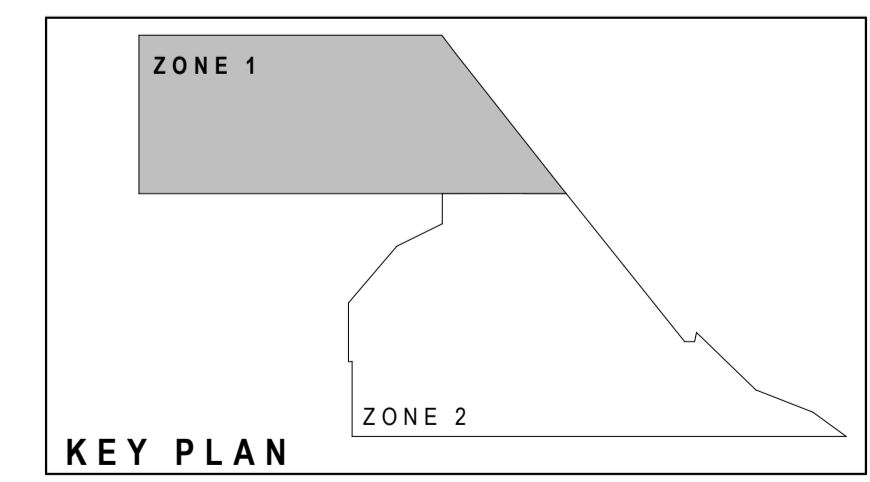
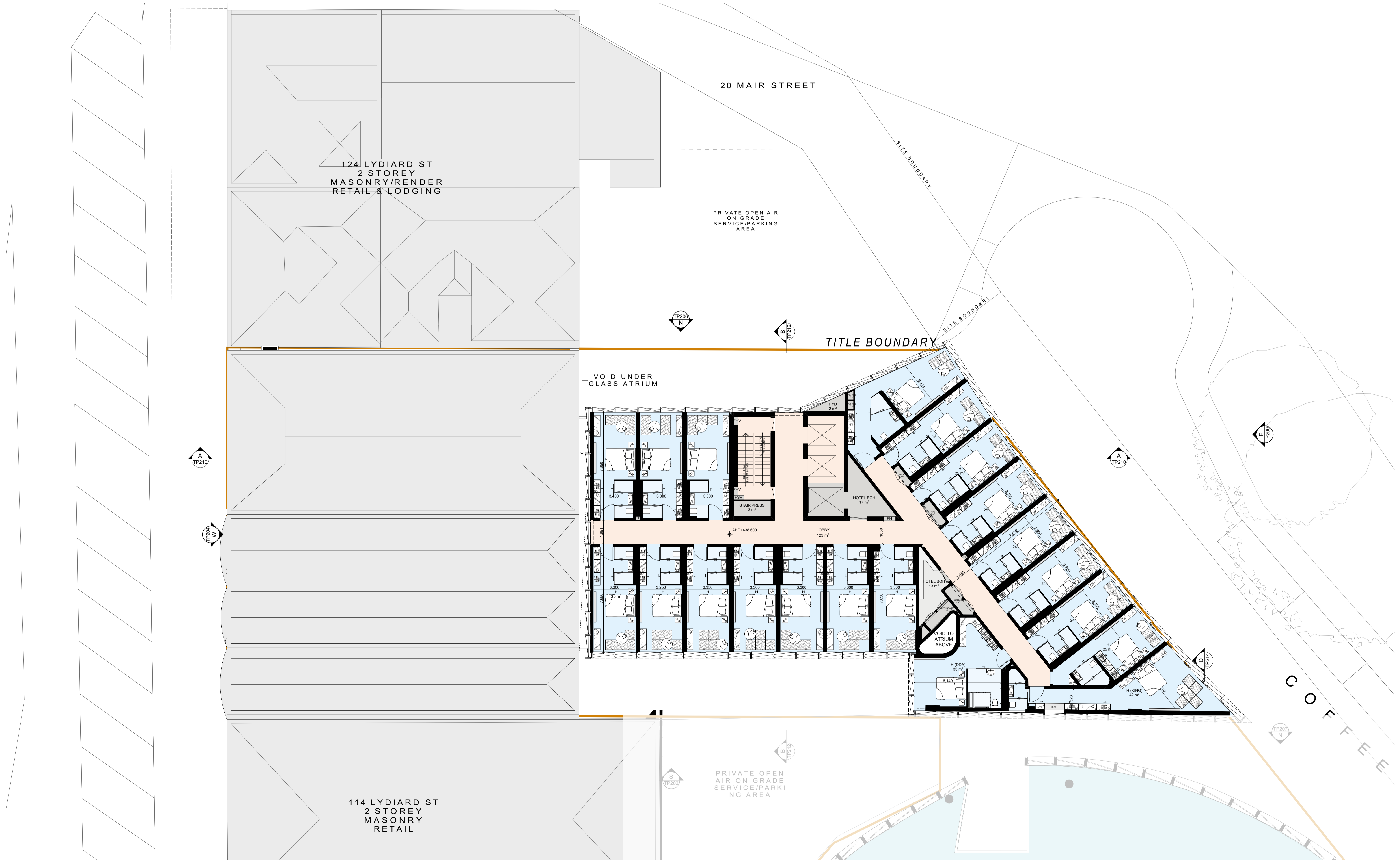
+
Melbourne
Sydney
Perth
Christchurch
Auckland
441 1846 1999
Instagram @jpasarchitect
www.jpasarchitect.com.au
www.jpasarchitect.com.au

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 03

I, the undersigned, being the recipient of the document from the registered architect, certify that it is a true and correct copy of the original document as submitted to the Council for approval. I warrant that the document is a true and correct copy of the original document as submitted to the Council for approval. I warrant that the document is a true and correct copy of the original document as submitted to the Council for approval.

TOWN PLANNING			
SCALE 1:200 @B1	PLOT DATE 18/12/2022	CHECKED NAG	REVISION 1
DATE 18/12/2022	DRAWN NAG	DRAWING NO. TP105	
JOB NO. 12980			



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RP#	MATTHEW	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	BY	CHK	NO.
TOWN PLANNER	VRBS		T 00 9617 8544
HERITAGE	SVCE FAWORTH		T 00 9620 4299
RBD	ANR RESOURCES		T 00 9636 8336
SERVICES	WSP		T 00 9622 8790
TRAFFIC	ESTP		T +61 427 044 324

+
Level 6, 107 Elizabeth Street
Melbourne, VIC 3000 Australia
Phone: 03 9439 9999
www.plusarchitects.com.au

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

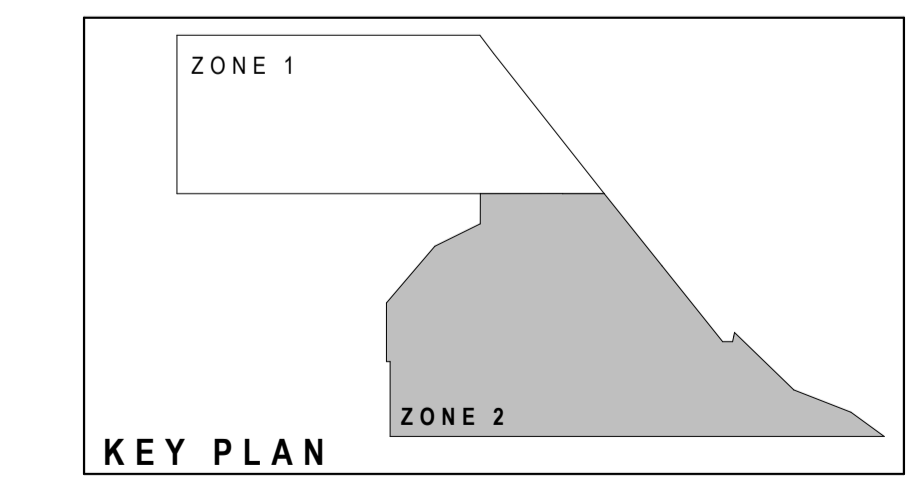
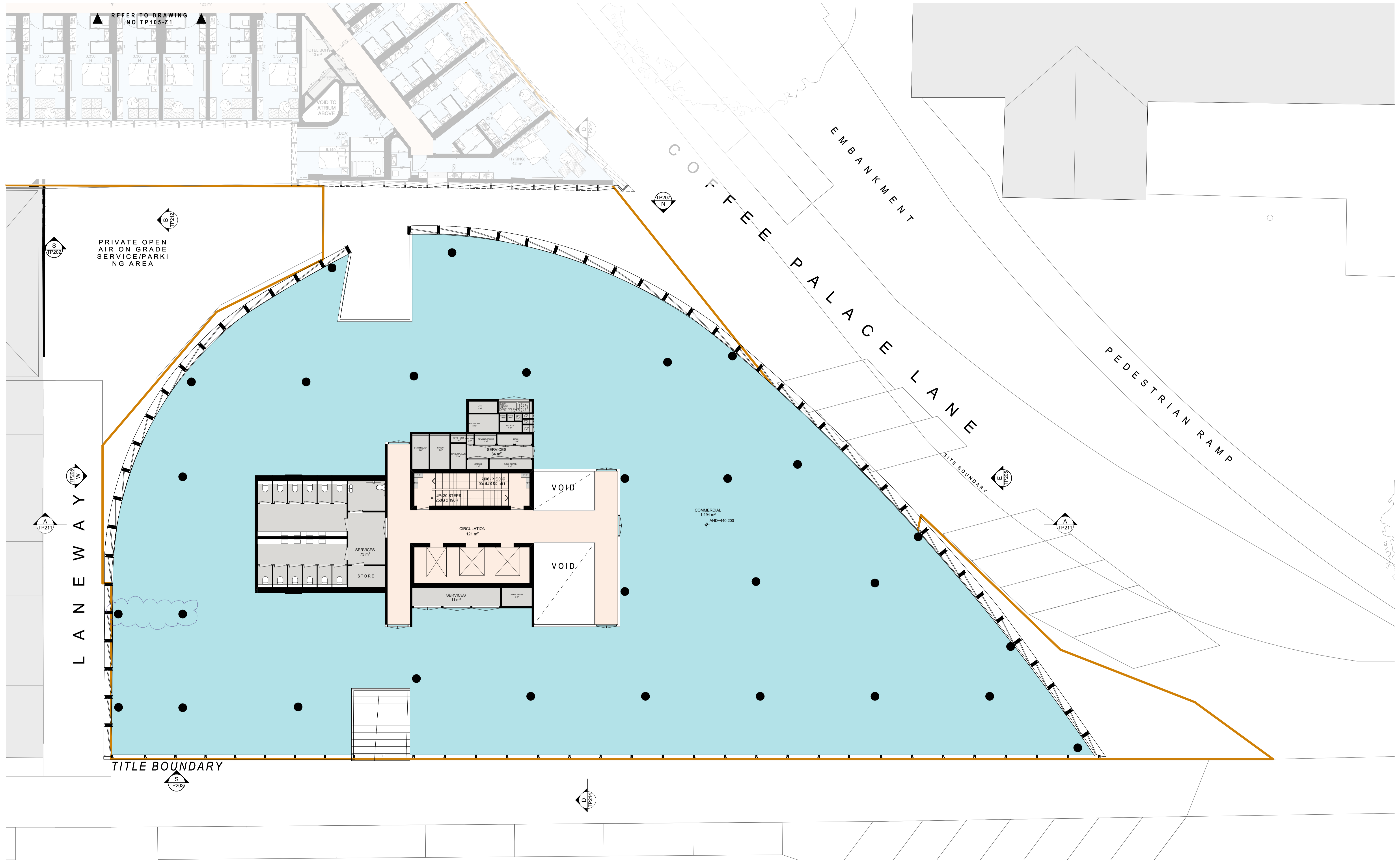
DRAWING TITLE
LEVEL 03 - ZONE 1

1. This document is being issued as a preliminary design and is not intended for construction. It is subject to change without notice. It is to be used for information only and does not constitute an offer of any services. All dimensions and areas are approximate and subject to change. The Client is responsible for verifying all dimensions and areas. The Client is responsible for obtaining all necessary permits and approvals. The Client is responsible for ensuring that the design complies with all applicable laws and regulations. The Client is responsible for ensuring that the design is suitable for the intended use. The Client is responsible for ensuring that the design is suitable for the intended use. The Client is responsible for ensuring that the design is suitable for the intended use.

TOWN PLANNING

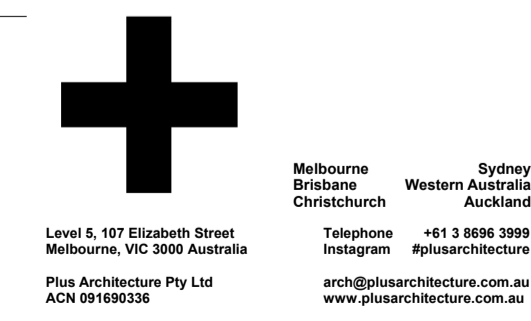
SCALE 1:100 @B1	PLOT DATE 18/12/2022	CHECKED NAG
DATE 18/12/2022	DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP105-Z1	REVISION 1

REFER TO DRAWING NO TP105-Z2



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
15.12.2022	RESPONSE TO COUNCIL RP#	MATTHEW	NAG	1					

CONSULTANTS	TOUR PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS		<input type="checkbox"/> SVRCE FAWORTH		<input type="checkbox"/> WSP	<input type="checkbox"/> ESTP
		<input type="checkbox"/> ANK RESOURCES			

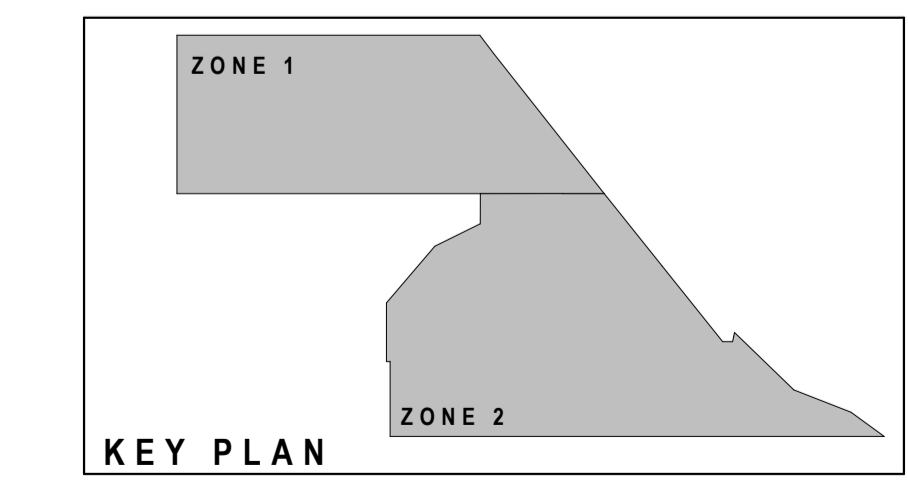
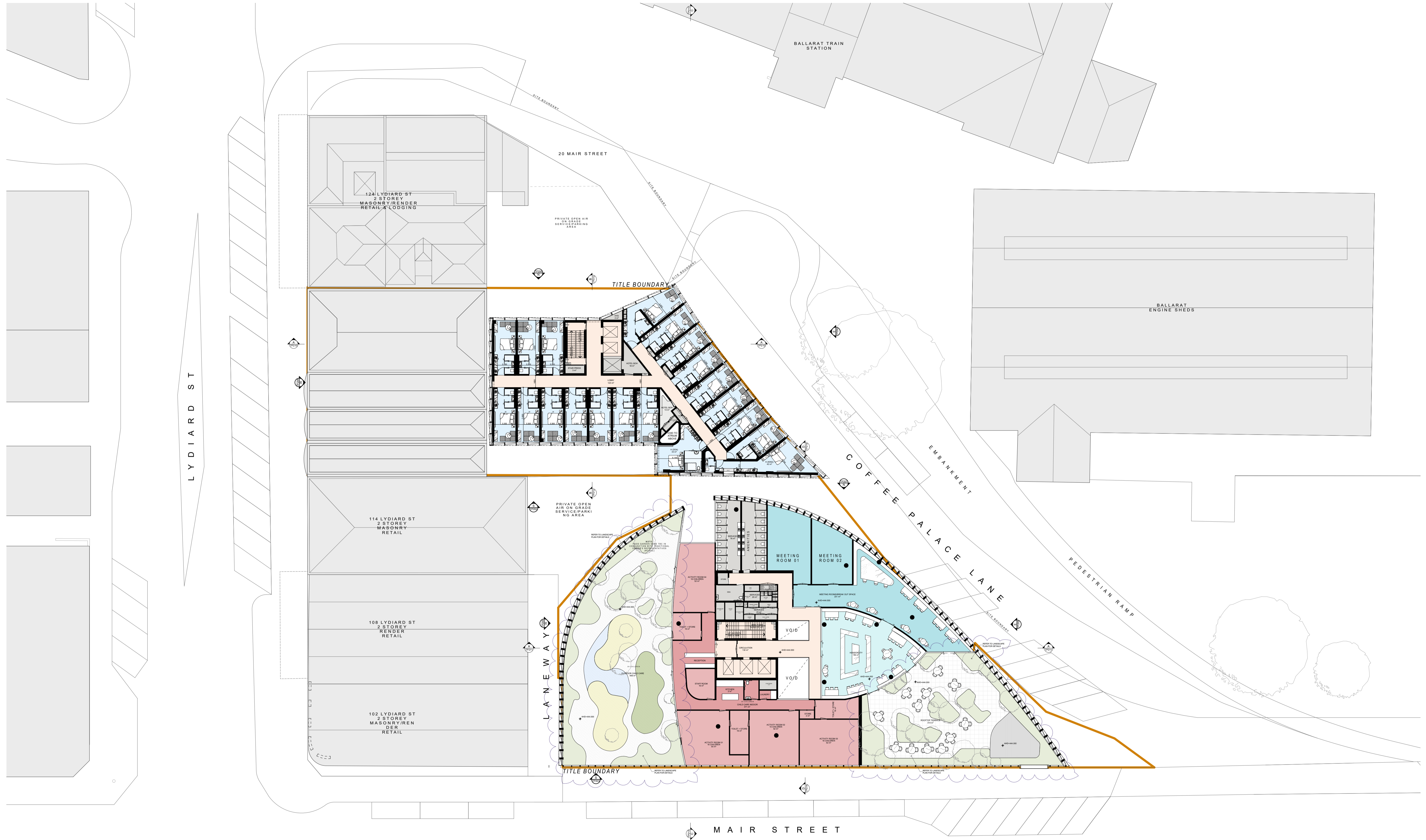


PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 03 - ZONE 2

I, Matthew and I confirm this document is the correct version for the above project. I warrant that the information contained herein is true and correct to the best of my knowledge and belief. I warrant that I am a qualified professional in the relevant field. I warrant that I am not providing any services to any person or entity that is prohibited by law. I warrant that I am not providing any services to any person or entity that is prohibited by law. I warrant that I am not providing any services to any person or entity that is prohibited by law.

TOWN PLANNING			
SCALE 1:100 @B1	PLOT DATE 18/12/2022	CHECKED NAG	REVISION
DATE 18/12/2022	DRAWN NAG	JOB NO. 12980	DRAWING NO. TP105-Z2
			1



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RFP#	MATSEEN	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	TYPE	CONTACT
TOWN PLANNER	<input type="checkbox"/> URBIS	T 03 9617 8544
HERITAGE	<input type="checkbox"/> BRUCE FAWCOTT	T 03 9323 4299
R&D	<input type="checkbox"/> ANH RESOURCES	T 03 9636 8396
SERVICES	<input type="checkbox"/> WSP	T 03 9422 8790
TRAFFIC	<input type="checkbox"/> ESTP	T +61 427 044 324

+
Level 4, 187 Elizabeth Street
Melbourne, VIC 3000 Australia
Phone: 61 3 9422 8790
www.plusarchitectures.com.au

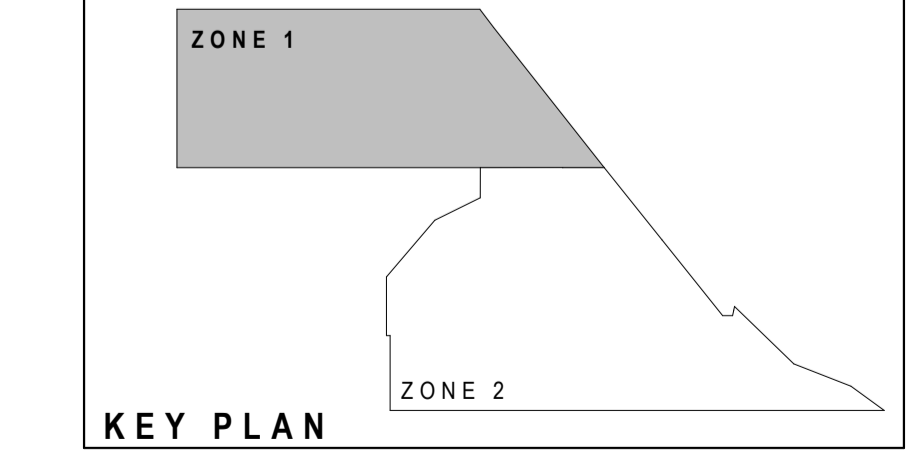
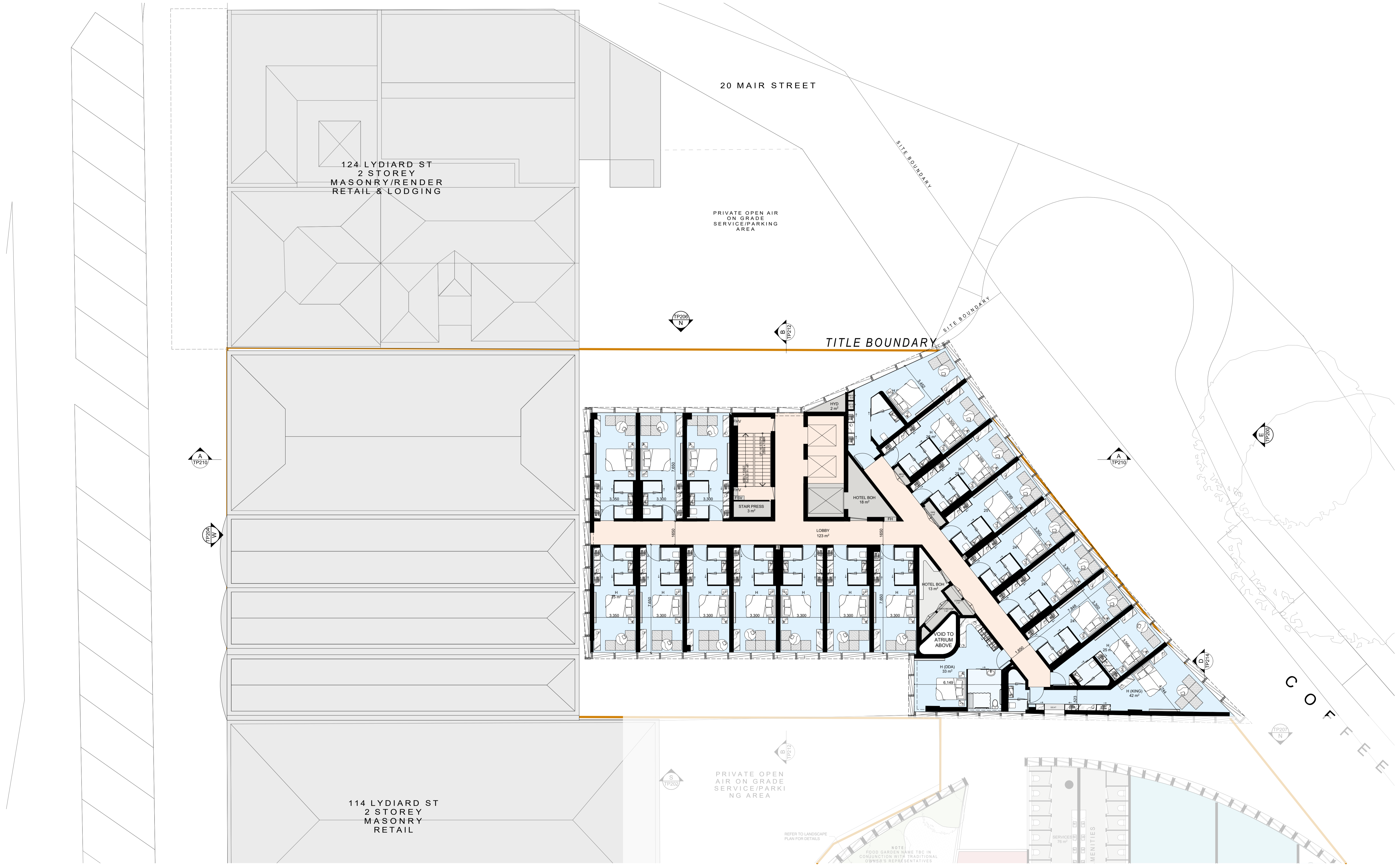
Melbourne
Brisbane
Christchurch
Perth
Sydney
Wellington
Auckland
441 1846 1899
Instagram: @plusarchitecture
arch@plusarchitecture.com.au
www.plusarchitecture.com.au

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 04

I, the undersigned, being the recipient of the document from the above-named architect, hereby certify that I am a duly qualified and licensed professional person in the field of architecture and that I am not aware of any circumstances which would render the drawing or drawings or any part thereof unreliable for the purposes for which they are intended. I am not aware of any circumstances which would render the drawing or drawings or any part thereof unreliable for the purposes for which they are intended. I am not aware of any circumstances which would render the drawing or drawings or any part thereof unreliable for the purposes for which they are intended.

TOWN PLANNING			
SCALE 1:200 @B1	DATE 18/12/2021	PLOT DATE 18/12/2022	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP106	REVISION 1	



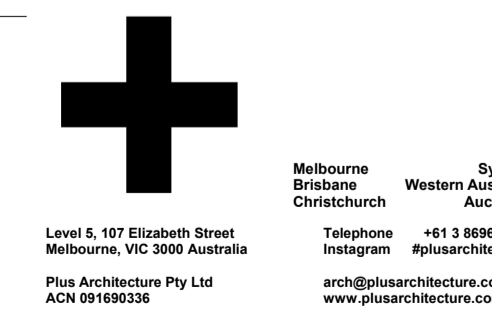
DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RP%	MATSEEN	NAG	1					

CONSULTANTS	DATE	REVISION	BY	CHK	NO.
TOWN PLANNER					
HERITAGE					
ENV					
SERVICES					
TRAFFIC					

REFER TO LANDSCAPE PLAN FOR DETAILS

NOTE: FOOD GARDEN NAME TO BE IN CONSULTATION WITH TRADITIONAL OWNER'S REPRESENTATIVES

REFER TO DRAWING NO TP106-Z2

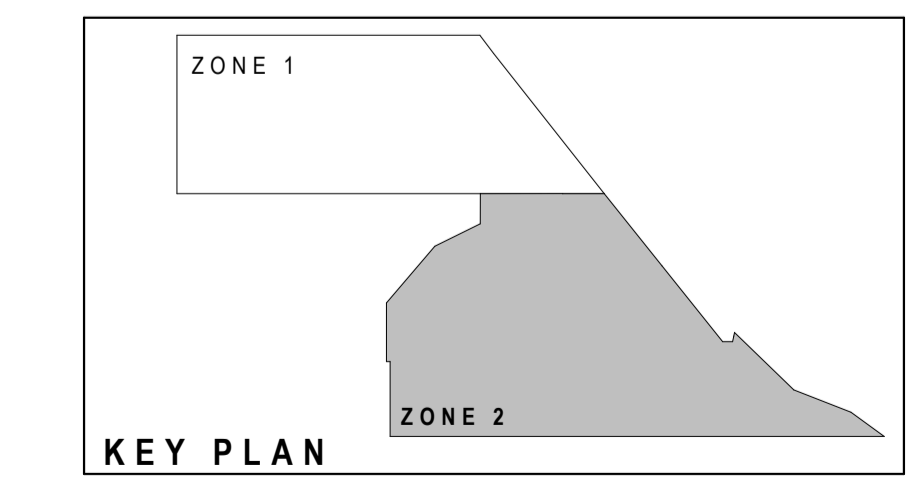
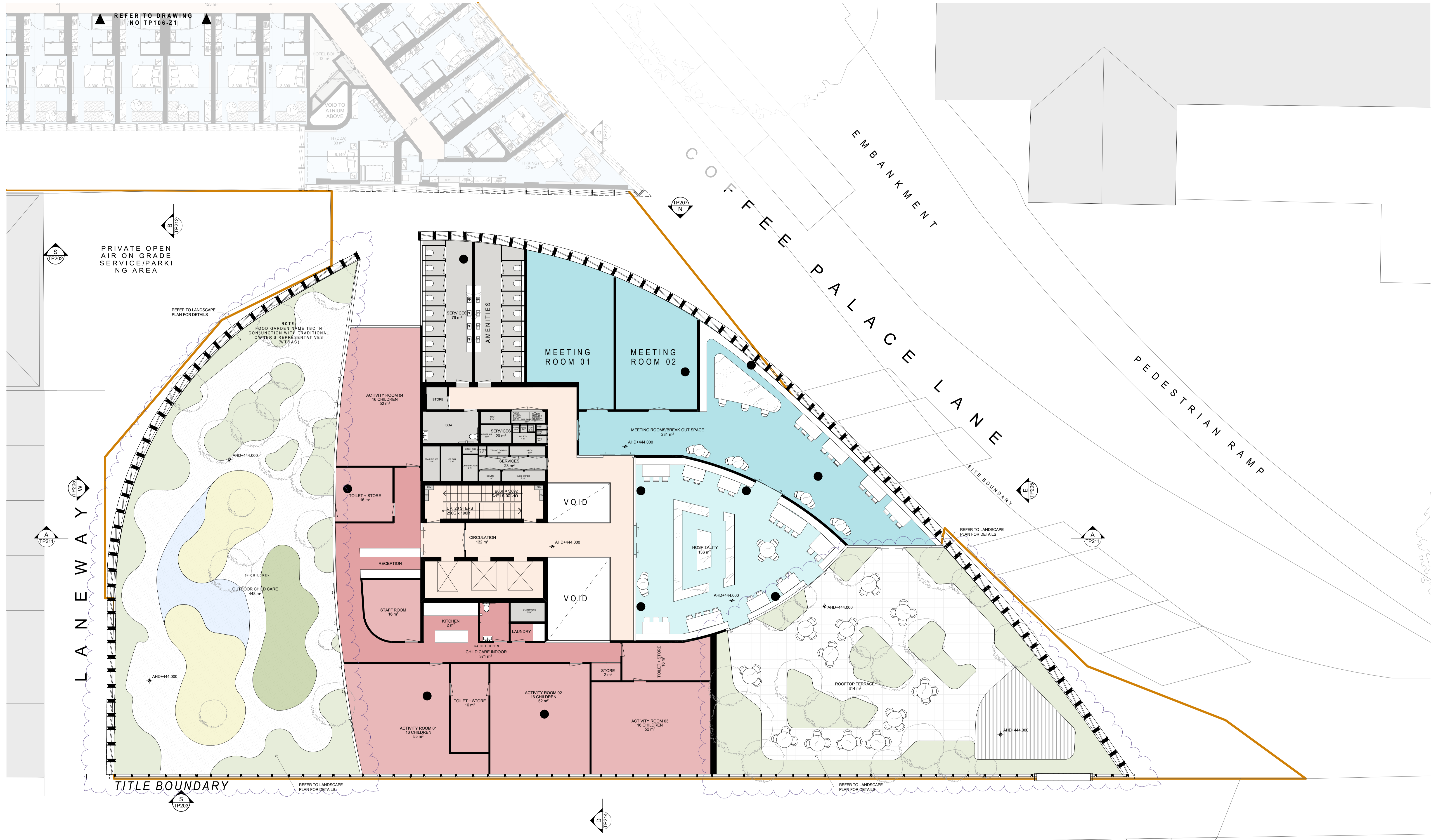


PROJECT: 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350

DRAWING TITLE: LEVEL 04 - ZONE 1

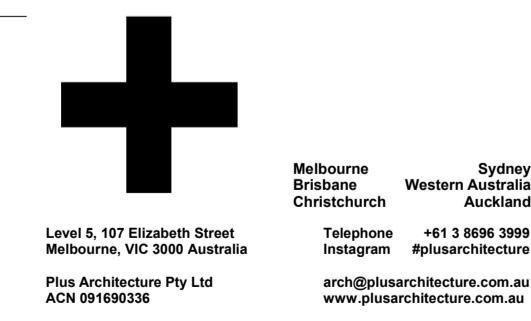
1. I warrant and certify that this document is the correct copy of the original. I warrant and certify that this document is the correct copy of the original. I warrant and certify that this document is the correct copy of the original.

TOWN PLANNING			
SCALE: 1:100 @B1			
DATE: 18/12/2022	PLOT DATE: 18/12/2022	CHECKED: NAG	
DRAWN: NAG			
JOB NO: 12980	DRAWING NO: TP106-Z1	REVISION: 1	



DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT#	MAWSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	URBS	1 00 9617 8544
HERITAGE	<input type="checkbox"/>	BRUCE MAWORTH	1 00 9620 4299
RND	<input type="checkbox"/>	ANM RESOURCES	1 00 9636 6396
SERVICES	<input type="checkbox"/>	WSP	1 00 9622 8790
TRAFFIC	<input type="checkbox"/>	ESTP	1 01 427 044 324

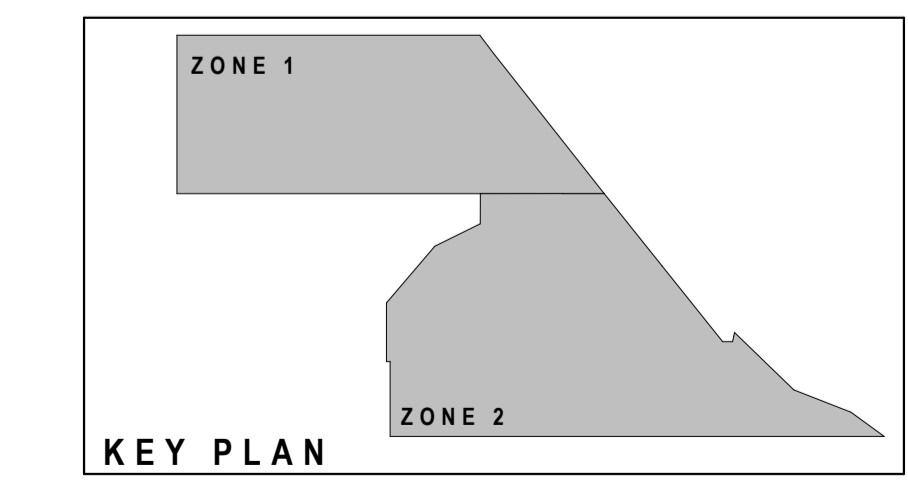
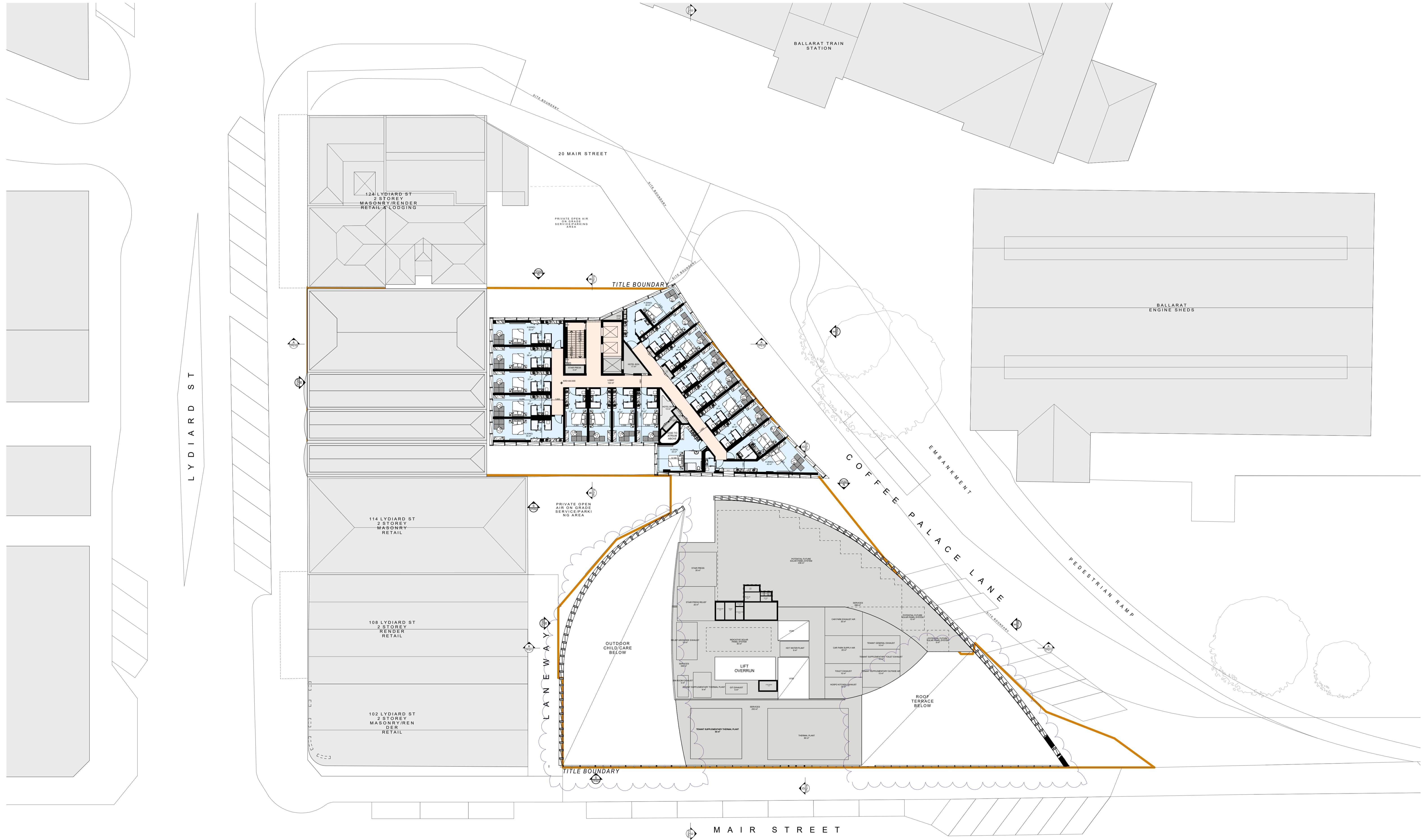


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 04 - ZONE 2

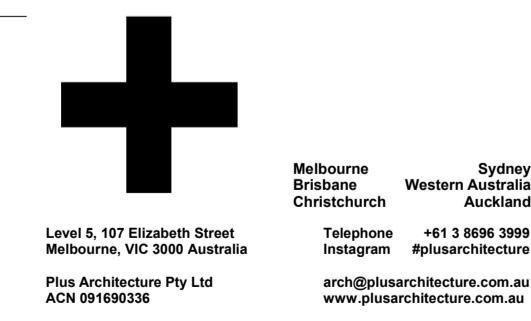
I, the undersigned, being the duly authorised signatory for the purposes of this document, do hereby certify that the above is a true and correct copy of the original as submitted to the Council of the City of Ballarat. I warrant that the above is a true and correct copy of the original as submitted to the Council of the City of Ballarat. I warrant that the above is a true and correct copy of the original as submitted to the Council of the City of Ballarat.

TOWN PLANNING			
SCALE	1:100 @B1	PLOT DATE	18/12/2022
DATE	18/12/2022	CHECKED	NAG
DRAWN	NAG	REVISION	
JOB NO.	12980	DRAWING NO.	TP106-Z2
		REVISION	1



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NM	NM	1					
16.12.2022	RESPONSE TO COUNCIL RPT	MATTHEW	NAN	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> VRSB	T 03 9617 8544	<input type="checkbox"/> SVRCE FAWORTH	T 03 9323 4299	<input type="checkbox"/> ANH RESOURCES	T 03 9636 8396
<input type="checkbox"/> WSP	T 03 9622 8790	<input type="checkbox"/> ESTP	T 01 427 044 24		

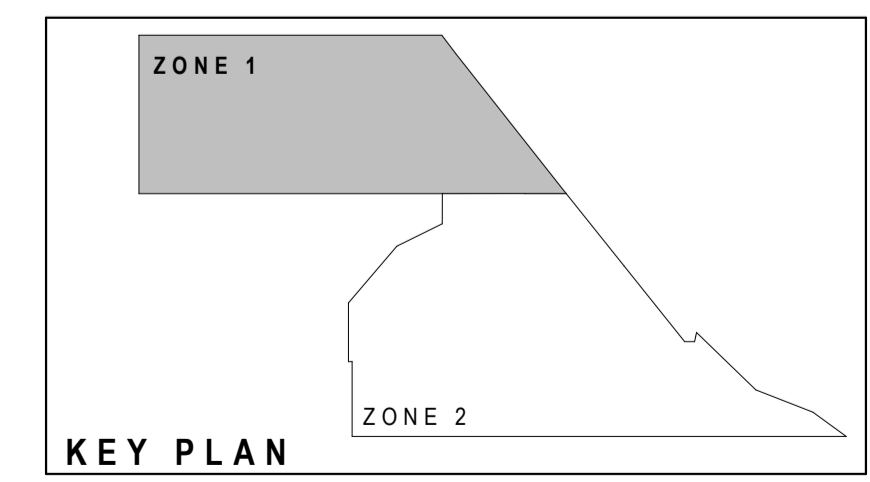
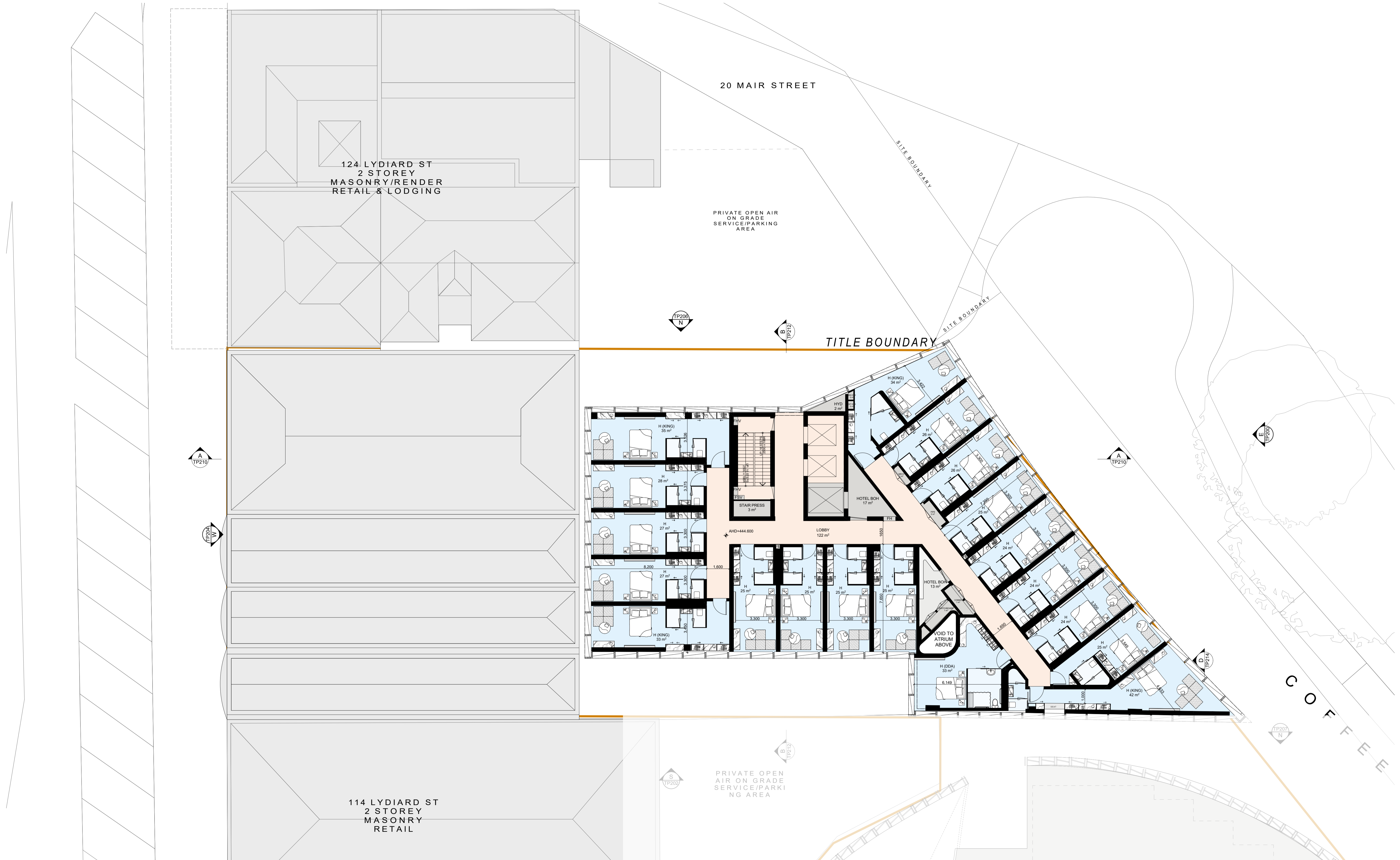


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 05

I, the undersigned, being the duly authorised signatory for the purposes of this document, do hereby certify that the information contained herein is true and correct to the best of my knowledge and belief, and that I am not aware of any material misstatements or omissions. This document is intended for the use of the Council of Ballarat and is not to be used for any other purpose. The undersigned shall be liable for any errors or omissions in this document. This document is intended for the use of the Council of Ballarat and is not to be used for any other purpose.

TOWN PLANNING			
SCALE 1:200 @B1	DATE 18/12/2021	PLOT DATE 18/12/2022	CHECKED NAN
JOB NO. 12980	DRAWING NO. TP107	REVISION 1	



DATE	REVISION	BY	CHK	NO.	DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT	MATTHEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	ENV	SERVICES	TRAFFIC
<input type="checkbox"/> VRBS	T 03 9617 8144	<input type="checkbox"/> SYDNEY HAWORTH	T 03 9323 4299	<input type="checkbox"/> ANK RESOURCES	T 03 9636 8396
<input type="checkbox"/> WSP	T 03 9422 8790	<input type="checkbox"/> ESTP	T 01 427 044 24		

+

Level 6, 107 Elizabeth Street
Melbourne, VIC 3000 Australia
ACN 001092214

Malbourne
Christchurch
Sydney
Western Australia
Auckland

Telephone: +61 3 9496 3999
Instagram: @jasonarchitects
www.jasonarchitects.com.au
www.jasonarchitects.com.au

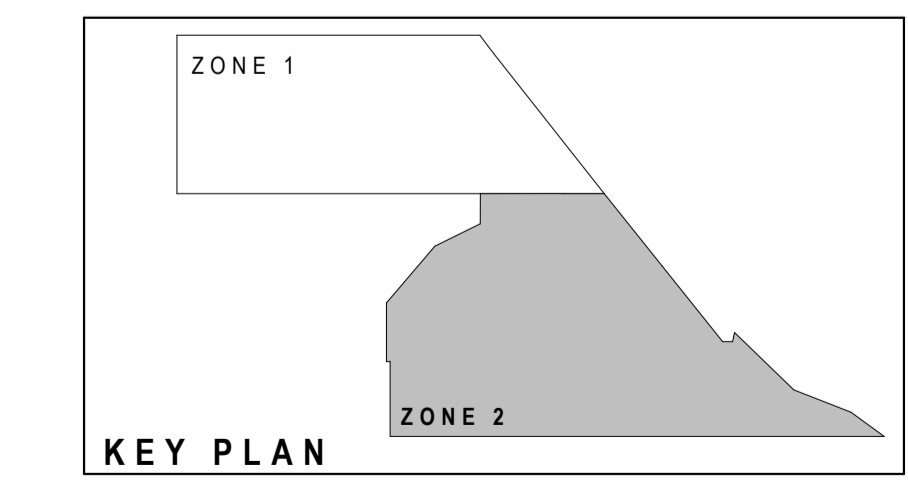
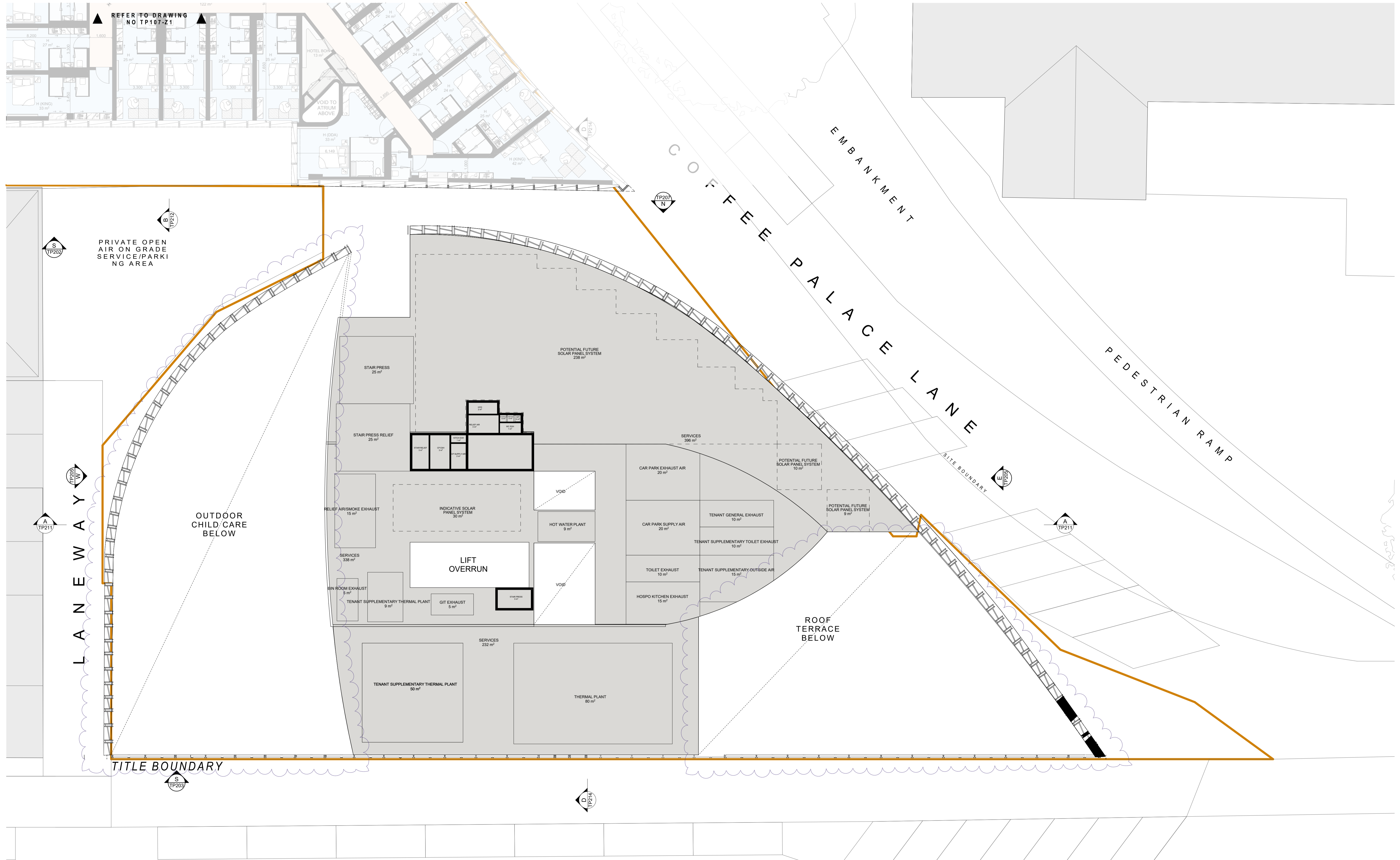
PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 05 - ZONE 1

I warrant that this document is a true and correct copy of the original document. I warrant that I am the author of this document or that I have obtained the necessary permission to use the content of this document. I warrant that I have obtained the necessary permission to use the content of this document. I warrant that I have obtained the necessary permission to use the content of this document.

TOWN PLANNING			
SCALE 1:100 @B1	DATE 18/12/2022	DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP107-Z1	REVISION 1	

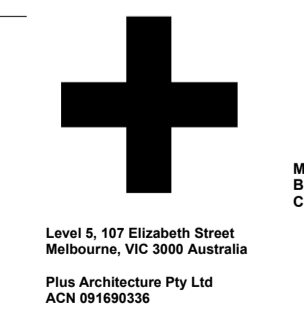
REFER TO DRAWING NO TP107-Z2



M A I R S T R E E T

DATE	REVISION	BY	CHK.	NO.	DATE	REVISION	BY	CHK.	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1					
16.12.2022	RESPONSE TO COUNCIL RPT#	MARSEW	NAG	1					

CONSULTANTS	TOWN PLANNER	HERITAGE	RBD	SERVICES	TRAFFIC
<input type="checkbox"/> URS	T 01 9611 8144	<input type="checkbox"/> BRUCE FAWCOTT	T 01 9623 4299	<input type="checkbox"/> ANH RESOURCES	T 01 9636 8396
<input type="checkbox"/> WSP	T 01 9622 8700	<input type="checkbox"/> ESTP	T 01 427 044 24		

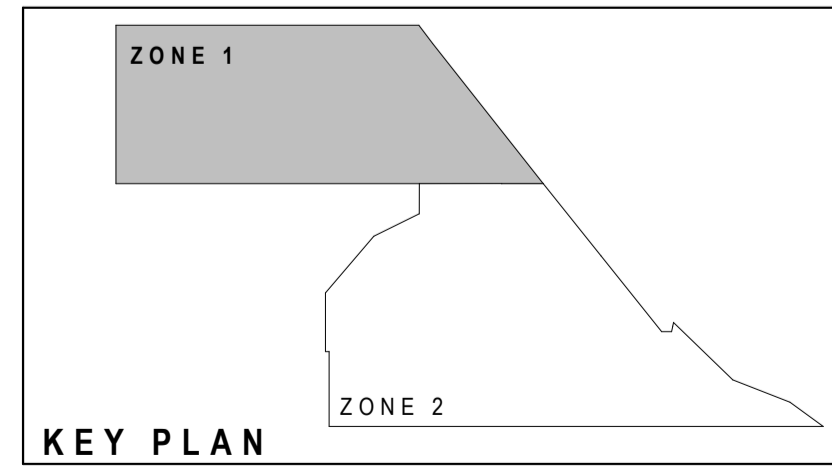
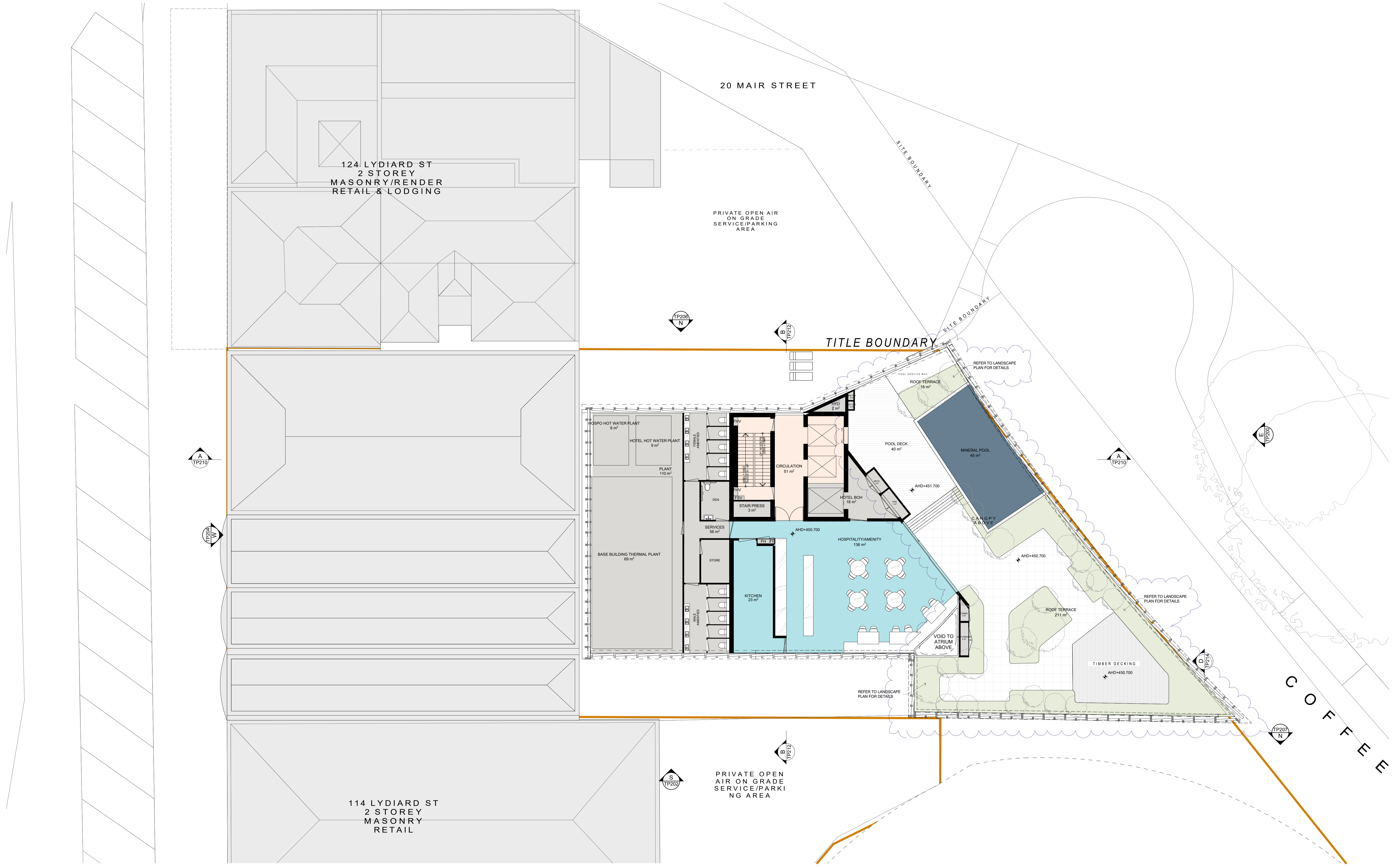


PROJECT
116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350

DRAWING TITLE
LEVEL 05 - ZONE 2

I, the undersigned, being the duly qualified and licensed professional person, certify that I am the author of this drawing and that I am not aware of any person who has been authorized to use my name in connection with this drawing. I warrant that the drawing is a true and correct representation of the work shown and that I am not aware of any person who has been authorized to use my name in connection with this drawing. I warrant that the drawing is a true and correct representation of the work shown and that I am not aware of any person who has been authorized to use my name in connection with this drawing.

TOWN PLANNING	
SCALE 1:100 @B1	DATE 18/12/2021
DATE 18/12/2021	DRAWN NAG
DRAWN NAG	CHECKED NAG
JOB NO. 12980	DRAWING NO. TP107-Z2
	REVISION 1



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAN	1
16.12.2022	RESPONSE TO COUNCIL RP%	MATSEW	NAN	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	BY	CHK	NO.
TOWN PLANNER	VRBS		T 00 9617 8944
HERITAGE	SERVICE HAWORTH		T 00 9620 4299
ENV	ANV RESOURCES		T 00 9636 8396
SERVICES	WSP		T 00 9622 8790
TRAFFIC	ESTP		T +61 427 044 324

+
Level 6, 107 Elizabeth Street
Melbourne, VIC 3000 Australia
A/CN 00109224

+
Melbourne
Christchurch
Sydney
Perth
Auckland
Wellington
Dunedin
Auckland
Wellington
Dunedin

Phone: +61 3 9436 3999
Email: info@jbsarchitect.com.au
www.jbsarchitect.com.au

PROJECT
**116-122 LYDIARD ST
N & 8-10 MAIR ST
BALLARAT CENTRAL
VIC 3350**

DRAWING TITLE
LEVEL 06 - ZONE 1

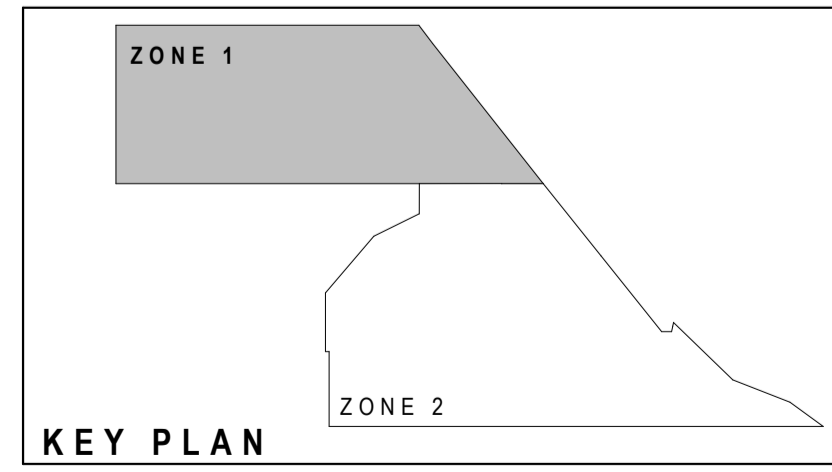
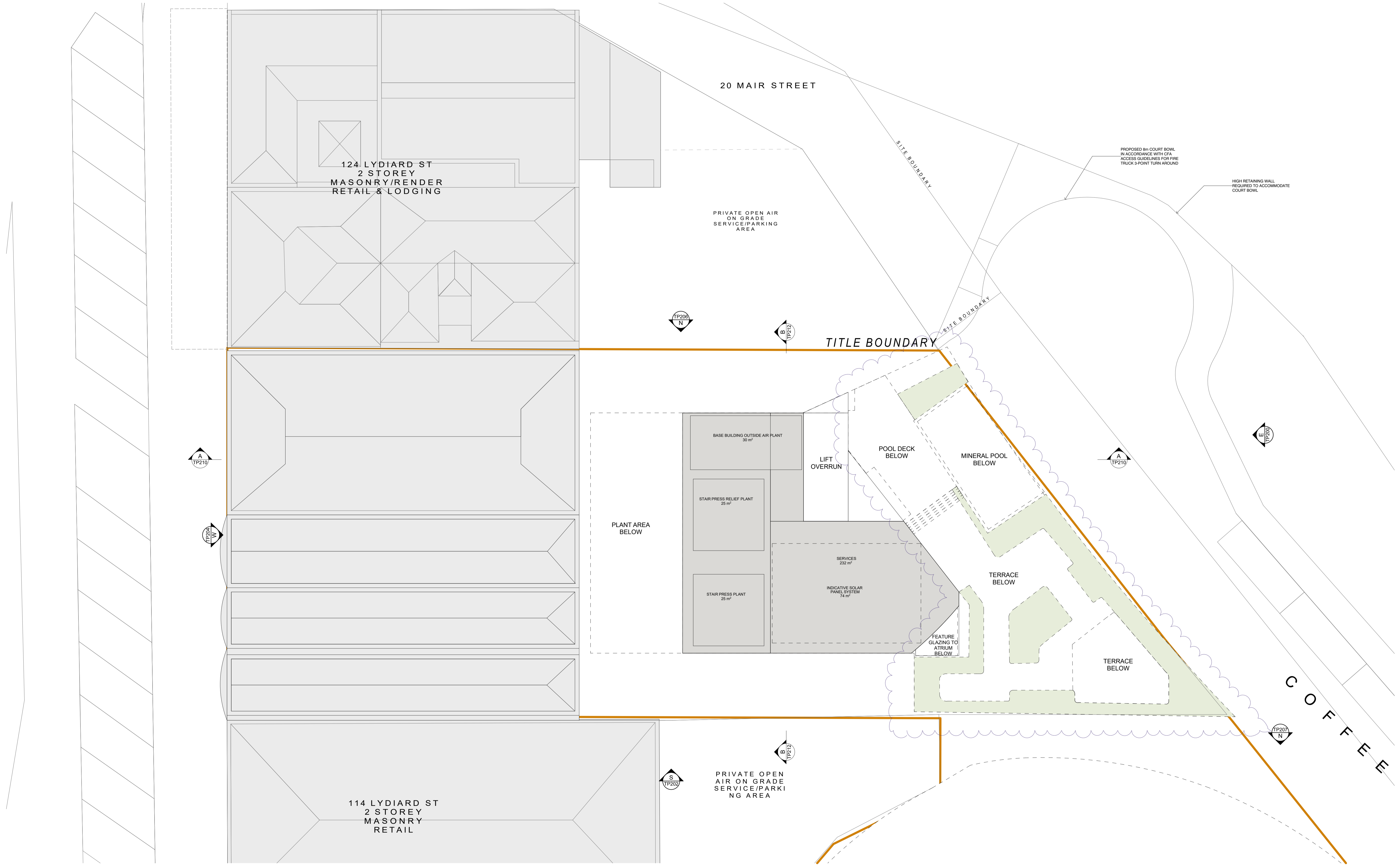
Scale: 1:100 @B1
DATE: 18/12/2022
DRAWN: NAG
JOB NO.: 12980

PLANT DATE: 20/10/2022
CHECKED: NAG
DRAWING NO.: TP108
REVISION: 1

TOWN PLANNING

SCALE: 1:100 @B1
DATE: 18/12/2022
DRAWN: NAG
JOB NO.: 12980

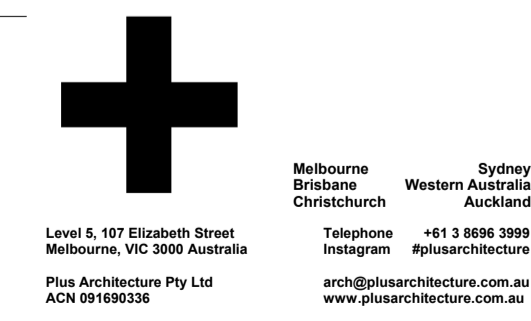
PLANT DATE: 20/10/2022
CHECKED: NAG
DRAWING NO.: TP108
REVISION: 1



DATE	REVISION	BY	CHK	NO.
20.06.2022	TOWN PLANNING SUBMISSION	NAG	NAG	1
16.12.2022	RESPONSE TO COUNCIL RFP#	MATSEW	NAG	1

DATE	REVISION	BY	CHK	NO.

CONSULTANTS	TOWN PLANNER	URBS	T 03 9617 8944
HERITAGE	<input type="checkbox"/> SERVICE FRAMEWORK		T 03 9323 4299
RBD	<input type="checkbox"/> ANK RESOURCES		T 03 9636 8396
SERVICES	<input type="checkbox"/> WSP		T 03 9422 8790
TRAFFIC	<input type="checkbox"/> ESTP		T +61 427 044 324



PROJECT: 116-122 LYDIARD ST N & 8-10 MAIR ST BALLARAT CENTRAL VIC 3350
 DRAWING TITLE: LEVEL 07- ZONE 1

TOWN PLANNING			
SCALE: 1:100 @B1			
DATE: 18/12/2021	PLOT DATE: 20/10/2022		
DRAWN: NAG	CHECKED: NAG		
JOB NO. 12980	DRAWING NO. TP109	REVISION: 1	