

OFFICIAL

Planning Delegated Committee Meeting

Agenda

9 August 2023 at 6:30pm

**Council Chamber, Town Hall, Sturt Street,
Ballarat**



PUBLIC SUBMISSIONS

- Public representations may be made on any items listed on the agenda in a Planning Meeting apart from those listed in the confidential section.
- If you do wish to attend the meeting in person to make a submission, please fill out the [form on our website](#).
- Members of the public who wish to make a submission on an agenda item but who are unable to attend the meeting in person may make a submission in writing:
 - Submissions must be submitted in writing via the [form on our website](#) by no later than 2:00pm on the day of Planning meeting; and
 - limited to no more than 200 words that will be read out by the Chief Executive Officer or nominated delegate at the meeting prior to the matter being considered.

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1. ACKNOWLEDGEMENT OF COUNTRY



The City of Ballarat acknowledges the Traditional Custodians of the land we live and work on, the Wadawurrung and Dja Dja Wurrung People, and recognises their continuing connection to the land and waterways. We pay our respects to their Elders past, present and emerging and extend this to all Aboriginal and Torres Strait Islander People.

2. APOLOGIES FOR ABSENCE

3. DECLARATION OF CONFLICT OF INTERESTS

4. CONFIRMATION OF MINUTES

5. OFFICER BRIEFING

6. PLANNING DELEGATED COMMITTEE REPORTS

6.1. C235BALL MINERS REST TOWNSHIP PLAN - PLANNING PANELS VICTORIA RECOMMENDATIONS REVIEW

Division: Development and Growth
Director: Natalie Robertson
Author/Position: Susie Perera- Strategic Planner/Terry Natt – Manager Strategic Planning

PURPOSE

1. To consider the recommendations by Panels Victoria for Planning Scheme Amendment C235ball (Miners Rest Township Plan) to the Ballarat Planning Scheme (the Amendment).
2. To endorse the Panel's recommendation to form the basis of Council's request to approve the Amendment.
3. To consider the officer recommendation to request that the Minister for Planning approve the Amendment.

BACKGROUND

4. The Miners Rest Township Plan (MRTP) is a strategic document that was developed as part of a program of local area planning for the City of Ballarat to implement the Ballarat Strategy 2040.
5. The MRTP provides a long-term planning and design vision for the Miners Rest township and surrounds as per the Miners Rest Study Area in Figure 1.

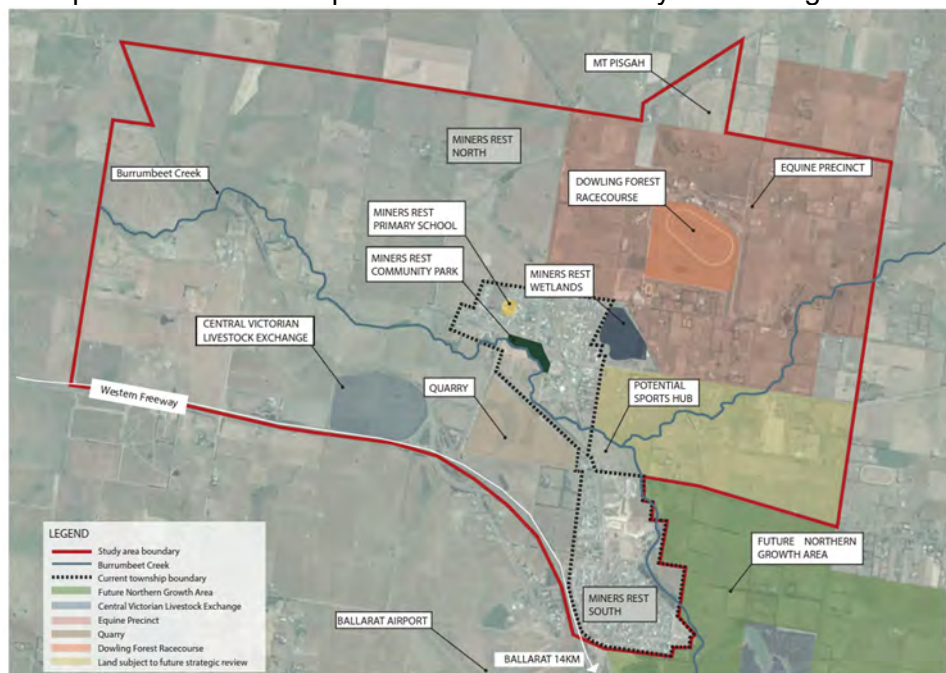
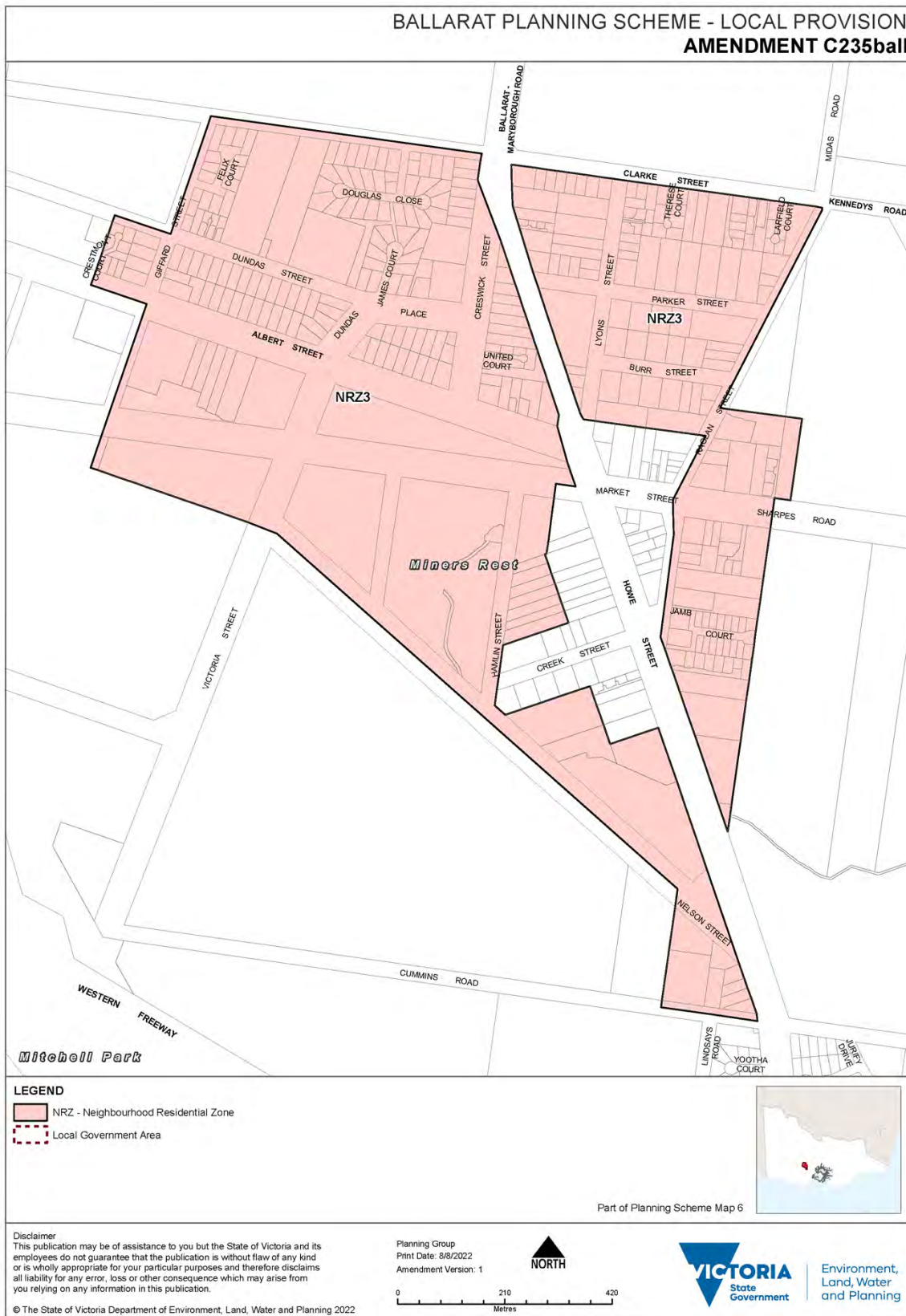


Figure 1 – Miners Rest Study Area, Source: Excerpt from the Miners Rest Township Plan page 9

6. Between 2017 and 2019 the City of Ballarat conducted several community engagement sessions and surveys to identify the key challenges and opportunities for the community and the MRTP was developed, outlining objectives, strategies, and actions to respond to these key challenges and opportunities.
7. The Township Plan also addresses matters relating to land-use, activity, and design guidance within both the public and private realms. It includes initiatives that the City of Ballarat can have a direct role in influencing, facilitating, or implementing, as well as actions and initiatives the Miners Rest community/community groups can take a lead with.
8. Action 28 of the MRTP is:

Prepare and implement a local planning policy into the Ballarat Planning Scheme to provide clear guidance on preferred type, format and location of future residential development and establish a statutory framework for the assessment of planning permit applications
9. The amendment proposes to incorporate the land use planning recommendations of the Miners Rest Township Plan into the Ballarat Planning Scheme.
10. A key element of the land use and planning recommendation in the Miners Rest Township Plan is the protection of the rural township character of the older northern part of Miners Rest. This has been proposed through the rezoning of most of the northern township from General Residential Zone - Schedule 1 (GR1Z1) to Neighbourhood Residential Zone Schedule 3 (NRZ3), see Figure 2.
11. At its 11 December 2019 meeting, Council resolved to adopt the Miners Rest Township Plan. It also resolved to request the Minister for Planning to authorise the preparation and exhibition of the amendment, pursuant to Section 8A of the *Planning and Environment Act 1987*.
12. The City of Ballarat, with support from the Department of Transport and Planning (DPT) (previously DELWP) Regional Hub, prepared the amendment documentation.
13. On 24 October 2022, the Minister for Planning authorised the preparation and exhibition of the Amendment.
14. Public notice of the exhibition was given between 17 November 2022 and 19 December 2022. Public notice was given through letters to the owners and occupiers in Miners Rest township and surrounds, public notice in the Ballarat Times, the Government Gazette, social media and posters located around Miners Rest.
15. A total of eight (8) submissions were received from the community, one (1) of these was withdrawn, and three were received from Government Authorities; Glenelg Hopkins Catchment Management Authority (GHCMA), the Environmental Protection Authority (EPA) and Country Fire Authority (CFA).
16. At the 8 March 2023 Planning Delegated Committee meeting, Council considered the submissions and resolved to refer the amendment to Panels Victoria.
17. Panels Victoria held a directions hearing on 20 April 2023, and a Planning Panel hearing was conducted from 22 May 2023 to 25 May 2023.



001

Figure 2 - Proposed NRZ3 Zone Map, Source: C235ball exhibition material City of Ballarat 2022

18. During the hearing the Panel heard from the City of Ballarat and several community members, or their legal representatives, who had lodged submissions.

19. On 7 July 2023 Panel's Victoria released the Panel Report on the Ballarat Planning Scheme Amendment, C235ball, with a recommendation that Ballarat Planning Scheme Amendment C235ball be adopted as exhibited. This report is attached.

Independent Planning Panel

20. The Planning Panel process provides for an independent review of submissions and offers a further opportunity for submitters to have their submissions considered and to directly address an independent Planning Panel appointed by the Minister for Planning, including calling any expert evidence. This provided a fair, robust and transparent process enabling stakeholder interests to be fully considered and reconciled where possible.
21. In preparing its report and recommendations, the Panel considered all written submissions referred to it by Council and the oral and written reports and documents presented through the hearing.
22. All submitters have been directly notified of this upcoming meeting.

KEY MATTERS

Summary of report recommendations

23. The Panel recommended that Ballarat Planning Scheme Amendment C235ball be adopted as exhibited.

Options for Council

24. After considering the Panel Report, Council has the options to either:
- adopt the amendment as exhibited,
 - change the amendment, or
 - to abandon the amendment or part of the amendment.

OFFICER RECOMMENDATION

- 25. That the Planning Delegated Committee:**
- 25.1 Note the Amendment C235ball Planning Panel Report recommendation that Ballarat Planning Scheme Amendment C235ball be adopted as exhibited.**
 - 25.2 Accept the recommendation by the independent Planning Panel for Amendment C235ball to the Ballarat Planning Scheme.**
 - 25.3 Adopt Amendment C235ball to the Ballarat Planning Scheme as exhibited pursuant to section 29 of the Planning and Environment Act 1987.**
 - 25.4 Submit the adopted Amendment C235ball to the Minister for Planning requesting approval pursuant to section 31(1) of the Planning and Environment Act 1987.**
 - 25.5 Notify all submitters of the Planning Delegated Committee' resolution to accept all the independent Planning Panel's recommendations; adopt**

Amendment C235ball and submit the Amendment to the Minister for Planning for approval.

ATTACHMENTS

1. Governance Review [6.1.1 - 2 pages]
2. Ballarat C 235 ball Panel Report [6.1.2 - 49 pages]
3. Ballarat C 235 ball 001 Zone Map 06 Exhibition [6.1.3 - 1 page]
4. 21.02 SETTLEMENT AND HOUSING [6.1.4 - 6 pages]
5. 21.09 LOCAL AREAS [6.1.5 - 13 pages]
6. 21.10 REFERENCE DOCUMENTS [6.1.6 - 2 pages]
7. SCHEDULE 3 TO CLAUSE 32.09 NEIGHBOURHOOD RESIDENTIAL ZONE [6.1.7 - 2 pages]
8. The Miners Rest Township Plan Report (Adopted December 2019) [6.1.8 - 65 pages]

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ALIGNMENT WITH COUNCIL VISION, COUNCIL PLAN, STRATEGIES AND POLICIES

1. This report aligns with Council's Vision, Council Plan, Strategies and Policies.

COMMUNITY IMPACT

2. The inclusion of the Miner Rest Township Plan (MRTP), as exhibited as per the recommendation of Panels Victoria, in the Ballarat Planning Scheme will have positive social and community impacts by seeking to enable the land use and planning elements of the community's vision for the Miners Rest Township to guide all land use and planning decisions in the town.

CLIMATE EMERGENCY AND ENVIRONMENTAL SUSTAINABILITY IMPLICATIONS

3. This amendment does not raise any direct climate emergency issues or environmental sustainability implications.

ECONOMIC SUSTAINABILITY IMPLICATIONS

4. There are no economic sustainability implications identified for the subject of this report.

FINANCIAL IMPLICATIONS

5. The finalisation of the amendment process will not have any significant financial implications to Council with the exception of the usual cost associated with the planning scheme amendment process.
6. As the proponent is the Planning Authority, the City of Ballarat will be responsible for all amendment related costs including notification of landowners and Gazettal of the amendment.

LEGAL AND RISK CONSIDERATIONS

7. The amendment does not raise any legal risks or concerns of note.
8. Section 9(1) of the *Local Government Act 2020* states that a Council must - in the performance of its role - give effect to the overarching governance principles of the Act. This includes Section 2 which states that:
 - c) the economic, social, and environmental sustainability of the municipal district, including mitigation and planning for climate change risks, is to be promoted,
 - d) the municipal community is to be engaged in strategic planning and strategic decision making,
 - f) collaboration with other Councils and Governments and statutory bodies is to be sought' and,
 - g) the ongoing financial viability of the Council is to be ensured.

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9. The Amendment gives effect to the overarching governance principles by providing for local area planning to implement the Ballarat Strategy 2040 subject to a robust assessment.
10. The *Planning and Environment Act 1987* (the Act) sets out the framework for the use, development, and protection of land in Victoria in the present and long-term interests of all Victorians. The Amendment seeks provides a long-term planning and design vision for the Miners Rest township and surrounds introducing planning scheme controls to protect the character of the old Miners Rest township.
11. Divisions 3 and 4 of Part 3 of the Act set out the procedure for a planning scheme amendment and the relevant provisions in relation to adoption and approval of an amendment by the planning authority. The recommendations set out in this report are consistent with the Act.

HUMAN RIGHTS CONSIDERATIONS

12. It is considered that the report does not impact on any human rights identified in the *Charter of Human Rights and Responsibilities Act 2006*.

COMMUNITY CONSULTATION AND ENGAGEMENT

13. Between 2017 and 2019 the City of Ballarat conducted multiple community engagement sessions and surveys to identify the key challenges and opportunities for the community and the MRTP was developed, outlining objectives, strategies and actions to respond to these key challenges and opportunities.
14. Public notice of the exhibition was given through letters to the owners and occupiers in Miners Rest township and surrounds, public notice in the Ballarat Times, the Government Gazette, social media and through posters located around Miners Rest.
15. The amendment was referred to Panels Victoria following submissions that requested changes to the Miners Rest Township Plan. Panel was held in May 2023 and all parties were heard by Panel. The Panel report has recommended adoption of the Amendment C235ball Ballarat Planning Scheme as exhibited.

GENDER EQUALITY ACT 2020

16. There are no gender equality implications identified for the subject of this report.

CONFLICTS OF INTEREST THAT HAVE ARISEN IN PREPARATION OF THE REPORT

17. Council officers affirm that no general or material conflicts need to be declared in relation to the matter of this report.

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**Planning
Panels
Victoria**

**Ballarat Planning Scheme Amendment C235ball
Miners Rest Township Plan**

Panel Report

Planning and Environment Act 1987

7 July 2023



How will this report be used?

This is a brief description of how this report will be used for the benefit of people unfamiliar with the planning system. If you have concerns about a specific issue you should seek independent advice.

The planning authority must consider this report before deciding whether or not to adopt the Amendment.
[section 27(1) of the *Planning and Environment Act 1987* (the PE Act)]

For the Amendment to proceed, it must be adopted by the planning authority and then sent to the Minister for Planning for approval.

The planning authority is not obliged to follow the recommendations of the Panel, but it must give its reasons if it does not follow the recommendations. [section 31 (1) of the PE Act, and section 9 of the *Planning and Environment Regulations 2015*]

If approved by the Minister for Planning a formal change will be made to the planning scheme. Notice of approval of the Amendment will be published in the Government Gazette. [section 37 of the PE Act]

Planning Panels Victoria acknowledges the Wurundjeri Woi Wurrung People as the traditional custodians of the land on which our office is located. We pay our respects to their Elders past and present.

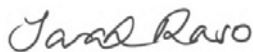
Planning and Environment Act 1987

Panel Report pursuant to section 25 of the PE Act

Ballarat Planning Scheme Amendment C235ball

Miners Rest Township Plan

7 July 2023



Sarah Raso, Chair



Michael Ballock, Member

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Glossary and abbreviations

1-11 Victoria Street	1-11 Victoria Street, Miners Rest
the Amendment	Ballarat Planning Scheme Amendment C235ball
Ballarat North PSP	Ballarat North Precinct Structure Plan
Character Report	Miners Rest North Township Character Assessment (November 2019)
Council	City of Ballarat
EPA	Environment Protection Authority
former quarry land	13-91 Victoria Street, Miners Rest
GHCMA	Glenelg Hopkins Catchment Management Authority
GRZ	General Residential Zone
GRZ1	General Residential Zone Schedule 1
MRTP	Miners Rest Township Plan
MUZ	Mixed Use Zone
NGA	Northern Growth Area
NRZ	Neighbourhood Residential Zone
NRZ3	Neighbourhood Residential Zone Schedule 3

PE Act	<i>Planning and Environment Act 1987</i>
Planning Scheme	Ballarat Planning Scheme
PPN91	Planning Practice Note 91: Using the residential zones
Resi	Resi Ventures Pty Ltd
subdivision permit	Planning Permit No. PLP/2017/585
SUZ13	Special Use Zone Schedule 13 (Thoroughbred Horse Training Facilities)
UDP	Urban Development Program

Overview

Amendment summary	
The Amendment	Ballarat Planning Scheme Amendment C235ball
Common name	Miners Rest Township Plan
Brief description	Implementation of the key land use planning directions contained in the Miners Rest Township Plan
Subject land	All land located in and around the township of Miners Rest
Planning Authority	City of Ballarat
Authorisation	24 October 2022 with conditions
Exhibition	17 November to 19 December 2022
Submissions	Number of Submissions: 10
Panel process	
The Panel	Sarah Raso (Chair), Michael Ballock
Directions Hearing	Video Conference, 20 April 2023
Panel Hearing	North Ballarat Sport Club, 22 and 23 May 2023 Hearing Room 1, 1 Spring Street, Melbourne, 24 May 2023 Video Conference, 25 May 2023
Site inspections	Accompanied (in part), 23 May 2023
Parties to the Hearing	City of Ballarat represented by Mr Jason Kane of Counsel instructed by Susan Perera of Council S and K Kennedy; C, H and M Yorke; J Thompson and V Eford; A Smith and M Clifford represented by Neil Haydon of Neil Haydon & Associates Pty Ltd A Ford Committee of Miners Rest represented by Alicia Bond G Tillet Resi Ventures Pty Ltd represented by Alexandra Guild of Counsel instructed by Carlyna Yap of Gadens
Citation	Ballarat PSA C235ball [2023] PPV
Date of this report	7 July 2023

Executive summary

The Miners Rest township is located immediately north of the Western Freeway, approximately 12 kilometres north of the Ballarat Central Business District. Miners Rest is characterised by an original township area and new residential estates. From the 1980s to present, the population of Miners Rest has steadily grown with a current population of approximately 3,829.

Ballarat Planning Scheme Amendment C235ball proposes to implement the key land use planning directions contained in the Miners Rest Township Plan into the Ballarat Planning Scheme.

The Miners Rest Township Plan was prepared following extensive community consultation. It is a strategic plan that sets out a vision for Miners Rest and seeks to provide strategic guidance in relation to its future growth and development until 2040. The Miners Rest Township Plan seeks to protect the town's rural township character through a range of strategies and actions. Notably, it proposes to rezone existing residential areas of Miners Rest North (the original town) from General Residential Zone to Neighbourhood Residential Zone to protect the preferred neighbourhood character and to manage the form and style of residential subdivision, land use, and development.

Key issues raised by submitters included:

- impacts associated with the rezoning of land to Neighbourhood Residential Zone Schedule 3 including constraining land supply and housing affordability
- recognition the former Miners Rest basalt quarry can contribute to residential land supply in the short term
- age of the strategic work underpinning the Amendment
- further rezoning of land not already proposed to be rezoned to Neighbourhood Residential Zone Schedule 3
- reconstruction of the Cobb & Co stables
- inclusion of flooding controls
- inclusion of landholdings in the Equine Precinct shown on the Miners Rest Township Plan.

The Panel concludes the Miners Rest Township Plan has a strong State, regional and strategic basis and is an appropriate, timely and orderly response to the development of strategy and structure planning for Miners Rest. It aligns with the policies of the Ballarat Planning Scheme and its inclusion as a background document is appropriate.

The exhibited changes to Clause 21.09-5 (Local Areas Miners Rest) which update the Miners Rest policy are appropriate and consistent with the Miners Rest Township Plan. Equally the proposed rezoning of land in the General Residential Schedule 1 to Neighbourhood Residential Zone Schedule 3 will support the retention of the valued character of the township.

In relation to specific issues raised, the Panel concludes:

- the Amendment will not negatively impact residential land supply and demand in the City of Ballarat
- there is insufficient strategic justification for the former Miners Rest basalt quarry being brought forward for development in the short term
- the restriction on the development of land at 415 Cummins Road, Miners Rest in the Miners Rest Township Plan is appropriate

- it is not appropriate to include 375 and 389 Gilles Road, 139 Kennedys Road and Crown Allotment 27 Section 5 Parish of Dowling Forest Sharpes Road, Miners Rest in the Miners Rest Township Plan Equine Precinct ahead of the review of the planning controls in the Equine Precinct.

Recommendations

Based on the reasons set out in this report, the Panel recommends that Ballarat Planning Scheme Amendment C235ball be adopted as exhibited.

1 Introduction

1.1 The Amendment

(i) Amendment description

Ballarat Planning Scheme Amendment C235ball (the Amendment) proposes to implement the key land use planning directions contained in the Miners Rest Township Plan (MRTP) into the Ballarat Planning Scheme (Planning Scheme).

Specifically, the Amendment proposes to:

- amend Clause 21.09-5 (Local Areas Miners Rest) to implement the key land use planning directions contained in the MRTP
- amend Clause 21.02-9 (Implementation) to delete reference to the need to prepare a local area plan or community plan for Miners Rest
- amend Clause 21.10 (Reference Documents) to include reference to the MRTP
- rezone the areas of Miners Rest North from General Residential Zone Schedule 1 (GRZ1) to a new Neighbourhood Residential Zone Schedule 3 (NRZ3), except the area of GRZ1 which forms part of the town centre (immediately south of Creek Street) (see Figure 1)
- include variations to Clauses 54 and 55: minimum subdivision area (750 square metres), maximum building site coverage (45 per cent), minimum permeability (45 per cent) and landscaping requirements in NRZ3.

Figure 1 Land proposed for rezoning from GRZ1 to NRZ3



(ii) The subject land

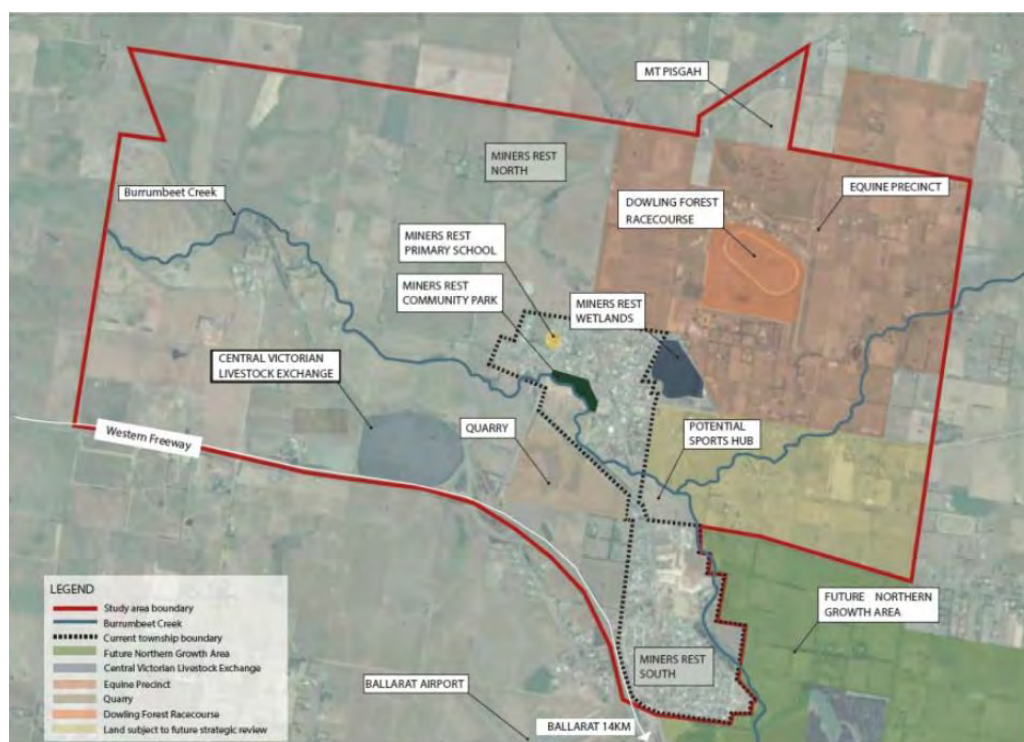
The Amendment applies to all land located in and around the township of Miners Rest as shown in Figure 2.

The Miners Rest township is located immediately north of the Western Freeway, approximately 12 kilometres north of the Ballarat Central Business District. The township is physically separated from the outer northern edge of Ballarat by the Western Freeway. Miners Rest is characterised by the original township area located to the north of Cummins Road and the new residential estates of Macarthur Park and Sunraysia Heights Estate located south of Cummins Road towards the Western Freeway.

From the 1980s to present, the population of Miners Rest has steadily grown with a current population of approximately 3829.¹

Miners Rest has a primary school, a supermarket, a hotel, a Mechanics' Institute, a Uniting Church and a former basalt quarry. The Miners Rest quarry was a former basalt quarry that was operated by Boral Ltd. The quarry which is located within Miners Rest ceased extraction in 2017 and is currently being rehabilitated. The quarry is now flooded and is closed to the public.

Figure 2 Land affected by the Amendment



Miners Rest has two distinct characters. The northern Miners Rest area is defined by large residential lots where dwellings are visually separate from one another, dwellings are generally

¹ ABS Census Data, Miners Rest 2021.

single level and enjoy a sense of space, openness and a rural Village feel. The rural character of Miners Rest North is highly valued by the Miners Rest community.

The southern Miners Rest area is defined by smaller residential lots, more intensive development, and a traditional suburban feel.

To the northeast of the Miners Rest Village, is the Ballarat Racecourse located at Dowling Forest. The Racecourse is surrounded by a large Equine Precinct which is one of the major thoroughbred training centres in Victoria. The estimated economic benefits of the Racecourse and the Equine Precinct to the Central Highlands Regions is around \$60 million annually.²

The Central Victorian Livestock Exchange is located to the southwest of the Miners Rest Village. Construction of the Exchange was completed in 2018. The Exchange is one of Victoria's largest livestock saleyards and is an important contributor to the region's economy.

The Victorian Planning Authority is currently preparing the Ballarat North Precinct Structure Plan (Ballarat North PSP) for 832 hectares of land immediately adjacent to Miners Rest. The land that is the subject of the Ballarat North PSP is divided into a core area (561 hectares) and expanded area (271 hectares).

1.2 Background

(i) Chronology of events

The Council provided a detailed background to the Amendment in its Part A submission, including a chronology of events which the Panel has summarised in Table 1.

Table 1 Chronology of events

Date	Event
2017	Council commenced community and stakeholder consultation to inform the Township Plan for Miners Rest. The consultation included workshops to gather community and stakeholder views regarding the future development of Miners Rest. The workshops were attended by more than 50 members of the Miners Rest community. Council also received 12 written submissions, including submissions from government agencies and authorities. A community survey was conducted to understand what the community loved about Miners Rest.
2018	Draft MRTP released for public comment Council conducted a survey to provide the community with an opportunity to provide feedback on the draft MRTP. Council received 45 community responses. The feedback related to flood mitigation and Burrumbeet Creek improvements; areas for growth and new housing; traffic management and improved pedestrian safety; relocation of the primary school; protection of town character; and new sporting facilities In response to the feedback, the MRTP was amended with the

² Document 10.

Date	Event
	changes reflected in the adopted MRTTP
11 December 2019	Council adopted the MRTTP Council resolved to seek authorisation from the Minister for Planning to prepare and exhibit the Amendment
24 October 2022	Authorisation of the Amendment approved subject to conditions
17 November to 19 December 2022	Exhibition of the Amendment Consultation with Country Fire Authority, Glenelg Hopkins Catchment Management Authority (GHCMA) and the Environment Protection Authority (EPA)
8 March 2023	Council resolved to: - note and accept all submissions received - request the Minister for Planning to appoint an Independent Panel to consider all submissions
20 April 2023	Directions Hearing
23 May 2023	Unaccompanied site inspection of the subject land, accompanied site inspection of the quarry
22, 23, 24 and 25 March 2023	Panel Hearings

1.3 Expert evidence

The Panel had the benefit of expert evidence from six experts as shown in Table 2.³

Table 2 Summary of experts

Party	Expert	Expertise	Firm
Council	Mr Andrew Clarke	Planning	Matrix Planning Australia Pty Ltd
Resi Ventures Pty Ltd	Mr Rob Milner	Planning	Milner Advisory
	Mr Paul Shipp	Land economics	Urban Enterprise
	Mr Darren Tardio	Aircraft noise	Enfield Acoustics
	Mr Ian Jennings	Aviation	Chiron Aviation Consultants
	Mr Rob Swan	Drainage and flooding	Hydrology and Risk Consulting

1.4 The Panel's approach

Key issues raised in submissions were:

- impacts associated with the rezoning of land to NRZ3 including constraining land supply and housing affordability
- recognition in the MRTTP that the former Miners Rest basalt quarry can contribute to residential land supply in the short term
- age of the strategic work underpinning the Amendment

³ Resi Ventures Pty Ltd did not call Mr Tardio, Mr Jennings or Mr Swan to give evidence at the Hearing.

- further rezoning of land not already proposed to be rezoned to NRZ3
- reconstruction of the Cobb & Co stables
- inclusion of flooding controls
- inclusion of landholdings in the Equine Precinct shown on the MRTP.

The Panel has assessed the Amendment against the principles of net community benefit and sustainable development, as set out in Clause 71.02-3 (Integrated decision making) of the Planning Scheme.

The Panel considered all written submissions made in response to the exhibition of the Amendment, observations from site visits and submissions, evidence and other material presented to it during the Hearing. It has reviewed a large volume of material and has had to be selective in referring to the more relevant or determinative material in the report. All submissions and materials have been considered by the Panel in reaching its conclusions, regardless of whether they are specifically mentioned in the report.

This report deals with the issues under the following headings:

- Strategic issues
- Housing supply and demand
- Neighbourhood Residential Zone
- Specific sites.

1.5 Limitations

The EPA supported the Amendment but noted the quarry will need to complete a full environmental assessment if the land is proposed to be used for a sensitive land use in the future. The Panel notes the EPA's comments. However, it is not proposed to rezone the quarry to a sensitive land use as part of the Amendment.

The GHCMA supported the Amendment but sought a change to the planning controls as they relate to flooding based on updated flood modelling and information. This process is separate to the Amendment and requires the input and funding of several governmental stakeholders and landowners. Council has indicated it will continue to work with the GHCMA to ensure the flood management overlays reflect up to date modelling which will form the basis of a future planning scheme amendment. The Panel acknowledges and supports this approach and has not considered this matter any further.

Submitter 2 sought the reconstruction of the Cobb & Co stables to be part of the MRTP. Council acknowledged the reconstruction of the Cobb & Co stables is a possible heritage project that would need funding, investigation and a detailed heritage assessment. Council indicated it would support further consultation outside of the MRTP and the Amendment process, to determine whether the Cobb & Co stables could be reconstructed as part of a community or Council supported heritage project. The Panel acknowledges and supports this approach and has not considered this matter any further.

The Panel has not addressed detailed drafting issues beyond the issues raised in submissions.

2 Strategic issues

2.1 Planning context

This chapter identifies planning context relevant to the Amendment. Appendix C highlights key imperatives of relevant provisions and policies.

Table 3 Planning context

	Relevant references
Victorian planning objectives	- section 4 of the <i>Planning and Environment Act 1987</i> (PE Act)
Planning Policy Framework	- Clauses 11.01S (Settlement), 11.01-1R (Settlement – Central Highlands), 11.02-1S (Supply of Urban Land), 11.03 (Planning for Places), 11.03-2S (Growth areas), 11.03-6S (Regional and local places) - Clause 15.01-5S (Neighbourhood character) - Clauses 16.01-1S (Housing supply), 16.01-2S (Housing affordability) - Clauses 21.01-4 (Key issues), 21.02-1 (Urban growth), 21.02-6 (Townships), 21.09 (Local areas), 21.09-5 (Miners Rest)
Other planning strategies and policies	- Plan Melbourne Direction 4, Policies 4.1, 4.2 - Miners Rest Township Plan
Planning scheme provisions	- General Residential Zone - Neighbourhood Residential Zone
Ministerial directions	- Ministerial Direction 11 (Strategic Assessment of Amendments)
Planning practice notes	- Planning Practice Note 46: Strategic Assessment Guidelines, August 2018 - Planning Practice Note 91: Using the residential zones (PPN91)

2.2 Strategic justification

(i) Issue

The issue is whether the Amendment is strategically justified.

(ii) Miners Rest Township Plan

The MRTP sets out a strategic framework to manage and guide future land use and development in Miners Rest through to 2040. It is based on the following vision:

In 2040 Miners Rest will be:

- A family orientated rural township with a friendly and inclusive community spirit.
- A compact and contained township functioning as a separate 'satellite' settlement to Ballarat.
- A rural township character which is positively influenced by the surrounding open rural landscape.
- A township with ample commercial uses and activities to meets the day-to-day needs of the local community and businesses.
- A vibrant, inviting and attractive township with well- designed, tree-lined streetscapes and pedestrian/cycling connections linking major community hubs.

- A township recognised and celebrated for its significant equine industry.
- A township with ample public transport options and the safe management of vehicle traffic.⁴

As well as extensive community consultation, the MRTP was informed by:

- the Miners Rest Township Plan: Background Research and Analysis Report (November 2019)
- 'What you said' Community Consultation Report (May 2017)
- the Miners Rest Township Plan Issues and Opportunities Paper (August 2017)
- the Draft Miners Rest Township Plan (July 2018, November 2018 and June 2019)
- the Miners Rest North Township Character Assessment (November 2019) (Character Report)
- referral and statutory authorities.

The MRTP is intended to address issues of land use planning and design in the public realm and was framed around the following three themes and related objectives:

Theme 1: Celebrate Miners Rest's historic and natural assets

- Objective 1: To increase knowledge and promotion of Aboriginal and European history of the township and region
- Objective 2: To improve the environmental quality of Burrumbeet Creek and increase public access to this natural environmental asset
- Objective 3: To protect agricultural land and support farming activities on land surrounding Miners Rest
- Objective 4: To acknowledge and protect key iconic rural landscape views providing a unique and attractive setting for Miners Rest.

Theme 2: Establish a connected and unified township and community

- Objective 5: To improve streetscape amenity through targeted streetscape planting
- Objective 6: To improve pedestrian and cycling connections throughout the township, including links to local commercial and community activity nodes and to Ballarat
- Objective 7: To minimise pedestrian and vehicle conflict zones, including streets surrounding the primary school
- Objective 8: To manage traffic speed within and surrounding the township
- Objective 9: To support the development of community- based initiatives and programs
- Objective 10: To improve local public transport options.

Theme 3: Facilitate township growth & prosperity, and maintain character

- Objective 11: To facilitate targeted opportunities for the growth of the township, and the targeted development of well-designed infill housing, to suit lifestyle choices and assist ageing in place
- Objective 12: To encourage new forms of residential and commercial development on vacant Mixed Use Zone (MUZ) land and develop a township heart through the definition and strengthening of the commercial/retail role
- Objective 13: To manage and appropriately respond to the impact of flooding throughout Miners Rest
- Objective 14: To acknowledge, support and promote the expansion of the equine industry and business activities
- Objective 15: To designate appropriate locations for potential school, sporting, recreational and community infrastructure

⁴ Miners Rest Township Plan, page 6.

- Objective 16: protect the long-term functional operations of Ballarat Airport plan for long-term growth in appropriate locations.⁵

Key issues and opportunities are explored for each theme. The objectives for each theme are supported by strategies which identify 45 actions.

The key recommendations of the MRTP are contained in the Township Plan (Figure 3).⁶

Figure 3 MRTP - Township Plan



The MRTP is intended to be implemented over a 10 to 15 year period. It contains a recommendation to develop a new local policy for Miners Rest which should include and address:

- planning related objectives and strategies as outlined within the MRTP
- rezoning residential land in Miners Rest North from General Residential Zone (GRZ) to Neighbourhood Residential Zone (NRZ) with a schedule designed to protect character
- clear guidance that medium density development is directed to the current MUZ and discouraged from other parts of the township and land to the south of the town centre
- the Miners Rest Township Plan diagram
- the Town Centre Framework Plan, or otherwise inclusion of text summarising the intended design outcomes on private land
- a statutory assessment framework to be applied to the designated ‘investigation area precinct’ which would function to protect the future functional operation of Ballarat Airport.

⁵ Miners Rest Township Plan, pages 6-7.
⁶ Ibid, page 50.

(iii) Evidence and submissions

Council submitted there is strong support in the Planning Scheme, at both the State and Local levels, for the development of a township plan for Miners Rest. It submitted the origin of the Amendment is found in *Today, Tomorrow, Together: The Ballarat Strategy (2015)* which is its long-term spatial strategy to guide future growth. Among other things, the Strategy proposes the preparation of six township plans for Ballarat's rural villages: Buninyong; Burrumbeet, Cardigan Village, Learmonth, Miners Rest and Warrenheip. Council said the:

...purpose of each Township Plan is to outline a long-term vision for each village and to provide strategic guidance in relation to future growth and development.⁷

Council considered there was currently insufficient strategic direction and guidance in the Planning Scheme for decision makers, the community, and other stakeholders regarding how Miners Rest is to accommodate residential growth, the location of that growth and the maintenance of a rural village feel. Council submitted the Amendment was "*critical to fill this void*"⁸ in the Planning Scheme.

Specifically, Council said Clauses 11.03 (Planning for Places) and 21.02-6 (Townships) provided significant support for the development of the MRTTP, while Clause 21.09-5, which details land use strategies for Miners Rest, required the development of "*a local area plan for Miners Rest*".

Council highlighted the Ballarat Housing Framework Plan in Clause 21.02-6 (Townships) which provides guidance and direction on settlement, housing, and urban growth in the municipality. It recognises that Ballarat will undergo significant population growth by 2040 and it nominates Miners Rest as an ongoing change area, which encourages limited growth at a scale and density appropriate to the area.

Council submitted that:

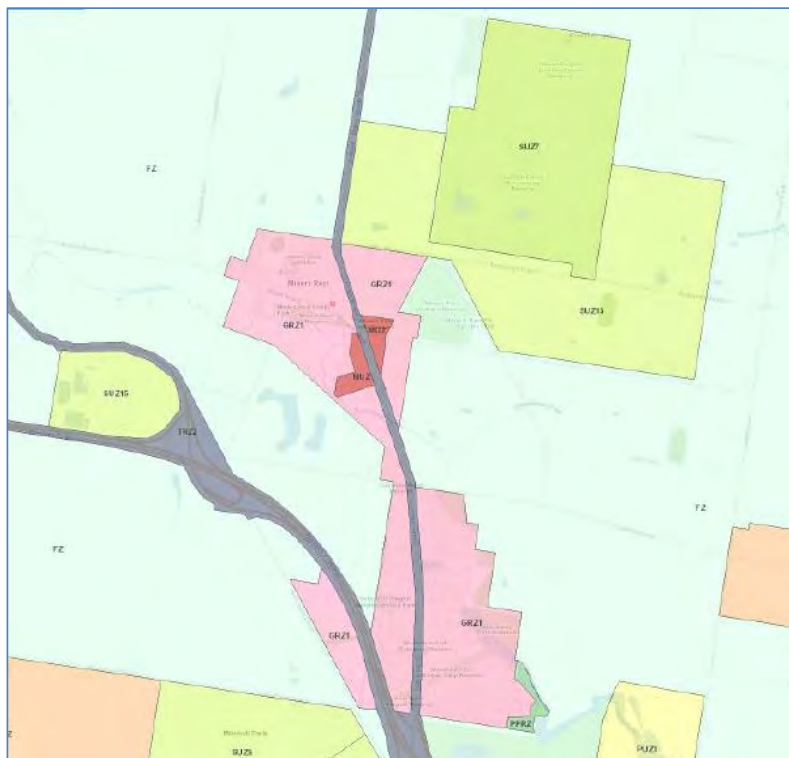
- unlike many other areas within Ballarat, Miners Rest is not a town where there is a high level of strategic support for the provision of an increase in housing density or infill development
- while infill development is contemplated in ongoing change areas (through Clause 21.02-5), it must be at a scale appropriate to the areas relative distance to public transport, activity centres and employment, and considering neighbourhood character
- Miners Rest is not part of the main urban area of Ballarat and is remote from high frequency public transport corridors and higher order activity centres.

Council noted that several different zones apply across MRTTP study area (Figure 4). A key element of the land use and planning recommendation in the MRTTP is the protection of the rural township character of the older northern part of Miners Rest. Council said this has been proposed through the rezoning of most of the northern township from GRZ to NRZ with a Schedule to control lot size, site coverage, setbacks, dwelling heights, and landscaping requirements.

⁷ Document 10.

⁸ Ibid.

Figure 4 Planning Scheme land use zones in the MRTP study area



Mr Clarke gave evidence the MRTP provides a long-term planning and design vision for the township. He added:

- the Amendment implements the Municipal Strategic Statement action of developing a local plan for Miners Rest
- the background reports and analysis were appropriate for the size and role of Miners Rest and:
 - ... the background reporting appears to me on face value to provide ample strategic planning justification for the MRTP.

Mr Clarke concluded there is a strong strategic basis for the Amendment in terms of existing State, regional and local policy frameworks and the MRTP balances the objectives of accommodating both a housing strategy and neighbourhood character strategy.

Resi Ventures Pty Ltd (Resi) supported the Amendment but sought changes related to its Victoria Street land holdings.

Mr Milner said:

The Amendment is an appropriate, timely and orderly response to the development of strategy and structure planning for Miners Rest and aligns with the expectations of planning for the small towns and communities of Ballarat.

Mr Milner concluded the MRTP was an appropriately prepared strategic planning document based on sound background documents and community engagement.

Both the Committee for Miners Rest and submitter 10 supported the Amendment as a means of implementing the community's wishes for the future development of Miners Rest.

(iv) Discussion and conclusion

The Panel accepts the evidence of both Mr Clarke and Mr Milner that the MRTP is an appropriately crafted strategic document informed by relevant background reports and significant community consultation. The three themes and associated objectives of MRTP provide a sound basis to guide the future development of the township consistent with the provisions of the Planning Scheme.

Much of the substance of the Amendment, including the proposals to revise Clause 21.09-5 and rezone most of the GRZ1 zoned land to NRZ3, has its origins in the strategies and actions of the MRTP. In addition, the MRTP itself is intended to be included in the Planning Scheme as a reference document.

The MRTP has a strong State, regional and strategic basis which forms the strategic justification for the Amendment. The Amendment is an appropriate, timely and orderly response to the development of strategy and structure planning for Miners Rest and aligns with the policies of the Planning Scheme. It is based on comprehensive analysis and consultation, provides a clear vision for Miners Rest, and provides planning guidance to ensure that the valued local character of Miners Rest North is protected.

The Panel concludes the Amendment:

- is supported by, and implements, the relevant sections of the Planning Policy Framework
- is consistent with the relevant Ministerial Directions and Practice Notes
- is well founded and strategically justified.

2.3 13-91 Victoria Street, Miners Rest**(i) The issue**

The issue is whether there is sufficient strategic support to prioritise the investigation of the land at 13-91 Victoria Street, Miners Rest (former quarry land) for short term residential development.

(ii) Background

Resi is the developer of two adjoining sites located at 1-11 Victoria Street, Miners Rest (1-11 Victoria Street) and the former quarry land.

1-11 Victoria Street has an area of approximately 10.9 hectares, is comprised of 15 titles, lies within the current township boundary, and is included in the GRZ1.

The former quarry land has an area of approximately 47.4 hectares, is contained in 4 titles and some 31 Crown allotments plus roads, lies immediately outside the township boundary and is included in the Farming Zone. The current zoning of both sites is shown in Figure 5.

Figure 5 Resi landholdings (bordered in red)



Source: Document 28

The former quarry land is subject in part to the following overlays:

- Environmental Significance Overlay Schedule 2
- Land Subject to Inundation Overlay
- Erosion Management Overlay
- Floodway Overlay.

The land is within a designated Bushfire Prone Area and partly in an Area of Aboriginal Cultural Heritage Sensitivity.

The former quarry land was operated as a basalt quarry by Boral until 2017 and is currently being rehabilitated and remediated. Resi has separately sought rezoning of the former quarry land and a planning permit for subdivision to enable residential development (under section 96A of the PE Act) and intends to continue to pursue this application. Figure 6 details the proposed residential subdivision layout sought.

Figure 6 Proposed residential development of the quarry land



Source: Expert evidence statement of Robert Milner

The MRTP Township Plan (Figure 3) designated the former quarry land as:

Potential residential growth area, subject to further analysis of potential aircraft noise against the National Airports Safeguarding Framework (NASF) (Refer also to proposed assessment criteria within the Township Plan).

Table 4 sets out the key actions from the MRTP that are relevant to the former quarry land.

Table 4 Quarry land actions in the MRTP

Action Number	Action
26	Negotiate to provide public access/public open space around and to the former quarry lakes as part of any potential future redevelopment.
27	Require a direct pedestrian access/link to be provided between former quarry site and Creek Street as part of any potential future redevelopment, subject to consideration of potential engineering constraints.
30	Investigate potential for the development of the quarry site subject to feasibility including a noise study.
34	Ensure that any future development of the quarry land includes a direct connection to Creek Street/Miners Rest town centre.

(iii) Evidence and submissions

Resi generally supported the Amendment but sought strengthened support in proposed Clause 21.09-5 of the short-term investigation of the former quarry land for rezoning and residential development (proposed insertion underlined):

Investigate as a short-term priority the potential for the development of the quarry site for alternative uses, subject to further analysis including an aircraft noise study, bushfire risk assessment and land contamination assessment.

Resi submitted the MRTTP was an outdated 2019 document and had not been reset to 2023, meaning it was effectively four years into its 10 to 15 year implementation timeframe. Resi submitted *“the investigation of the Quarry Land for rezoning from 2023 is both literally and practically strictly in accordance with the MRTTP.”*⁹ It submitted:

... the MRTTP provides clear support for the investigation of redevelopment of the former quarry. The support is conditional on satisfaction of technical matters, but those matters have been or will soon be addressed. The status of the technical investigations is sufficiently advanced to give the green light to investigation for rezoning.

Resi considered it was appropriate to immediately investigate the former quarry land for rezoning given the need for greater land supply (see Chapter 3) and Resi’s ability to quickly bring the land to market.

Resi submitted that as the MRTTP recognises, development of the former quarry land would facilitate benefits for the Miners Rest township by providing access to the ‘quarry lakes’, linkages within the township and provide for a different housing product.

Mr Milner said the MRTTP recognised the potential for the former quarry land for future redevelopment and had appropriately required several technical studies be undertaken before *“committing to a precise urban role, urban design outcome and zoning for the site.”*¹⁰ He said the timeframes recommended in the MRTTP Action Plan were no longer relevant or appropriate because of the passage of time and the completed technical work. He said:

Four years have elapsed since the adoption of the plan. It is evident from the work undertaken to date by the landowners, that the feasibility of using the land for a residential role should be clarified with the relevant authorities and agencies within a short period of time so that uncertainty about the role of the site is dispelled and appropriate development might progress.

Mr Milner recommended the addition of the words *“short term priority”* to the relevant paragraph in the *Further strategic work* section of Clause 21.09-5 and considered this to be both minor and appropriate. In recommending this approach, Mr Milner referred to Mr Shipp’s conclusion that:

...the planning policy requirement for at least 15 years supply of residential land is not being met in the City of Ballarat and that further land should be rezoned in the short term to ensure the policy expectation is met and the adverse impacts of a low level of land supply on housing availability and affordability are avoided.¹¹

Council did not support the changes to Clause 21.09-5 proposed by Resi and said the role of the quarry land should be determined by its Housing Strategy which would also have regard to the character of Miners Rest. It submitted:

- it was not the Panel’s role to determine whether the constraints on the land have been addressed sufficiently to justify its short term strategic justification for rezoning
- there is no strategic need or urgency to rezone the former quarry land in the short term to address the housing needs of Miners Rest
- there is little, if any, strategic justification for the rezoning the Quarry land either now or into the future

⁹ Document 28.

¹⁰ Document 17.

¹¹ Ibid.

- what role the former quarry land will play (if any) to potentially accommodate future residential development would be debated during a future planning scheme amendment for this site.

Council added:

Townships, such as Miners Rest North with its valued character, have a limited role in providing additional housing. The Housing Framework Plan does not nominate the former quarry within a Strategic Investigation Area, Greenfield Investigation Area or an Ongoing Change Area. Nor is there any strategic guidance within the current Clause 21.09-5 (Miners Rest) for the quarry to contribute to residential land supply within Miners Rest.¹²

Mr Clarke gave evidence the potential development of the former quarry land should be considered in the municipal context and it was inappropriate to nominate a timeframe before the completion of Council's Housing Strategy.

He said:

There appears to be no apparent urgency to include development of this land as immediate in the MRTP. There is an apparent overall availability of residential land in Ballarat (including at Miners Rest already within the township boundary) the availability of which well exceeds the timeline for consideration and approval of the Housing Strategy.¹³

The Committee for Miners Rest – the only community organisation appearing before the Panel, said:

We support the potential growth of the Miners Rest quarry to be reduced in timing to a quicker timeframe.¹⁴

(iv) Discussion and conclusion

Council and Resi agree that it is inappropriate for the Panel to determine the suitability or otherwise of the development of the former quarry land. The Panel agrees with this position and acknowledges that the timing of the development of the former quarry land more than likely will be determined by the section 96A process and the finalisation of the Housing Strategy, both of which are currently well under way.

As discussed in Chapter 3, there is considerable disagreement about the level of land supply in the City of Ballarat and the potential for development in Miners Rest to impact municipal land supply. The change proposed by Resi is a simple one, which the Panel has no in principle issue with. However, given the imminent finalisation of Council's Housing strategy, at this point in time and with regard to the information presented at the Hearing, any support to change the timeframe would be premature and lack sufficient strategic justification. The quarry land is not identified as a Strategic Investigation Area in the Housing Framework Plan in Clause 22.02. However, it may well be identified in the new Housing Strategy which Council expects to be completed in the September quarter of 2023. Consequently, the Panel does not support Resi's proposed changes.

The Panel concludes:

- There is insufficient strategic support to prioritise the investigation of the land at 13-91 Victoria Street, Miners Rest (former quarry land) for short term residential development.

¹² Document 25.

¹³ Document 14.

¹⁴ Submission 9, page 1.

3 Housing supply and demand

(i) The issue

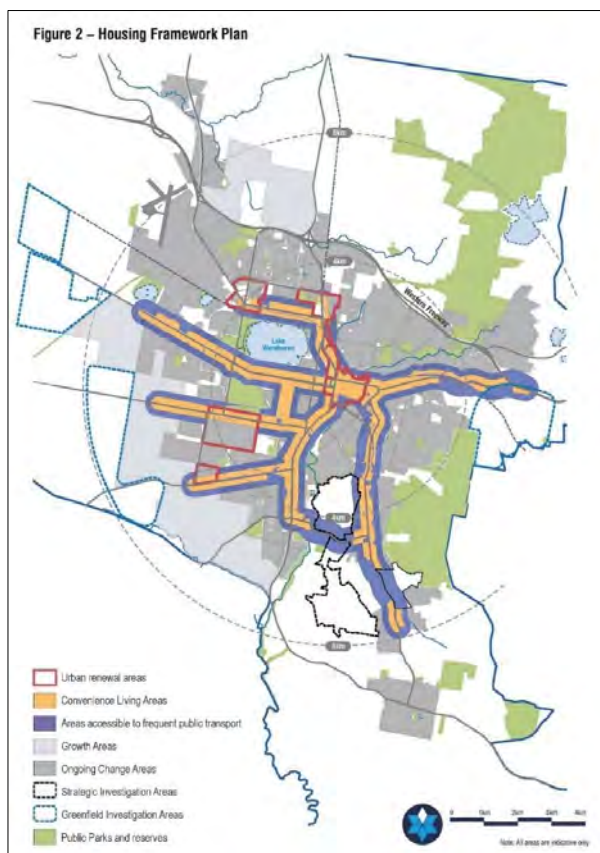
The issue is whether the Amendment will negatively impact housing supply and demand in the City of Ballarat.

(ii) Background

Clause 21.02 (Settlement and Housing) is the main policy dealing with housing demand and supply. The policy provides guidance on change in the following areas (as identified in the Housing Framework Plan (see Figure 7)):

- areas of convenience living.
- urban renewal precincts.
- strategic investigation areas.
- prioritised completion of the Ballarat West Growth Area.
- longer-term greenfield investigation areas.
- townships.
- ongoing change areas.

Figure 7 Housing Framework Plan



Clause 21.02-4 deals with the greenfield investigation areas and states:

The Ballarat West Growth Area is the primary greenfield development area for Ballarat. The Northern Growth Area provides for greenfield development in the short to medium term. Medium to long-term greenfield investigation areas (as identified in Figure 2 - Housing Framework Plan) are subject to more detailed strategic assessment and planning. Identification as an investigation area does not necessarily indicate strategic support for land use change potential.

Clause 21.02-6 deals with the townships and includes the following:

The townships of Buninyong, Burrumbeet, Cardigan Village, Learmonth, Miners Rest and Warrenheip and their surrounding communities provide an attractive lifestyle choice in a rural setting. These townships are valued by residents for their character, community and lifestyle. They represent a different style of living to urban Ballarat and contribute to the diversity of lifestyle and choice in the municipality. Services and infrastructure are unique to each township, as are local values and expectations. Significant land use changes should respond to local township character, and long-term community aspirations.

In some small towns and surrounding rural living communities there is a need for a clear long-term vision. Natural, engineering and cultural considerations place limitations on new growth and development opportunities. Structure and community plans are needed to provide a framework for informing land use planning decisions, directing future growth and development opportunities that respond to community needs.

Clause 21.02-6 includes the following strategies:

- 6.1 Reinforce the township atmosphere and valued local character when managing long-term change in township areas.
- 6.2 Maintain residential development to within existing township boundary.

In terms of land supply and growth, the MRTTP includes the following objectives:

Objective 11: To facilitate targeted opportunities for the growth of the township, and the targeted development of well-designed infill housing, to suit lifestyle choices and assist aging in place

Objective 12: To encourage new forms of residential and commercial development on Mixed Use Zone (MUZ) land and develop a township heart through the definition and strengthening of the commercial/retail role

Objective 17: To plan for long-term growth in appropriate locations.

The MRTTP identifies:

... there is the potential for at least 500 additional residential allotments on existing residentially zoned land. Based on population growth, there is a dwelling demand in the order of 40 dwellings per year. Based on the potential number of allotments, this equals a supply of 12.5 year supply of land.¹⁵

(iii) Evidence and submissions

Resi relied on the evidence of Mr Shipp which said that, having regard to the Ballarat housing market, further land should be rezoned to meet the policy requirement of at least 15 years supply of residential land within the municipality and to avoid the adverse impacts of limited supply on housing availability and affordability.

Resi submitted key themes within the Planning Scheme policy¹⁶ include:

¹⁵ Miners Rest Township Plan, page 46.

¹⁶ See Clauses 11.01-1S (Settlement), 11.01-1R (Settlement: Central Highlands), 11.02-1S (Supply of urban land), 11.03-6S (Regional and local places), 15.01-5S (Neighbourhood character), 16.01-1S (Housing supply), 16.01-2S (Housing affordability), 21.01-4 (Key issues) and 21.02 (Settlement and housing).

- a need to ensure sufficient housing supply, of at least 15 years, across the municipality
- a need to respect local character and aspirations
- a role for townships in providing housing supply, but a lesser role than other areas
- a desire for more compact cities that reduce car dependence and support sustainable transport options
- a concern with affordability of housing.

Resi submitted that since the MRTP was finalised, there has been a COVID-19-driven increase in demand for housing which has significantly impacted the supply of land. Consequently, further land is needed to be rezoned to avoid the impact of a limited supply on housing availability and affordability.

Mr Shipp said Clause 11.02-15 was the most relevant policy regarding the supply of urban land and was the source of the 15 year land supply requirement. He said *“the requirement to plan for growth over at least a 15 year period is the primary quantitative policy direction for planning authorities preparing strategic plans which influence land supply”*.¹⁷ He said this policy direction requires:

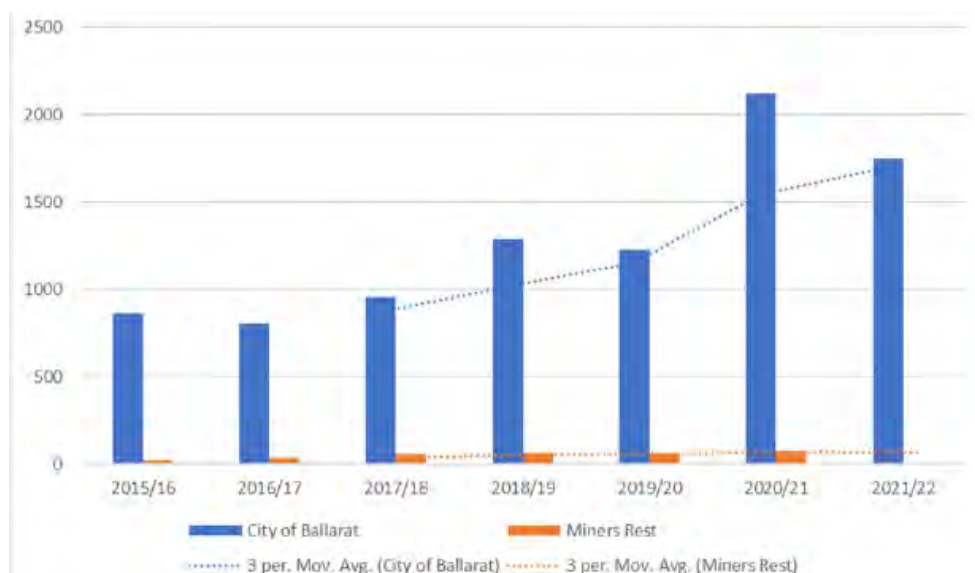
- at a municipal level sufficient residential land supply to meet 15 years of demand
- the land to be either zoned or in the process of being zoned residential
- supply should be considered in the context of housing diversity and affordability.

Mr Shipp’s evidence noted another indicator of housing demand is the rate of construction of new lots (through subdivision) (see Figure 8) and observed:

- The number of lots created in greenfield estates in the City of Ballarat increased strongly in 2020 and 2021 compared with 2018 and 2019.
- An average of 1,307 lots were constructed from 2018 to June 2022, and 1,527 between 2020 and 2022.
- Ballarat West has accounted for 85% of the lots created over the period.
- 212 lots were created in Miners Rest over the period with an average lot size of 646sqm.
- The average size of lots created in the City has decreased from 580sqm in 2018 to 460sqm in 2022.

¹⁷ Shipp Statement of Evidence, page 16.

Figure 8 Dwelling approvals by year 2015/16 to 2021/22



Source: Evidence statement of Mr Shipp

Mr Shipp said:

- over the past five years, property prices in Ballarat and Miners Rest have shown a higher growth rate than the regional Victorian average for vacant land
- Council's population projections did not reflect recent changes to housing demand and consequently understated the level of growth which in turn impacts on the supply needed.

Mr Shipp accepted that the 2018 land supply capacity of Miners Rest was approximately 511 lots which included 220 lots in approved subdivisions. Based on his analysis of aerial photography, of the 220 lots, only 29 remained vacant, meaning that the current supply is in effect 320 lots. He concluded that, adopting the MRTTP projected rate of demand of 40 lots each year, there was 8 years supply in Miners Rest. However, he calculated that the rate of dwelling approvals for 2018 to 2022 was 67 lots each year and, based on that level of demand, there would be five years supply.

Regarding the demand for residential land in the City of Ballarat, Mr Shipp's evidence, using data from the Urban Development Program (UDP), was:

The UDP assesses the adequacy of greenfield land supply by considering two demand indicators:

- The average annual rate of residential lots released between January 2018 and June 2022 (1,307 p.a.).
- The average annual rate of residential lots released between January 2020 and June 2022 (1,527 p.a.).

He informed the Panel that the UDP identified approximately 11,000 lots in greenfield residential land supply in the City of Ballarat and qualified this with the following:

In my experience, it is common for the rate of development in urban growth areas to slow once the majority of larger landholdings are developed. This is because smaller landholdings usually take longer to transact to developers, and coordination of infrastructure delivery and efficient development layouts can be challenging in these circumstances. This usually leads

to a long 'tail' in the rate of development towards the end of a growth area's development timeframe.

As a result, although there is nominally 10,169 lots remaining in the Ballarat West Growth Area, 2,070 are in the process of being developed, and a substantial proportion of the remaining 8,099 lots are in areas that are likely to be slow to develop. I estimate that areas of fragmented landownership have an approximate lot capacity of 1,872 lots - when this yield is discounted, the remaining lot supply is in the order of 6,200 lots.

The implication is that the ability of the Ballarat West Growth Area to continue to supply the vast majority of greenfield lots to a high-demand market is likely to reduce over the short to medium term. As soon as the rate of supply decreases, it will be important in my view for alternative land supply options to be available to the market so as not to result in adverse housing availability and affordability issues.

Mr Shipp said:

- Council was relying of the development of the Northern, North Western and Western Growth Areas to provide the future land supply
- there was no certainty that any of the land in the growth areas would be rezoned before 2030, if at all which by his calculations would be well after the greenfield supply in Ballarat West had been exhausted.

He concluded that his analysis of:

... residential land demand and supply indicates that the planning policy requirement of at least 15 years supply of residential land is not being met in the City of Ballarat, and that further land should be rezoned in the short term to ensure that both (a) policy requirements are met; and (b) adverse impacts of low level of land supply on housing availability and affordability are avoided.

Resi referred to the City of Ballarat Strategic Planning Referral, 3 May 2023¹⁸ which states that Council is *"is in the final stages of preparing a Housing Strategy that will introduce new planning controls to ensure 50% of new dwellings can be constructed in infill locations"*. It said this target was both *"aspirational and challenging"*.¹⁹ Resi submitted Council had not considered the likelihood, timing or delivery of this type of development and it was unlikely to resolve the issue of a lack of supply.

Resi submitted that:

- Council's position lacked any numerical analysis or independent assessment of land supply and it simply relied on the development of the Northern Growth Area (NGA) to deal with land supply
- the NGA is yet to undergo any approval process and said it was unlikely the NGA would come online before 2030
- Council's reliance on the NGA was disingenuous because Council resolved to proceed with the growth area planning prior to the finalisation of the MRTP which does not represent a change in circumstances
- given the issue with land supply, its requests to retain the GRZ1 (see Chapter 4.2) on 1 to 11 Victoria Street and advance the timeframe for the development of the quarry land (see Chapter 2.3), should be supported.

Council submitted the Amendment has carefully considered the issue of residential land supply and housing affordability in Miners Rest. It explained that not all GRZ land in Miners Rest North is

¹⁸ Document 2.

¹⁹ Document 28.

proposed to be rezoned to NRZ3 and a large area in and around the Town Centre will remain within the GRZ and MUZ.

Council identified two important Land Use and Development Strategies proposed to be included in Clause 21.09-5:

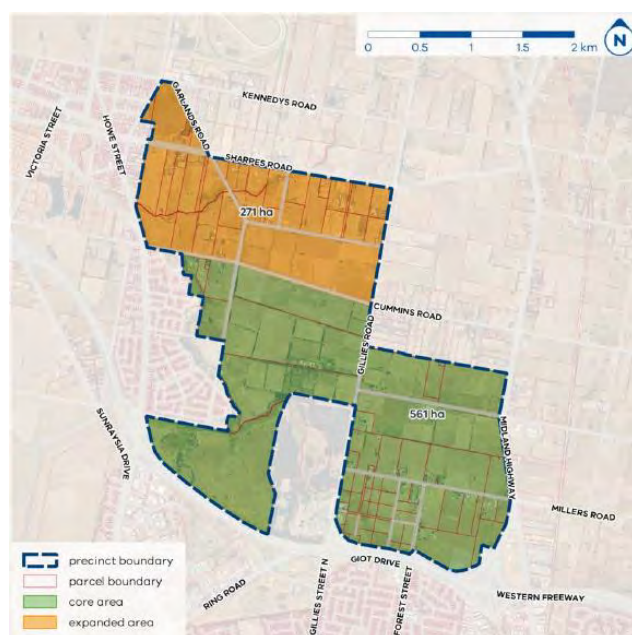
- Support future infill residential development that respects the existing township character of Miners Rest North and Miners Rest South to suit lifestyle choice and assist ageing in place.
- Support high density residential, commercial, retail, service and community use in the existing mixed use town centre precinct.

It submitted these strategies will facilitate:

- Infill development and support housing affordability.
- The development of the Town Centre at a high housing density.
- Provide affordable housing opportunities.
- A diversity in housing options.
- Housing for Miners Rest residents who wish to downsize and age in place.

Council advised that the Victorian Planning Authority is in the process of preparing the Ballarat North PSP for 832 hectares of land immediately east of the Miners Rest township (Figure 9).

Figure 9 Location of the Ballarat North PSP



Source: Council Part A submission

The Ballarat North PSP is divided into a core area of 561 hectares and an expanded area of 271 hectares. Providing for approximately 6,000 dwellings, Council submitted it would be “sufficient to meet the Council’s housing needs for a 15-year period.”

Council submitted it had “made a strategic commitment to facilitate substantial residential land supply” by approving the NGA, the Western Growth Area and the Northwest Growth Area to provide residential land for the short, medium and long terms.

Council submitted Clause 22.02-1 provided a clear direction that population growth would be accommodated by infill and greenfield development and submitted:

Townships, such as Miners Rest North with its valued character, have a limited role in providing additional housing.

Council advised it is in the final stages of preparing a housing strategy and submitted:

What is needed is orderly planning of Miners Rest North. There is no cause to panic in relation to the housing supply in the City of Ballarat. As the Housing Framework Plan demonstrates there is clear policy support for large areas within the municipality for new housing opportunities both now and into the future. More importantly, the Council has carried out the strategic planning work to ensure that these areas will deliver these housing opportunities.

Council submitted:

- there is more than sufficient greenfield land supply to meet projected population growth in the immediate future
- it accepts that as the supply in Ballarat West decreases, residential land in the Northern, Northwest and Western (west of Ballarat West) growth areas will become available
- the NGA will provide a multitude of affordable housing options including traditional dwellings, townhouses, and apartments.

In his evidence, Mr Clarke stated:

- different parts of the municipality will play different housing roles and consequently Miners Rest does not need to provide for a minimum of 15 years supply as nominated in Clause 11.02-1S
- the issue of adequate residential land supply is a matter that should be addressed at a municipal level by identifying areas suitable for residential development over a 15 year period.
- townships such as Miners Rest will have a different role and are identified as having character, community and lifestyle differences which distinguishes them from urban Ballarat
- the preliminary findings of Council's draft Housing Strategy confirmed the minimum threshold of 15 years supply at a *"municipal level would be met"*.

Council did not accept Mr Shipp's evidence that the planning policy requirement of at least 15 years supply of residential land is not being met in Ballarat or his assessment that *"greenfield land supply in Ballarat is now at critically low levels."* Council submitted the requirement for 15 years supply did not mean that the land had to be in a residential zone to be included but that it needed to be identified as suitable for future residential development.

(iv) Discussion

The submissions and evidence agree that any assessment of land supply and demand should be undertaken at a municipal level. The Panel endorses this approach because it provides context for the supply of land in Miners Rest and aligns with State planning policy.

It was acknowledged that at some stage a township or urban area may reach capacity and unless there is an expansion of that urban area, over time the capacity of that area to provide for new residential development will progressively diminish. This may well be the case with Miners Rest where the urban area is effectively defined by the residential zones. If this urban area remains unchanged, over time Miners Rest will eventually have no greenfield supply.

Victoria has experienced extraordinarily accelerated residential growth in regional Victoria from 2020 to 2022. Based on Mr Shipp's evidence this has had a significant impact on the City of Ballarat. However, there is considerable risk in building further projections based on the extraordinary circumstances of the past two to three years. In this regard, Mr Shipp's graph (Figure 8) is useful and shows a considerable increase in dwelling approvals in 2020/21 and a drop from that peak in 2021/22. However, it is unclear at this point in time, whether this is a long-term trend or an immediate and short-term response to the restrictions of the pandemic.

The Panel cannot definitively determine whether the level of land supply in the City of Ballarat meets the provisions of Clause 11.02-1S. While there were considerable submissions and evidence on when and which land in the NGA might become available, this matter is yet to be decided or implemented. Any comment by the Panel would therefore be speculative and inappropriate. However, the Panel agrees with Council that to meet the 15 year supply requirement, the land does not have to be in a residential zone or in the process of being rezoned. On this basis, the Panel is satisfied that Council has identified sufficient land in the Northern, North Western and Western Growth Areas, and with the addition of an emphasis on infill development, to meet its obligations under Clause 11.02-1S.

Mr Shipp said:

- from 2015 to 2018 (immediately preceding the preparation of the MRTP), the municipality experienced an average of 875 approvals each year, 40 of which were in Miners Rest
- from 2018/19 to 2021/22, the approval rate in Miners Rest increased to 67 lots each year (a 68 per cent increase).

The contribution made by Miners Rest to municipality's residential land supply is extremely small, if not insignificant. In addition, based on Mr Shipp's evidence, all the available residential land in Miners Rest, including the former quarry land, would make up considerably less than half of the Ballarat land demand for one year.

The Amendment is focused on the township Miners Rest and the appropriateness of the rezoning of the GRZ1 to NRZ3, the revision of Clause 21.09-5 and the inclusion of the MRTP as a background document. While the capacity of the City of Ballarat to ensure 15 years supply of residential land is a significant matter for the planning of the municipality, it is not a matter for consideration as part of the Amendment.

(v) Conclusion

The Panel concludes:

- The Amendment will not negatively impact residential land supply and demand in the City of Ballarat.

4 Neighbourhood Residential Zone

4.1 Proposed rezoning

(i) The issue

The issue is whether it is appropriate and justified to rezone the northern areas of Miners Rest from GRZ1 to NRZ3.

(ii) Background

The Amendment proposes to rezone the northern areas of Miners Rest from GRZ1 to NRZ3, except the area of GRZ1 which forms part of the town centre (immediately south of Creek Street) (see Figure 1).

The purposes of the NRZ are:

- To recognise areas of predominantly single and double storey residential development.
- To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The proposed objectives of NRZ3 are:

- To encourage low scale and site responsive residential development that sits unobtrusively within the rural landscape setting.
- To ensure that out-views to the surrounding landscape, and particularly to the volcanic hills, are protected.
- To maintain and increase native vegetation cover by requiring permeable land for planting and sustaining vegetation, particularly large canopy trees.

(iii) Evidence and submissions

Submitter 4, submitter 10 and the Committee for Miners Rest Incorporated supported the proposed use of the NRZ given the importance of ensuring the character of Miners Rest is protected.

The Committee for Miners Rest submitted:

- recent infill development represented a poor outcome and has resulted in a dramatically different neighbourhood character and feel
- the proposed change in zoning *“will ensure that the “feel” of Miners Rest of “country living” is protected.”*

Council submitted the proposed application of the NRZ:

- was required to implement the various strategic provisions of the MRTP and referenced the Character Report which provided a detailed explanation how the NRZ had been chosen as the preferred residential zone
- was informed by PPN91, extensive community consultation and is strategically sound
- is consistent with the role and application of residential zones contained in PPN91 as follows:
 - Clause 32.08 General Residential Zone (GRZ) Applied to areas where housing development of three storeys exists or is planned for in locations offering good access to services and transport.

Clause 32.09 Neighbourhood Residential Zone (NRZ) Applied to areas where there is no anticipated change to the predominantly single and double storey character. Also to areas that have been identified as having specific neighbourhood, heritage, environmental or landscape character values that distinguish the land from other parts of the municipality or surrounding area Council added:

A key objective of the MRTP is to ensure that future housing growth is an appropriate response to enhancing the existing character and rural atmosphere of Miners Rest North. The residential areas of Miners Rest North are defined by a distinctive character of large residential allotments, generous separation of built form, low site coverage, low density housing, significant space for gardens & landscaping, and low scale housing of not more than two storeys.

Council submitted the GRZ, which enables lots to be developed with a high site coverage and up to three storeys:

- does not reflect Council's vision for Miners Rest North
- does not align with the desired outcomes for housing in the MRTP
- is not the appropriate planning control to ensure that the distinctive character and environment of Miners Rest North is retained
- is inconsistent with the community aspirations for Miners Rest North
- will not allow for the maintenance of a spacious, low rise residential area of not more than two storeys.

Mr Clarke said Council's reference in PPN91 highlights the NRZ is the most appropriate zone for Miners Rest North outside of the town centre. He supported the NRZ because it would implement the stated neighbourhood character outcomes sought by the MRTP.

Council submitted:

Clearly, the NRZ is the appropriate zone to achieve the strategic outcomes sought by the MRTP. The NRZ will be in tune with protecting the neighbourhood character, landscape and amenity values that exists on the larger lots in Miners Rest North by ensuring that these attributes are given due regard in any future development proposal.

(iv) Discussion

PPN91 provides useful guidance on the role of Victoria's various residential zones. It identifies the GRZ is appropriate for areas where "*housing development of three storeys exists or is planned.*"²⁰ It also identifies the NRZ is appropriate for areas where "*there is no anticipated change to the predominantly single and double storey character,*"²¹ and to areas "*that have been identified as having specific neighbourhood, environmental or landscape character values that distinguish the land from other parts of the municipality or surrounding area.*"²² The MRTP strategically demonstrates this is the case for Miners Rest.

A key purpose of the MRTP, as informed by the Character Report, is to ensure the future planning of Miners Rest is coordinated and that development is integrated with the valued characteristics of existing development to maintain the rural village feel. This will be achieved through the proposed rezoning to the NRZ3, where the Schedule will usefully control lot size, site coverage, setbacks, dwelling heights and landscaping requirements.

²⁰ PPN91.

²¹ Ibid.

²² Ibid.

The Panel's inspection of Miners Rest North indicated the area is made up of single storey detached dwellings within landscaped settings with predominantly large front setbacks. The Panels agrees with the Council and submitters that this distinct character should be protected and distinguished from other pockets of housing where development has been able to occur with greater intensity.

Miners Rest is clearly not an area *"where housing development of three storeys exists or is planned"*²³ and in this respect, the Panel considers the GRZ is an inappropriate zone for the township. While a purpose of the GRZ is to respect neighbourhood character, it also seeks to encourage housing growth which does not reflect the vision for the area – large residential allotments, generous separation of built form, low site coverage, low density housing, space for gardens and landscaping and low scale housing of not more than two storeys.

The Panel considers the NRZ is an appropriate planning control that will contribute to the MRTP's envisioned township structure and will support built form outcomes that integrate with the existing and valued character of Miners Rest. The NRZ3 will protect the neighbourhood character, landscape and amenity values that exist in Miners Rest.

The Panel accepts there is a balance between conserving the Miner Rest North character and providing housing opportunities for future population growth. There are growth opportunities around the town centre where the GRZ is proposed to remain, and extensive residential growth opportunities in the NGA.

(v) Conclusion

The Panel concludes:

- It is appropriate and justified to rezone the northern areas of Miners Rest from GRZ1 to NRZ3 because it will protect its existing neighbourhood character, landscape and amenity values.

4.2 1-11 Victoria Street, Miners Rest

(i) The issue

The issue is whether it is appropriate and justified to:

- rezone 1-11 Victoria Street from the GRZ1 to the NRZ3 with a minimum lot size of 750 square metres
- vary the requirements of Clauses 54 and 55 relating to site coverage and permeability.

(ii) Background

The land at 1-11 Victoria Street, Miners Rest is:

- comprised of 15 consolidated titles pursuant to a Crown Grant with a total site area of 10.9 hectares
- currently undeveloped, subject to GRZ1 and forms part of the southern edge of the existing township
- subject in part to the Environmental Significance Overlay, Schedule 2, Land Subject to Inundation Overlay, Erosion Management Overlay and Floodway Overlay

²³ *ibid.*

- within a designated Bushfire Prone Area and in part are Areas of Aboriginal Cultural Heritage Sensitivity
- the subject of a current planning permit (No. PLP/2017/585) which was issued by the Victorian Civil and Administrative Tribunal on 12 July 2022 for a multi-lot residential subdivision (subdivision permit).

The endorsed 'Indicative Subdivision Plan – Stage 1' (Figure 10) shows the layout and approval of 66 lots with an average size of 507 square metres and forms a southern extension of the existing township south of the neighbouring reserve.

Figure 10 Endorsed Subdivision Plan for 1-11 Victoria Street



NRZ3 proposes a minimum lot size for subdivision of 750 square metres and a site coverage and permeability requirement of 45 per cent.

NRZ3 proposes the following landscaping requirement:

Provision of a minimum of one canopy tree per 175 square metres of the site area, that will reach a minimum mature height that equals the height of the proposed development, including:

- a minimum of one canopy tree within each area of secluded private open space; and
- a minimum of one canopy tree within the front setback per 5 metres of width of the site (excluding the width of one driveway).

Each tree should be surrounded by 20 square metres permeable surface with a minimum radius of 3 metres. Up to 50% of the permeable surface may be shared with another tree. The species of canopy trees should be native, and preferably indigenous to the local area.

(iii) Evidence and submissions

Resi is the developer of 1-11 Victoria Street and generally supported the Amendment but opposed the rezoning of 1-11 Victoria Street to NRZ3. It submitted that rezoning 1-11 Victoria Street:

- would significantly impact the development of 1-11 Victoria Street in accordance with the subdivision permit
- is not justified by the MRTTP or the background materials
- would undesirably prejudice development outcomes for the former quarry land
- is inconsistent with policy given the proximity of the land to community and retail facilities.

Resi submitted the rationale advanced in the MRTTP in support of rezoning 1-11 Victoria Street to NRZ3 was not persuasive. The Character Report (the strategic work supporting this aspect of the Amendment) was problematic because *“the characterisation of all of Miners Rest North as a single ‘planning unit’ (to use Mr Clarke’s terminology) with a single character is neither justified by Ms Scott (nor Mr Clarke), nor justifiable. The MRTTP itself describes the existing character of Miners Rest as “highly varied,” which does not support a ‘single character’ approach.”*²⁴

Mr Milner agreed and favoured a separate character for 1-11 Victoria Street (and the quarry land) and said *“[t]he Sites do not form part of the established areas of Miners Rest and its distinctive character.”*²⁵

Mr Clarke did not agree that 1-11 Victoria Street should be characterised as a different planning unit to other areas outside the town centre and therefore subject to different neighbourhood character objectives. He said the preferred character outcome being sought should occur at a whole of Miners Rest North precinct level and not within smaller planning units distributed throughout Miners Rest North.

Resi opposed the proposed minimum lot size of 750 square metres and the site coverage and permeability requirement of 45 per cent. It submitted that having regard to policy promoting walkability and accessibility to services, the proximity of 1-11 Victoria Street to the activity centre and to the open space along Burrumbeet Creek justify a higher density than a 750 square metre lot.

Resi submitted:

- while its approved subdivision can proceed given its approved subdivision permit, the modifications proposed to Clauses 54 and 55 by the Amendment would be problematic
- the default for site coverage is 60 per cent (Clauses 54.03-3/55.03-3) and for permeability is 20 per cent (Clauses 54.03-4/55.03-4), with no quantitative standards for landscaping (Clause 55.03-8)
- although no permit would be required for use or development of lots created by the subdivision permit, these standards could be enforced (noting they are discretionary) through the building permit process and the Building Regulations 2018.

Council submitted the Amendment does not seek to alter the residential status of 1-11 Victoria Street and acknowledged it has a role to play in providing housing opportunities for Miners Rest North in both the short and long-term. Council submitted Resi has a lawful right to subdivide its land in accordance with the subdivision permit regardless of the proposed rezoning. Council ultimately relied on its submissions in relation to the strategic justification for applying the NRZ more broadly throughout Miners Rest.

²⁴ Document 28.

²⁵ Document 17.

Mr Clarke relied on the Character Report as providing the rational and strategic justification for the proposed zoning, lot size and site coverage controls. He said the report is useful because *“it applies on-site “testing” of the proposed Planning Scheme changes sought under the Amendment to examine whether they reflect the existing conditions (and therefore existing character) of Miners Rest North.”*²⁶ In particular, the Character Report:

- found 78 per cent of lots in Miners Rest North exceeded 750 square metres
- considered site coverage should not exceed 45 per cent as this was consistent with 84 per cent of surveyed lots which had an existing site coverage of 40 per cent and *“will ensure the protection of the open and well vegetated character of the township, which allows views to the surrounding landscape, as well as reflecting the community’s aspirations”*.²⁷

(iv) Discussion

The Panel has already concluded that the strategic approach of limiting the density of development through the NRZ is justified. There are options within the town centre and outside of Miners Rest that can accommodate smaller lot sizes and higher density development.

The size and strategic potential of 1-11 Victoria Street provides it with certain attributes that work in favour of future redevelopment. This is reflected by the approved subdivision permit. However, the land’s attributes do not warrant a different character analysis to other areas of Miners Rest North as Resi has suggested. Its transitional location at the edge of the Miners Rest Township adjacent to the Farming Zone work against a more intense redevelopment. The Panel agrees with Mr Clarke that the preferred character outcome being sought through the MRTTP should occur at a precinct level, and not within smaller planning units throughout Miners Rest North.

The Panel acknowledges the importance of Miners Rest’s existing ‘rural village’ character and notes that existing residential lot sizes of 750 square metres or more, contribute to this character. A lot size of less than 750 square metres would be at odds with the existing and preferred spacious and rural township character. Given the overall character of the existing Miners Rest area, the Panel considers a 750 square metre lot size represents a reasonable approach of balancing the character and strategic attributes of this area with reasonable opportunities for new development. The 750 square metre lot size is appropriate with respect to housing affordability and diversity considerations, consistent with the Panel’s conclusions in Chapter 3. As concluded earlier, the City of Ballarat does not have a housing supply problem which needs to be addressed by the Amendment.

The strategic direction of the MRTTP seeks to achieve appropriate built form outcomes that respond to the valued ‘rural village’ character. NRZ3 will achieve this. The proposed combination of the minimum lot size with the maximum building site coverage and minimum permeability percentages is appropriate for improving landscape character of the area.

Resi can subdivide 1-11 Victoria Street in accordance with the subdivision permit regardless of the proposed rezoning. Although no permit would be required to use or develop lots created by the subdivision permit, the proposed site coverage and permeability standards could be enforced through the building permit process. It is acknowledged that these provisions are discretionary.

²⁶ Document 14.

²⁷ Character Report, page 13.

The rezoning of this land should not rely on its potential future integration with the quarry land. It would be premature to consider how the two sites would be integrated, given the strategic role of the quarry land is not yet known.

(v) Conclusion

The Panel concludes:

- It is appropriate to rezone 1-11 Victoria Street from the GRZ1 to the NRZ3 with a minimum lot size of 750 square metres.
- It is appropriate and justified to vary the requirements of Clauses 54 and 55 relating to site coverage and permeability, as exhibited.

5 Specific sites

5.1 415 Cummins Road, Miners Rest

(i) The issue

The issue is whether the restriction on the development of land at 415 Cummins Road, Miners Rest in the MRTP is appropriate.

(ii) Submissions

Submitter 1 owns Farming Zone land at 415 Cummins Road, Miners Rest.

The Submitter's land is nominated as pink on the MRTP Township Plan (Figure 3) and has the following notation:

Existing rural land subject to noise from the airport and not currently considered suitable for rezoning to a sensitive land use.

Submitter 1 did not seek any specific recommendation or change to the Amendment. When asked by the Panel, Submitter 1 said that he would like:

- the inclusion of a strategy in Clause 21.09-5 to facilitate the investigation of the potential for the development of 415 Cummins Road for alternative uses
- to remove the reference in the Legend of the MRTP Township Plan (Figure 3) which states 415 Cummins Road is *"not currently considered suitable for rezoning to a sensitive land use"*.

Submitter 1 said his property was not under the Ballarat Airport runway flight path and the extension of the north-south runway effectively removes the N70 noise contour from 415 Cummins Road. 415 Cummins Road is one of three properties on the southside of Cummins Road and while the land to the west may have issues with aircraft noise, 415 Cummins Road was no longer impacted and consequently the restriction on development is inappropriate.

Submitter 1 stated that the noise contour diagrams in the MRTP – Background Information and Analysis report were misleading because it shows the N60-50 events not N65- 100 events as stated. In addition, the Background Information and Analysis report identified the land as a *"strategic, centrally located site that if developed could assist with connecting and consolidating the town."*²⁸

Council submitted:

- it did not support the Panel making the above recommendations
- any role 415 Cummins Road may play in potential housing supply will be determined by the Housing Strategy, the outcome of the Ballarat Airport Masterplan update and in response to the noise modelling for the extended runway
- there was no strategic justification to rezone the land and any such proposal would need to be supported by several assessments including aircraft noise, bushfire, flooding, town planning and traffic.

²⁸ Submission 1.

(i) Discussion and conclusion

The Panel accepts Council's submission that any potential development at 415 Cummins Road, Miners Rest needs strategic justification. While Submitter 1 stated that the property is unaffected by aircraft noise the Panel has not been presented with any independent information or analysis to verify this is the case.

In the absence of any strategic justification for a change to the MRTP and any analysis that aircraft noise is not an issue in the development of the land, the Panel does not support the proposal to change the MRTP.

The Panel concludes:

- The restriction on the development of 415 Cummins Road, Miners Rest in the MRTP is appropriate.

5.2 Equine Precinct**(i) The issue**

The issue is whether it is appropriate to include 375 and 389 Gilles Road, 139 Kennedys Road and Crown Allotment 27 Section 5 Parish of Dowling Forest Sharpes Road, Miners Rest (as shown in Figure 11) in the MRTP Equine Precinct.

(ii) Background

Submitter 8 made submissions on behalf of four landowners who seek to have their landholdings included in the Equine Precinct shown on the MRTP.

The landholdings are within the Farming Zone and the boundary of the Miners Rest Study Boundary, and outside the Special Use Zone that applies to the Equine Precinct.

Figure 11 Location of 375 and 389 Gilles Road, 139 Kennedys Road, Crown Allotment 27 Section 5 Parish of Dowling Forest Sharpes Road, Miners Rest



The Special Use Zone Schedule 13 (Thoroughbred Horse Training Facilities) (SUZ13), which is a significant proportion of the Equine Precinct, has the following purpose:

- To encourage the use and development of thoroughbred horse training facilities in association with the Dowling Forest Racecourse.
- To provide for subdivision of land for use and development as thoroughbred horse training facilities.
- To facilitate on-site accommodation for horse trainers and their employees in conjunction with the thoroughbred horse training facilities.
- To ensure that thoroughbred horse training facilities are established in a manner which is consistent with surrounding land uses.

Figure 12 Location of the Equine Precinct and subject properties



One of the actions listed under *Further strategic work* in Clause 21.09-5 is:

Undertake a review of the planning controls surrounding Dowling Forest racecourse, including Special Use Zone - Schedule 13 and Farming Zone A & B.

(iii) Submissions

Submitter 8 considered the four properties:

- were ideally suited to horse training and care and most had sheds and facilities to support the keeping of thoroughbred horses
- are strategically located in terms of having “*a physical, logical and practical association with the adjoining Dowling Forest Equine Precinct.*”
- have the potential to make a modest contribution to the supply of land in the Equine Precinct which supports the objectives of Clause 21.07-6. In addition, it was anomalous that the properties were not included in the 2019 *Dowling Forest Equine Precinct — Planning Controls Review*
- should be included in the Equine Precinct.

Council did not support the four properties being included in the Equine Precinct shown on the MRTTP. It submitted:

- it had commenced a strategic planning review of the planning controls and policies that apply to the Equine Precinct
- this review is ongoing and may result in a future Planning Scheme Amendment
- this strategic process is the appropriate process to determine whether the four land holdings should be included in the Equine Precinct
- the landowners can participate in this process and make submissions regarding the strategic justification for their land to be rezoned and to be included in the Equine Precinct.

(iv) Discussion and conclusion

The Panel notes that the delineated Equine Precinct in the MRTP:

- does not match the extent of the SUZ13
- includes all of the Special Use Zone Schedule 7 (Dowling Forest Racecourse) and some land in the Farming Zone.

The planning controls for the Equine Precinct are imbedded in the SUZ13. As shown in Figure 12, the exclusion of these four properties appears to be an anomaly.

Nevertheless, the Panel considers that Council's strategic review of the planning controls and the extent of the Equine Precinct is appropriate. It would be premature to recommend the inclusion of these properties in the Equine Precinct ahead of this review.

The Panel concludes:

- It is not appropriate to include 375 and 389 Gilles Road, 139 Kennedys Road and Crown Allotment 27 Section 5 Parish of Dowling Forest Sharpes Road, Miners Rest in the MRTP Equine Precinct ahead of the review of the planning controls in the Equine Precinct.

Appendix A Submitters to the Amendment

No	Submitter
1	Alan Ford
2	Jeffrey Soar
3	Withdrawn
4	Graham and Debbie Linke
5	Resi Ventures Pty Ltd
6	Gleneleg Hopkins Catchment Management Authority
7	Environment Protection Authority (Victoria)
8	G & S Atkinson; S & K Kennedy; C, H and M Yorke; M Murphy; J Thomson and V Elford; and A Smith & M Clifford
9	Committee for Miners Rest
10	Grant Tillet

Appendix B Document list

No.	Date	Description	Provided by
1	26/04/2023	Panel Directions and Timetable (version 1)	Planning Panels Victoria (PPV)
2	03/05/2023	Letter from Council about Ballarat housing supply and demand	City of Ballarat (Council)
3	04/05/2023	Letter from Gadens on behalf of Resi requesting accompanied site inspection	Resi Ventures Pty Ltd (Resi)
4	05/05/2023	Email to parties confirming accompanied site inspection	PPV
5	05/05/2023	Late submission (11) referred to the Panel	Council
6	08/05/2023	Email from Submitter No. 8 (G & S Atkinson; S & K Kennedy; C, H & M Yorke; M Murphy; J Thomson and V Elford; and A Smith & M Clifford) confirming they would not attend the site inspection	Neil Haydon and Associates Pty Ltd (Haydon Associates)
7	08/05/2023	Email from Council confirming attendance at site inspection	Council
8	08/05/2023	Email from Council confirming creation of document sharing platform	“
9	10/05/2023	Map showing the location of submitters	“
10	10/05/2023	Council Part A Submission	“
11	12/05/2023	Letter from Gadens requesting a supplementary Part A submission from Council	Resi
12	12/05/2023	Response from Council to Gaden's request	Council
13	15/05/2023	Email from the Panel responding to Gaden's request	PPV
14	15/05/2023	Statement of evidence by Andrew Clarke (Town Planning)	Council
15	15/05/2023	Letter from Gadens providing links to statements of evidence	Resi
16	15/05/2023	Statement evidence of Paul Shipp (Land Economics)	Resi
17	15/05/2023	Statement of evidence of Rob Milner (Town Planning)	Resi
18	15/05/2023	Statement of evidence of Darren Tardio (Aircraft Noise)	Resi
19	15/05/2023	Statement of evidence of Ian Jennings (Aviation)	Resi
20	15/05/2023	Statement of evidence of Rob Swan (Drainage and Flooding)	Resi
21	15/05/2023	Letter from Gadens including: <ul style="list-style-type: none"> a) Email dated 21 March 2023 from Andrew Bondini (Boral) re Boral quarry remediation b) Proposal for environmental auditing services - AAA Environmental dated 15 September 2022 c) Environmental audit update - AAA Environmental dated 11 April 2023 d) Environmental site assessment and remediation overview 	Resi

No.	Date	Description	Provided by
11-91 Victoria Street Miners Rest – Beveridge Williams			
22	15/05/2023	Resi Hearing book	Resi
23	15/05/2023	A Smith and M Clifford Final Farm Management Plan (06/05/2023)	Haydon Associates
24	15/05/2023	S and K Kennedy Draft Farm Management Plan (08/09/2016)	Haydon Associates
25	17/5/2023	Council Part B Submission	Council
26	17/5/2023	Email to PPV from Council outlining Hearing arrangements	Council
27	19/05/2023	Council documents for Panel Hearing	Council
28	23/05/2023	Submission on behalf of Resi Ventures Pty Ltd	Resi
29	23/05/2023	Planning map of the Equine Precinct	Mr N. Haydon
30	23/05/2023	Submission by Alan Ford	Mr A. Ford
31	23/05/2023	Moorabool Planning Scheme Amendment C88 Panel Report	Mr N. Haydon
32	25/05/2023	Reply on behalf of the City of Ballarat to matters raised during the Hearing	Council

Appendix C Planning context

C:1 Planning policy framework

Council submitted that the Amendment is supported by various clauses in the Planning Policy Framework, which the Panel has summarised below.

Victorian planning objectives

The State policy objectives are set out in section 4 of the PE Act. They include to:

- provide for the fair, orderly, economic and sustainable use and development of land
- provide for the protection of natural and man-made resources and the maintenance of ecological processes and genetic diversity
- secure a pleasant, efficient and safe working, living and recreational environment for all Victorians and visitors to Victoria
- conserve and enhance buildings, areas or places which are of scientific, aesthetic, architectural or historical interest or special cultural value
- protect public utilities and other assets and enable the orderly provision and coordination of public utilities and other facilities for the benefit of the community
- facilitate development in accordance with the above objectives
- facilitate the provision of affordable housing in Victoria
- balance the present and future interests of all Victorians.

Planning Policy Framework

The Planning Policy Framework is the expression of State and Regional planning policies. Planning policies relevant to the Amendment include:

Clause 11.01-1S: Settlement which includes the strategies to:

Focus investment and growth in places of State significance in Metropolitan Melbourne and the major regional cities of Ballarat, Bendigo, Geelong, Horsham, Latrobe City, Mildura, Shepparton, Wangaratta, Warrnambool and Wodonga.

Guide the structure, functioning and character of each settlement taking into account municipal and regional contexts and frameworks.

Create and reinforce settlement boundaries.

Provide for growth in population and development of facilities and services across a regional or sub-regional network.

Promote and capitalise on opportunities for urban renewal and infill redevelopment.

Develop compact urban areas that are based around existing or planned activity centres to maximise accessibility to facilities and services.

Clause 11.01-1R: Settlement: Central Highlands, which includes strategies to:

Support Ballarat as the main centre for regional growth, services and employment with major growth focused to the west.

Provide local and sub-regional services at Avoca, Ballan, Beaufort, Clunes, Creswick, Daylesford and Smythesdale to support ongoing growth, ...

Direct growth to well serviced settlements with good access to Melbourne or Ballarat, particularly Bacchus Marsh, Ballan, Creswick, Clunes, Beaufort and Smythesdale.

Clause 11.02-1S: Supply of Urban Land, which includes strategies to:

Ensure that sufficient land is available to meet forecast demand.

Plan to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply will be considered on a municipal basis, rather than a town-by town basis.

Planning for urban growth should consider:

- Opportunities for the consolidation, redevelopment and intensification of existing urban areas.
- Neighbourhood character and landscape considerations.
- The limits of land capability and natural hazards and environmental quality.
- Service limitations and the costs of providing infrastructure.

Clause 11.03-2S: Growth Areas, which includes the strategy to encourage average overall residential densities in the growth areas of a minimum of 15 dwellings per net developable hectare, and over time, seek an overall increase in residential densities to more than 20 dwellings per net developable hectare.

Clause 11.03-6S: Regional and Local Places which includes strategies to:

Integrate relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Consider the distinctive characteristics and needs of regional and local places in planning for future land use and development.

Clause 15.01-5S: Neighbourhood Character, which has the objective to recognise, support and protect neighbourhood character, cultural identity and sense of place. It includes strategies to:

Support development that respects the existing neighbourhood character or contributes to a preferred neighbourhood character.

Ensure development responds to its context and reinforces a sense of place and the valued features and characteristics of the local environment and place by respecting the:

- Pattern of local urban structure and subdivision.
- Underlying natural landscape character and significant vegetation.
- Neighbourhood character values and built form that reflect community identity.

Clause 16.01-1S: Housing Supply which includes strategies to:

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas

Identify opportunities for increased residential densities to help consolidate urban areas.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

Clause 16.01-2S: Housing Affordability which includes strategies to:

Improve housing affordability by:

- Ensuring land supply continues to be sufficient to meet demand.
- Increasing choice in housing type, tenure and cost to meet the needs of households as they move through life cycle changes and to support diverse communities.

Clause 21 (the Municipal Strategic Statement)

The Municipal Strategic Statement Context identifies that people are attracted to Ballarat for a variety of reasons including its significant history, character and lifestyle (Clause 21.01-1).

The Strategic Framework Plan identifies Miners Rest as one of six townships and rural settlements outside of the metropolitan area of Ballarat and outside of the ten minute city where housing development is to be focused (Clause 21.01-4).

Clause 21.02-1 deals with urban growth. The Housing Framework Plan designates Miners Rest as an ongoing change area. The area immediately south and east of Miners Rest South is identified as a Greenfield Investigation Area.

Clause 21.02-6 (Townships) contains support for the development of a specific Township Plan for Miners Rest:

The townships of Buninyong, Burrumbeet, Cardigan Village, Learmonth, Miners Rest and Warrenheip and their surrounding communities provide an attractive lifestyle choice in a rural setting. These townships are valued by residents for their character, community and lifestyle. They represent a different style of living to urban Ballarat and contribute to the diversity of lifestyle and choice in the municipality. Services and infrastructure are unique to each township, as are local values and expectations. Significant land use changes should respond to local township character, and long-term community aspirations.

In some small towns and surrounding rural living communities there is a need for a clear long-term vision. Natural, engineering and cultural considerations place limitations on new growth and development opportunities. Structure and community plans are needed to provide a framework for informing land use planning decisions, directing future growth and development opportunities that respond to community needs.

Objective 6

To facilitate development in township areas in accordance with local area planning and the long-term aspirations of the community.

Strategies

6.1 Reinforce the township atmosphere and valued local character when managing long-term change in township areas.

6.2 Maintain residential development to within existing township boundary.

Clause 21.09 is entitled Local Areas and provides detailed local area strategies.

The Local Areas Strategy for Miners Rest is at Clause 21.09-5 and states:

Miners Rest is an important township to the north of the Ballarat, separated from the main urban area by the Western Freeway. The area has significant constraints on development such as flood prone land and airport flight paths.

C:2 Planning scheme provisions

A common zone and overlay purpose is to implement the Municipal Planning Strategy and the Planning Policy Framework.

i) Zones

Miners Rest North is predominantly in a GRZ. The purposes of the GRZ are:

To encourage development that respects the neighbourhood character of the area.

To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

The Amendment proposes to rezone the northern areas of Miners Rest from GRZ1 to NRZ3, except the area of GRZ1 which forms part of the town centre (immediately south of Creek Street).

The purposes of the NRZ are:

To recognise areas of predominantly single and double storey residential development.

To manage and ensure that development respects the identified neighbourhood character, heritage, environmental or landscape characteristics.

To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

ii) Overlays

Areas of Miners Rest North is subject to the Flooding Overlay, Land Subject to Inundation Overlay, Environmental Significance Overlay, Erosion Management Overlay and the Design and Development Overlay.

C:3 Ministerial Directions, Planning Practice Notes and guides

Ministerial Directions and Practice Notes

The Amendment meets the relevant requirements of:

- Ministerial Direction 11 (Strategic Assessment of Amendments)
- *Planning Practice Note 46: Strategic Assessment Guidelines*, August 2018
- Planning Practice Note 91 (Using the residential zones, DELWP 2019).

That discussion is not repeated here.

Practitioner's Guide

A Practitioner's Guide to Victorian Planning Schemes Version 1.5, April 2022 (Practitioner's Guide) sets out key guidance to assist practitioners when preparing planning scheme provisions. The guidance seeks to ensure:

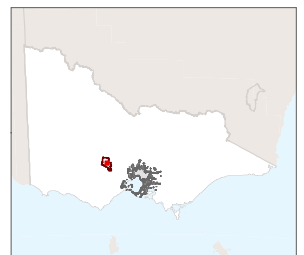
- the intended outcome is within scope of the objectives and power of the PE Act and has a sound basis in strategic planning policy
- a provision is necessary and proportional to the intended outcome and applies the Victorian Planning Provisions in a proper manner
- a provision is clear, unambiguous and effective in achieving the intended outcome.

BALLARAT PLANNING SCHEME - LOCAL PROVISION AMENDMENT C235ball



LEGEND

- NRZ - Neighbourhood Residential Zone
- Local Government Area

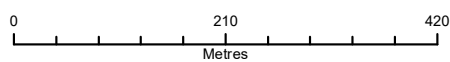


Part of Planning Scheme Map 6

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BALLARAT PLANNING SCHEME**21.02**22/12/2016
C194**SETTLEMENT AND HOUSING**

This clause provides local content to support Clause 11 (Settlement) and Clause 16 (Housing) of the State Planning Policy Framework.

Clause 21.09 (Local Areas) provides local content for individual suburbs and towns.

21.02-122/12/2016
C194**Urban growth**

Ballarat is forecast to grow significantly towards 160,000 people by 2040. Most of this increased population is planned to be accommodated through infill in established areas, convenience living close to public transport, urban renewal precincts, and in properly planned greenfield growth areas such as Ballarat West. In areas dislocated from good public transport access, and outside these designated precincts, change should be incremental and to an appropriate scale.

Maintaining a compact, efficient and productive settlement form is crucial to Ballarat's long-term future as a 10 Minute City. Specific guidance is provided on change in the following areas (as identified in Figure 2 -Housing Framework Plan):

- Areas of convenience living.
- Urban renewal precincts.
- Strategic investigation areas.
- Prioritised completion of the Ballarat West Growth Area.
- Longer-term greenfield investigation areas.
- Townships.
- Ongoing change areas.

Objective 1

To support a pattern of growth which reinforces the '10 Minute City'.

Strategies

- 1.1 Encourage significant new mixed use development in the CBD which supports knowledge sector and retail employment opportunities, more inner city living and street level and out of hours activation.
- 1.2 Facilitate higher density infill housing in areas of convenience living, urban renewal precincts and the Ballarat CBD.
- 1.3 Facilitate laneway housing where laneways already exist in the urban fabric of residential areas.
- 1.4 Discourage increased development density in fringe areas, particularly those that are more than walking distance from activity centres.

21.02-222/12/2016
C194**Areas of convenience living**

Areas of Convenience Living (as identified in Figure 2 - Housing Framework Plan) are areas of housing close to public transport and services where growth in density and diversity of housing supports the long-term potential for a rapid-transit style public transport network in Ballarat. More residential development along defined corridors is a pre-requisite to viable high frequency public transport services.

Objective 2

To establish a sufficient number of residents in convenience living corridors to support a high frequency public transport network.

Strategies

- 2.1 Support residential development within 400 metres of public transport services with larger scale and higher density infill located within convenience living corridors.
- 2.2 Facilitate higher intensity and priority residential infill development within convenience living areas which are within 200m from an identified network of high frequency public transport corridors.

BALLARAT PLANNING SCHEME

- 2.3 Ensure appropriate design responses within areas of convenience living that are affected by heritage and design controls.

21.02-322/12/2016
C194**Urban renewal precincts**

Urban renewal precincts are sites or areas with significant potential for large-scale renewal and redevelopment. Further investigation and feasibility work is required to determine the extent of potential for change within each precinct. Structure, framework or master plans will be prepared for these precincts and incorporated into the planning scheme where appropriate to help facilitate development. The following are urban renewal precincts (as identified in Figure 2 - Housing Framework Plan):

- Scott Parade Precinct (inner city mixed use).
- Creswick Road Precinct (CBD fringe mixed use).
- Selkirk Precinct (large-scale land use change opportunities whether integrated with or independently of the Eureka Stadium Sporting Precinct).
- Wendouree Village.
- Ballarat Saleyards Site and Light Industrial Precinct (commercial / light Industrial redevelopment).
- Delacombe Precinct (built form renewal in response to development of Glenelg Highway Major Activity Centre in Ballarat West growth Area).

In addition, there are some strategically important areas where the future use of the land is expected to change over the coming decades, but the final form is unclear. These areas require significant feasibility assessments to understand their potential future use.

Objective 3

To facilitate redevelopment of urban renewal precincts.

Strategies

- 3.1 Facilitate land consolidation, master planning and other mechanisms to support redevelopment potential of urban renewal precincts.
- 3.2 Discourage new development with adverse amenity potential in urban renewal precincts which would compromise the long term potential for mixed use development.

21.02-422/12/2016
C194**Greenfield investigation areas**

The Ballarat West Growth Area is the primary greenfield development area for Ballarat. Medium to long-term greenfield investigation areas (as identified in Figure 2 - Housing Framework Plan) require a more detailed feasibility assessment. Identification as an investigation area does not necessarily indicate strategic support for land use change potential.

Objective 4

To ensure that greenfield development is connected to the existing urban area.

Strategies

- 4.1 Discourage rezoning of additional greenfield land, which would compete with Ballarat West, until the market requires additional supply.
- 4.2 Ensure that future greenfield development is focused within roughly an 8km arc from the centre of Ballarat.
- 4.3 Avoid ad-hoc and unplanned greenfield development.
- 4.4 Discourage disconnected or 'leap frog' development.
- 4.5 Minimise the impacts of development on Ballarat's historic urban landscape, the environment and Ballarat's natural resource base.
- 4.6 Ensure the need for buffers to protect major water and sewerage assets and treatment plants from encroachment by sensitive land uses is taken into account as part of any greenfield investigation.

BALLARAT PLANNING SCHEME**21.02-5**22/12/2016
C194**Ongoing change areas**

Ongoing change areas (as identified in Figure 2 - Housing Framework Plan) are residential areas that are valued for their existing suburban character and housing supply. Infill development is encouraged at a scale appropriate to their relative distance to high frequency public transport corridors, activity centres, employment and taking into account the neighbourhood character. In fringe areas, overall density should provide an important transition between urban areas and rural, lifestyle or other low density non-urban uses.

Objective 5

To facilitate limited incremental growth in ongoing change areas at a scale and density appropriate to the area.

Strategies

- 5.1 Encourage development that is in keeping with local scale and development intensity within ongoing changes areas.
- 5.2 Ensure consideration of the interface of areas abutting the urban fringe with adjoining land.

21.02-622/12/2016
C194**Townships**

The townships of Buninyong, Burrumbeet, Cardigan Village, Learmonth, Miners Rest and Warrenheip and their surrounding communities provide an attractive lifestyle choice in a rural setting. These townships are valued by residents for their character, community and lifestyle. They represent a different style of living to urban Ballarat and contribute to the diversity of lifestyle and choice in the municipality. Services and infrastructure are unique to each township, as are local values and expectations. Significant land use changes should respond to local township character, and long-term community aspirations.

In some small towns and surrounding rural living communities there is a need for a clear long-term vision. Natural, engineering and cultural considerations place limitations on new growth and development opportunities. Structure and community plans are needed to provide a framework for informing land use planning decisions, directing future growth and development opportunities that respond to community needs.

Objective 6

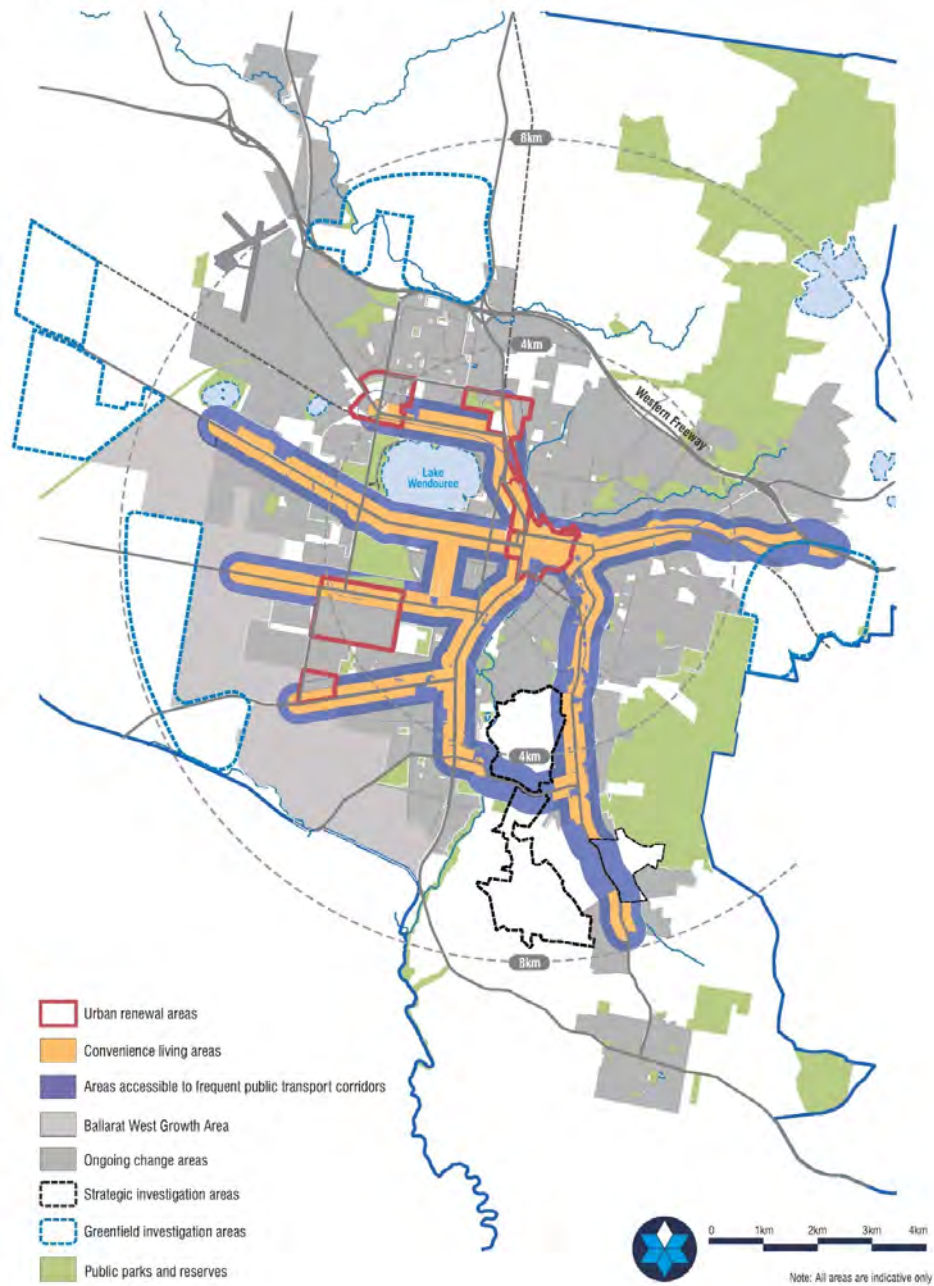
To facilitate development in township areas in accordance with local area planning and the long-term aspirations of the community.

Strategies

- 6.1 Reinforce the township atmosphere and valued local character when managing long-term change in township areas.
- 6.2 Maintain residential development to within existing township boundary.

BALLARAT PLANNING SCHEME

Figure 2 – Housing Framework Plan



BALLARAT PLANNING SCHEME**21.02-7**22/12/2016
C194**Housing diversity**

Social diversity is an important factor in the social health of the city. A diverse population needs a mixture of housing sizes and types. There is also a need to increase the proportion of lower cost accommodation, social housing and housing for people of all abilities.

Objective 7

To provide a range of choices in housing design, location and density.

Strategies

- 7.1 Support a range of housing types and options to meet diverse housing needs.
- 7.2 Encourage a range of lot sizes and densities within new residential subdivisions.
- 7.3 Support the provision of well-designed and managed social housing, crisis accommodation, rooming houses and aged care facilities.
- 7.4 Support the development of the Lake Federation Resort.

21.02-822/12/2016
C194**Open space**

Publicly accessible open space in Ballarat includes Lake Wendouree, Victoria Park, Lake Learmonth and Mount Buninyong as well as smaller community open spaces. Each area contributes environmentally, as well as being important for the health and wellbeing of the community. Many significant natural environments, heritage and cultural features are preserved within the open space network.

Objective 8

To improve the provision and quality of open space.

Strategies

- 8.1 Ensure a variety of public open spaces meet the needs of the growing and ageing population for formal and informal outdoor recreation.
- 8.2 Encourage the development of linear reserves, habitat corridors and linkages between key open spaces and community destinations and along waterways, disused railway corridors or other crown land.
- 8.3 Reinforce the '10 Minute City' principle when planning for open space across the municipality.
- 8.4 Provide an integrated network of public open spaces in urban renewal areas.
- 8.5 Protect and enhance the biodiversity and habitat value of parks, gardens, open spaces and waterways.
- 8.6 Ensure development and signage in and surrounding open space is appropriate to its context.

Objective 9

To improve the accessibility of open space.

Strategies

- 9.1 Encourage residential subdivision proposals to be linked with existing and proposed open space, pedestrian paths and bicycle trails.
- 9.2 Encourage residential development which abuts open space to provide appropriate frontage and passive surveillance to open space areas.
- 9.3 Encourage the co-location of open space with community infrastructure or facilities.
- 9.4 Encourage the design of open space areas to be inclusive for residents of all abilities, ages and interests.

21.02-9---
Proposed C235ball**Implementation**

The strategies in relation to Settlement and Housing will be implemented through the planning scheme by:

Policy guidelines

- Apply the Non Residential Uses in Residential Areas Policy (Clause 22.01) to all applications for non-residential uses in the Neighbourhood Residential Zone, General Residential Zone and Residential Growth Zone.

BALLARAT PLANNING SCHEME

- Apply the Park Signage Policy (Clause 22.08) when deciding on applications for signage in the Public Park and Recreation Zone.
- Ensure that rezoning proposals include feasibility assessments, development master plans and development contributions arrangements to fund infrastructure.

Further strategic work

- Prepare structure plans for urban renewal areas, greenfield areas, infill corridors and convenience living corridors to facilitate greater population densities.
- Investigate the potential future uses of strategic investigation areas.
- Clarify the preferred long-term direction for greenfield investigation areas, following Ballarat West.
- Prepare local area plans or community plans for Buninyong, Burrumbeet, Cardigan Village, Learmonth and Warrenheip.
- Review the Mount Rowan area for the application of the Rural Activity Zone.
- Review the land between the urban areas of Mount Clear and Mount Helen, on the east side of the Geelong Road, to determine the most appropriate planning control.
- Develop an appropriate planning control that encourages the consolidation of sites within the Sebastopol North neighbourhood centre and prevents commercial development fronting Yarrowee Street.
- Investigate a policy to facilitate laneway housing where laneways already exist in the urban fabric of residential areas.
- Develop master plans for key areas of open space, including Lake Wendouree, Victoria Park, Yarrowee River and tributaries, high conservation roadsides, Sturt Street, Victoria Street, Eureka Stockade Reserve and Ballarat Botanical Gardens.
- Investigate appropriate means by which significant native vegetation and habitat on undeveloped land zoned Residential 1 can be protected.
- Prepare a Significant Landscape Overlay for the Canadian Valley corridor.
- Investigate application of the Rural Conservation Zone (RCZ) to areas of significant native grasslands and heavily vegetated privately owned land.
- Investigate the further application of the Environmental Significance Overlays Schedule 3, Water Catchment Areas (ESO3) to include all water catchment areas.

BALLARAT PLANNING SCHEME**21.09**22/12/2016
C194**LOCAL AREAS**

This clause provides local content to support Clauses 21.02 to 21.08 of the Local Planning Policy Framework. This clause provides detailed local area strategies.

21.09-122/12/2016
C194**CBD**

Significant new mixed use development will be encouraged in the CBD. The area will be managed as a key entertainment destination, a hub of knowledge sector, retail employment activities and inner city living precinct with street level and out of hours activation. Strong emphasis will be placed on a high quality public realm, pedestrian amenity and a people first approach to managing space.

Implementation strategies**Land use**

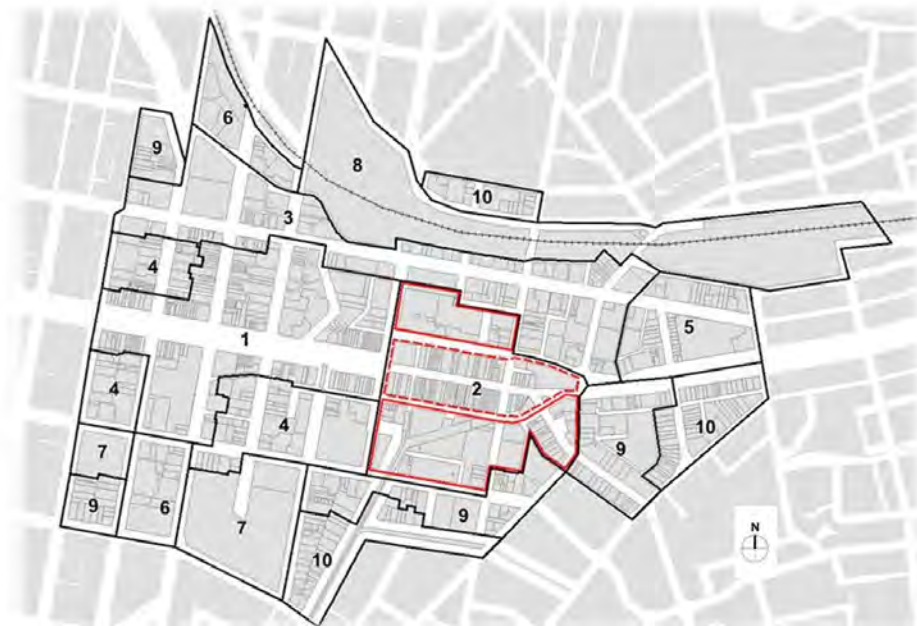
- Strategy 1 Facilitate significant new mixed use development and redevelopment in the CBD.
- Strategy 2 Facilitate the redevelopment of vacant upper floorspace within the Ballarat CBD for residential purposes.
- Strategy 3 Consider the objectives, strategies and actions of the CBD Strategy: Making Ballarat Central (2010).

Environmental risk

- Strategy 1 Facilitate appropriate CBD development within floodprone areas.
- Strategy 2 Support development within and adjoining the CBD on land which is flood prone, taking into account appropriate design responses to minimise the risk to life and property.
- Strategy 3 Work with local catchment management authorities to encourage appropriate development of vacant land within the CBD which may be impacted by flooding.

BALLARAT PLANNING SCHEME

Ballarat CBD



Legend

Precinct Boundaries	4 Peripheral Retail & Office
Roads	5 Local Retail
1 Sturt Street Core Retail	6 Commercial & Service Business
2 Bridge Mall Precinct	7 Education
Bridge Mall Core Precinct	8 Railway Station Mixed Use (Residential & Commercial)
Bridge Mall Non-Core Precinct	9 Mixed Use (Residential & Commercial)
3 Mair Street Corridor	10 High Density Residential

21.09-2
22/12/2016
C194

Mair Street Medical Precinct

Ballarat is a significant regional provider of health and medical facilities. The majority of medical and health services are located in the Mair Street Medical Precinct to the north west of the Ballarat CBD, including the Ballarat Base Hospital and the St. John of God Hospital. Over many years a significant number of smaller medical centres and allied health professionals have established in these areas which have historically been zoned residential. Dwellings in this area are highly desirable due to their close proximity to the Ballarat CBD, schools and Lake Wendouree, as well as the relatively intact stock of heritage dwellings and streetscapes. The increasing number of non residential uses in the area has led to a number of conflicts associated with, among other things, car parking difficulties for residents and patients. To balance these competing issues Council completed the *Ballarat Health Precinct Study 2006*.

Implementation strategies

Land use

- Strategy 1 Encourage the location of medical centres within the Precinct.
- Strategy 2 Encourage medical centre uses that provide regionally significant specialist services as identified by the *Ballarat Health Precinct Study 2006*.

BALLARAT PLANNING SCHEME

- Strategy 3 Discourage office, retail or industrial uses that do not require co-location with the hospital uses.
- Strategy 4 Discourage medical centre uses from locating in the residential areas surrounding the Mair Street Medical Precinct.
- Strategy 5 Promote the Mair Street Medical Precinct as the preferred location for specialist medical centre uses and other allied health professionals.
- Strategy 5 Encourage the provision of further car parking and other medical suites for Ballarat Base Hospital and St John of God Hospital.

Built form and amenity

- Strategy 1 Ensure the scale of buildings is consistent with building form and character of surrounding residential areas.
- Strategy 2 Ensure the surrounding residential areas' amenity is not reduced.
- Strategy 3 Restrict hours of operation where the use is located adjacent to residential dwellings.
- Strategy 4 Retain the existing building stock, especially where it is listed as an individual building in a heritage overlay or is recognised as a contributory building under the heritage overlay.
- Strategy 5 Require the provision of on site car parking to the rear of buildings.
- Strategy 6 Require areas between buildings and front boundaries to be landscaped.
- Strategy 7 Discourage removal of street trees when providing for a new access point to the land.
- Strategy 8 Restrict signage where a re-use of an existing building is proposed or the use is adjacent to a residential dwelling.

Infrastructure

- Strategy 1 Ensure car parking and access requirements are consistent with the requirements of the planning scheme or an approved parking precinct plan.
- Strategy 2 Support reductions in parking requirements only where on-street parking is underutilised or where justified by a parking precinct plan.

Mair Street Medical Precinct



21.09-3
22/12/2016
C194

Canadian Valley

The *Canadian Valley Outline Development Plan 2005* sets out the preferred form and principles of future development in the Canadian Valley. The plan recommends limiting residential development to areas that are already zoned for residential use and recognises the constraints imposed by native vegetation, landscape character and existing non-urban areas. Canadian Valley includes the existing towns of Mount Clear, Mount Helen and Buninyong and is the location of the University of Ballarat and the University of Ballarat Technology Park. Although most of Ballarat's population growth is to be directed towards the Ballarat West growth corridor, some

BALLARAT PLANNING SCHEME

will occur in the Canadian Valley in areas already designated for residential development. By 2021 the population of the Canadian Valley will grow by nearly 2,500 to over 11,000 people or an additional 1400 dwellings. Excluding land with vegetated areas and based on an average lot size of 800m² there is around 12 years supply of vacant residential land to accommodate this growth.

Implementation strategies

Land use

- Strategy 1 Consider the Canadian Valley Outline Development Plan –4 Overall Framework Plan for all applications.
- Strategy 2 Encourage the expansion of the tourism, retailing and economic role of Buninyong township based on preserving and enhancing its heritage and village character.
- Strategy 3 Encourage further commercial development at Buninyong in Warrenheip Street, north of the existing commercial area and in Learmonth Street, east of the council car park towards Inglis Street.
- Strategy 4 Ensure commercial uses within Buninyong which require large outdoor display and storage areas, locate within the Mixed Use Zone and are discouraged from locating within the commercial zoned areas unless storage areas are well screened and located away from the street.
- Strategy 5 Encourage in-fill development within the Buninyong crown township through the development of existing lots which can economically be provided with services and proper access.
- Strategy 6 Support the expansion of the University of Ballarat Technology Park, in a staged manner from its existing site to the east towards the University of Ballarat Mount Helen Campus, in a manner that is sympathetic to the landscape and environmental qualities of the Canadian Valley.
- Strategy 7 Encourage expansion of the University of Ballarat within the existing site and where it is free from environmental constraints.
- Strategy 8 Provide medium density housing at Mount Clear in close proximity to shopping and community facilities.
- Strategy 9 Promote infill residential development at Mount Clear that retains environmental features.
- Strategy 10 Provide a variety of residential lot sizes at Mount Clear ranging from 450m² to 2,000m², with larger lots in the native bush areas and alongside the Canadian Creek and Canadian Forest.

Built form and amenity

- Strategy 1 Ensure any future development outside the designated urban areas maintains a sense of rural landscape, especially as viewed from Geelong Road.
- Strategy 2 Ensure the direction of commercial development at Buninyong in Warrenheip Street, north of the existing commercial area and in Learmonth Street, east of the council car park towards Inglis Street reflects the existing commercial areas and the traditional linear form of commercial development in the township.
- Strategy 3 Promote infill development within Buninyong that respects existing development patterns.
- Strategy 4 Encourage new subdivision within the Buninyong crown township to follow a similar form to existing development being "straight/grid pattern"; rectangular lots and generally no cul-de-sacs.
- Strategy 5 Encourage further development of a linear open space/park system in Buninyong in a similar manner to that which has been developed in the vicinity of Forest Street.
- Strategy 6 Recognise and protect areas of crown land in Buninyong such as the Union Jack Reserve, from inappropriate development.
- Strategy 7 Ensure that any development which is located adjacent to crown land areas should be at a low density and should aim to protect any existing vegetation.
- Strategy 8 Utilise open space subdivision requirements in conjunction with the existing and planned park system in Buninyong.
- Strategy 9 Require extensions to the existing linear park system in Buninyong where this can be achieved through subdivision approvals.
- Strategy 10 Provide opportunities for increased residential development along the ridge alignment of the Ballarat-Buninyong Road and its adjoining tree canopy that can be screened, provided environmental values are not diminished.
- Strategy 11 Require development adjoining the Canadian Creek at Mount Helen to contribute to improvements to the condition of the waterway.
- Strategy 12 Provide an open space system at Mount Clear linked by pedestrian cycle access and which links the State Forest with the Creek and with the existing Mount Clear activity centre.
- Strategy 13 Require areas previously affected by mine workings at Mount Clear to be the subject of an environmental audit prior to use for sensitive purposes.
- Strategy 14 Encourage lots abutting Hocking Avenue and Recreation Road at Mount Clear to have wider frontages to minimise access points onto these roads, or to front side streets where possible.

BALLARAT PLANNING SCHEME

- Strategy 15 Contain residential development in Buninyong to within the existing residential area, unless guided by specific local planning.

Environment

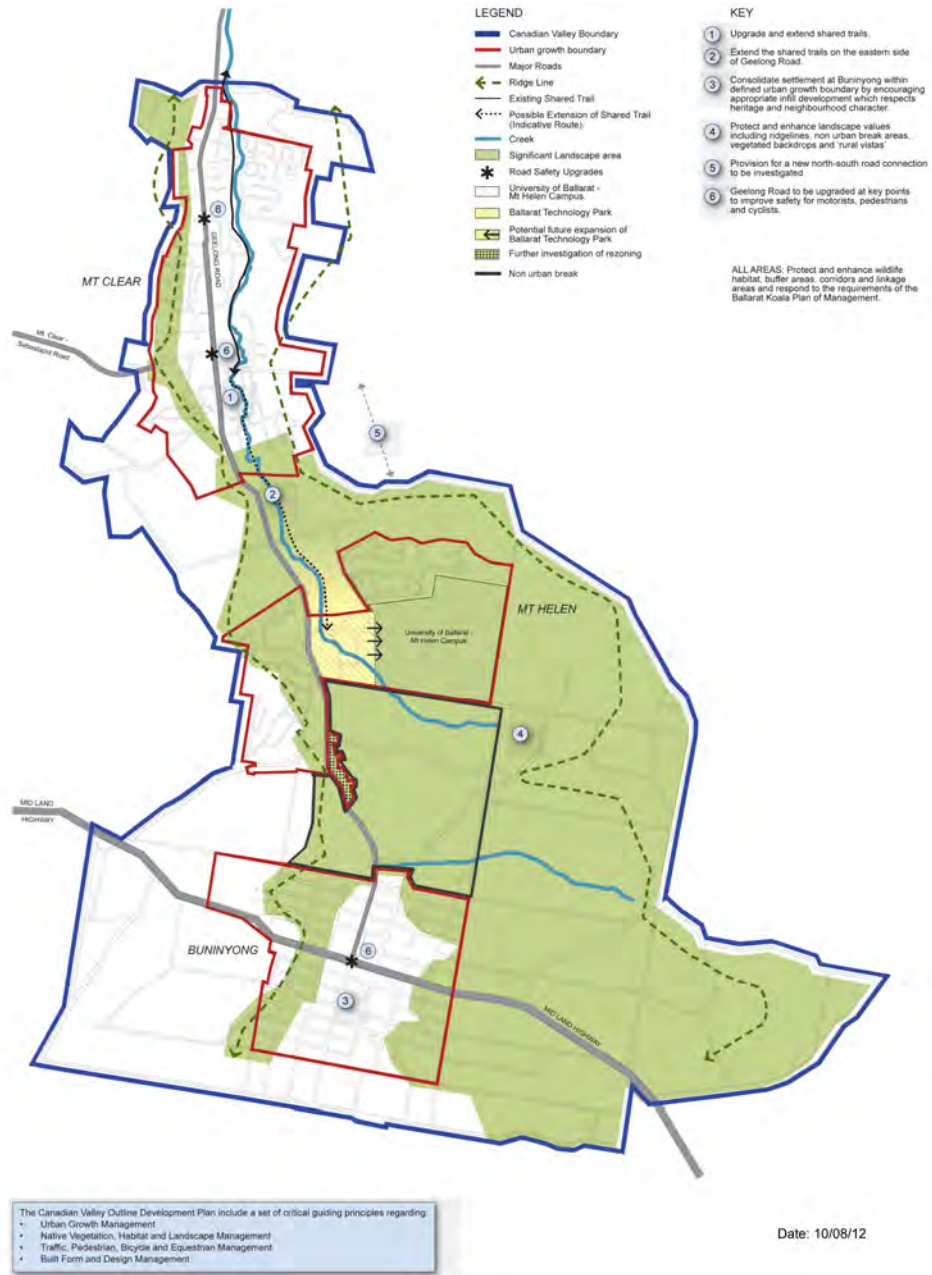
- Strategy 1 Provide an open space network in Buninyong that forms a corridor for the movement of flora and fauna.
- Strategy 2 Ensure new development along watercourses and the former railway reserve in Buninyong respects the need to preserve any existing native and exotic vegetation and amenity.
- Strategy 3 Protect and enhance natural and landscape values in the Canadian Valley including ridgelines, vegetated backdrops, non-urban breaks and open rural landscape vistas.
- Strategy 4 Ensure that non urban breaks are maintained, particularly as viewed from Geelong Road.
- Strategy 5 Maximise the retention of the 'green space' between the communities along the corridor.
- Strategy 6 Ensure development of the University of Ballarat and University of Ballarat Technology Park enhances and improves habitat links and recreational areas for the community.

Infrastructure

- Strategy 1 Improve infrastructure and links for sustainable transport modes, including the extension and enhancement of the shared trail network, particularly the proposed link along Canadian Creek.
- Strategy 2 Maximise opportunities to increase the provision of public transport and increased walking and cycling as alternatives to the motor vehicle.
- Strategy 3 Utilise unused roads in Buninyong as part of the open space system and as linkages for pedestrians and cyclists.

BALLARAT PLANNING SCHEME

Canadian Valley



BALLARAT PLANNING SCHEME**Other Implementation Actions**

Develop a Town Structure or Local Area Plan for Buninyong.

Applications covered by the Canadian Valley Outline Development Plan must provide a Site Specific Design Plan which includes an evaluation of:

- Native vegetation significance;
- Landscape contribution; and
- Habitat qualities including linkage areas for koalas.

Site Specific Design Plans must demonstrate (where appropriate) how development will:

- Retain, protect, manage and enhance native vegetation and habitat values;
- Respond to the requirements of the Ballarat Koala Plan of Management;
- Reflect contemporary needs including diversity of lot sizes and dwelling styles and sizes and ecologically sustainable development principles;
- Contribute to the extension, enhancement and rehabilitation of the existing shared trail network, particularly along creeks and watercourses;
- Integrate with adjoining developed and undeveloped areas in terms of traffic and road management, wildlife corridors and habitat linkages, drainage works and the shared trail network;
- Provide for useable open space areas;
- Utilise cluster planning on partially vegetated residentially zoned land, to protect native vegetation and provide for high quality increased density development in unconstrained areas of the site;
- Retain the rural appearance;
- Maintain clear open views of vegetated areas, ridgelines and skylines from Geelong Rd providing for large open areas in the foreground with a backdrop of native vegetation;
- Remove environmental weeds and rehabilitate environmentally degraded sites;
- Include water sensitive urban design principles into any development;
- Retain land subject to flooding and inundation in public ownership and rehabilitate the land so as to minimise the risk of downstream flooding and inundation; and
- Where residential development of pine plantations is proposed:
 - provide for a vegetated and visual buffer between the existing residential area and the new residential area, and
 - provide for revegetation of native species in open space areas.

21.09-4

22/12/2016
C194

Woodmans Hill

Woodmans Hill is located at the eastern entrance to the City of Ballarat. The area extends approximately 3 kilometres along both sides of the Western Highway, between the eastern municipal boundary of the City of Ballarat and the first major highway turnoff into Ballarat.

VicRoads plan to undertake significant road works to realign the Western Highway within the Woodmans Hill Gateway Precinct. The extent of the realignment will impact on the majority of land holdings within the Precinct and as such, future land use planning must allow for a smooth and sustainable transition.

Of particular importance is the need to develop a gateway precinct, that announces entry into Ballarat and that minimises ad-hoc development that may otherwise compromise the appearance and appeal of the area. It is also of importance to ensure that any new retail and industrial development does not conflict with the intent of Council's retail and industrial strategies.

BALLARAT PLANNING SCHEME

The *Woodmans Hill Gateway Precinct Master Plan (January 2015)* recognises the Woodmans Hill Gateway as one of the major entry points to the City, and highlights the opportunity to improve the entry experience, both visually and from a land use perspective. The Woodmans Hill Precinct is recognised for its high quality agricultural soils, particularly on the north side of the Western Highway. The precinct also contains sites of koala habitat and native vegetation protection.

Council must therefore provide guidance towards establishing a desired land use framework for the Precinct that will ensure the ongoing protection of these attributes. In this regard it is important to facilitate an appropriate mix of land uses and high quality development to improve the entry experience, as reflected in the *Woodmans Hill Gateway Precinct Master Plan (January 2015)*.

The objectives for the Precinct include:

- | | |
|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Objective 1 | To provide a distinctive entrance to Ballarat that will enhance the image and reflect the nature, history and culture of the Municipality, including through the provision of a major entrance feature/public art element. |
| Objective 2 | To achieve use and development that is respectful to the valued landscape and natural environmental elements of the area, including view lines, vegetation retention, landscaping and defined koala habitat. |
| Objective 3 | To encourage high quality sustainable built form. |
| Objective 4 | To achieve land use outcomes that add to the overall economic diversity of Ballarat without compromising the economic viability of Ballarat's Activity Centres, in particular the Ballarat CBD and the Ballarat West Employment Zone. |
| Objective 5 | To achieve a land use mix that has a focus on highway related functions, with ancillary retail and support for existing tourism uses that capture passing economic activity that contributes to the Ballarat economy. |

Implementation strategies

Land use and development

- | | |
|------------|-------------------------------------------------------------------------------------------------------------------------------------------------|
| Strategy 1 | Consider land use and development proposals generally in accordance with the <i>Woodmans Hill Gateway Precinct Master Plan (January 2015)</i> . |
| Strategy 2 | Restrict commercial use and development within the Precinct to land within the Mixed Use Zone. |
| Strategy 3 | Ensure an appropriate interface/buffer between the commercial and rural, rural living and residential areas of the precinct as appropriate. |

Design

- | | |
|------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Strategy 1 | Consider the design objectives contained in the <i>Woodmans Hill Gateway Precinct Master Plan (January 2015)</i> . Ensure redevelopment of the freeway and land abutting the freeway through Woodmans Hill incorporates design of landscape elements consistent with the vision for the entrance. |
| Strategy 2 | Minimise the impact of new development on view lines, natural landscapes and landforms within the precinct. |
| Strategy 3 | Discourage the proliferation of advertising signage. |
| Strategy 4 | Ensure that development addresses the design principles set out in the <i>Woodmans Hill Gateway Precinct Master Plan (January 2015)</i> . |
| Strategy 5 | Ensure that the design of new development incorporates environmentally sustainable design principles. |

Application requirements

Applications for land uses adjacent to the Western Highway are required to:

- Specifically address how the proposal capitalises on the access and visual exposure to the highway.
- Demonstrate why the use requires access and visual exposure to the highway for the economic viability of its operations.
- Demonstrate how the built form, layout, use, access arrangements and buffering are planned to ensure an appropriate interface with surrounding sensitive land uses on rural living and low density residential land and protect the existing rural character of the area. a

BALLARAT PLANNING SCHEME

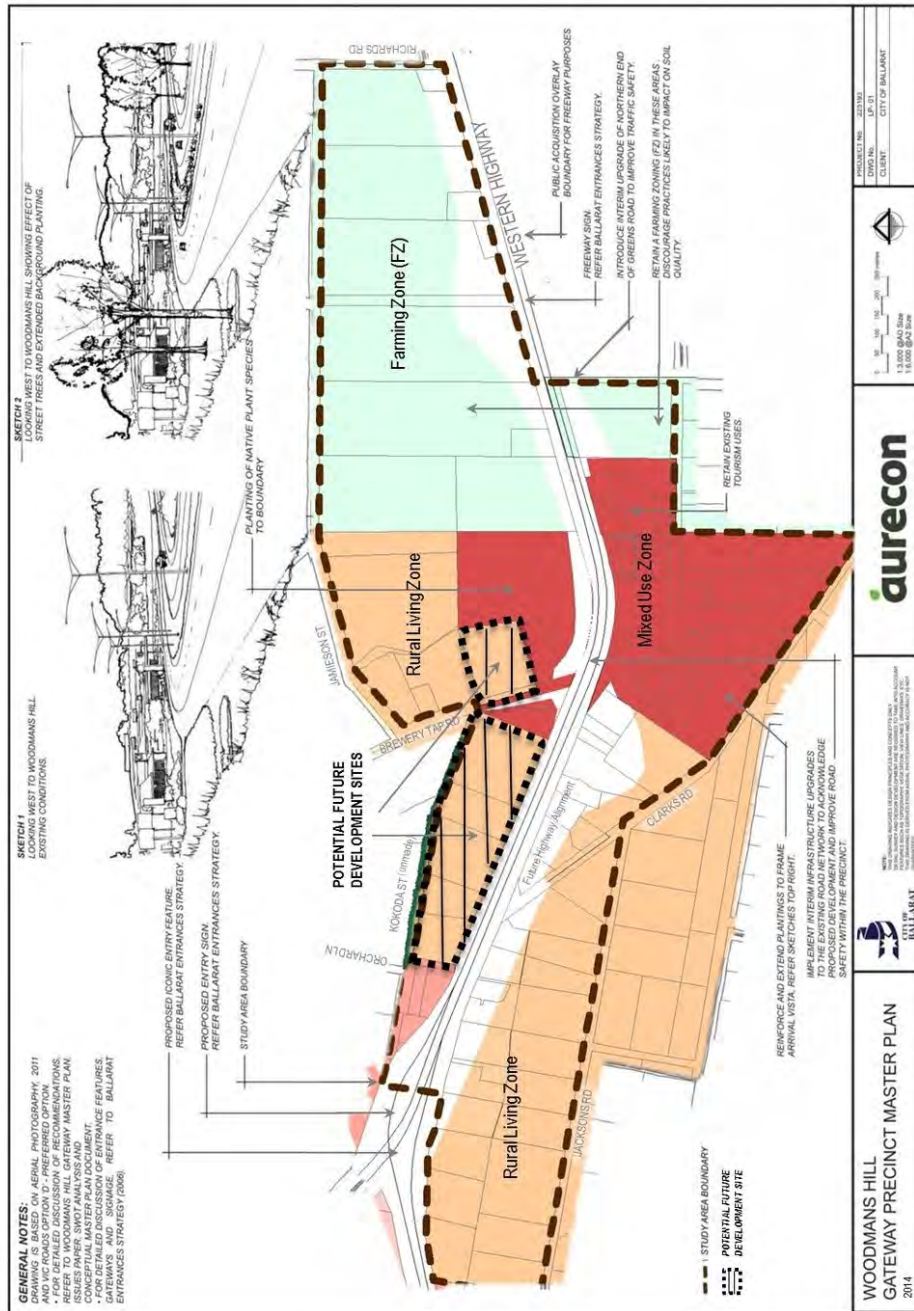
- Demonstrate that safe and appropriate access is provided, consistent with the Woodmans Hill Gateway Precinct Master Plan (January 2015).

Reference document

Woodmans Hill Gateway Precinct Master Plan (January 2015).

BALLARAT PLANNING SCHEME

Woodmans Hill Gateway Precinct Master Plan



BALLARAT PLANNING SCHEME**21.09-5 Miners Rest**

Proposed C235ball

The Miners Rest township is located to the north of Ballarat, separated from the main urban area by the Western Freeway. Miners Rest is characterised by the original township area located to the north of Cummins Road and the new residential estates located south of Cummins Road towards the Western Freeway. The area has significant constraints on development such as flood prone land and airport flight paths.

Implementation strategies**Land use and development strategies**

Support future infill residential development that respects the existing township character of Miners Rest North and Miners Rest South to suit lifestyle choice and assist ageing in place.

Support higher density residential, commercial, retail, service and community uses in the existing mixed use town centre precinct.

Protect Aboriginal Cultural Heritage and post-European contact heritage significance.

Protect rural land for agricultural, farming and equine related activity.

Protect the long-term operation of the Ballarat Airport.

Discourage the expansion of the Miners Rest Quarry to the east.

Support the continued operation of the equine industry / Dowling Forest Equine Precinct and development of associated businesses.

Support the growth of the Miners Rest Primary School through relocation and / or redevelopment.

Support the development of a sports facilities hub.

Support a direct pedestrian access / link between the quarry site and Creek Street / Miners Rest centre, as part of any potential future development, subject to consideration of potential engineering constraints.

Open space strategies

Support the provision of public open space, particularly on land adjacent to the Burrumbeet Creek that would otherwise not be developed due to environmental constraints.

Encourage landscape planting, including boulevard tree planting along main streets.

Provide pedestrian, cycling and horse-riding links through or around the town, including in new subdivisions.

Environmental Strategies

Protect the environmental and biodiversity values of Burrumbeet Creek.

Policy document

- *Miners Rest Township Plan* (City of Ballarat, November 2019)

BALLARAT PLANNING SCHEME

Miners Rest Framework Plan



Further strategic work

Undertake additional historical analysis of pre and post European contact sites to better understand the cultural significance and history of development of Miners Rest and determine if any formal heritage protection is warranted.

Develop a creek rehabilitation and environmental protection and management program in collaboration with the community, landowners, Wadawurrung Traditional Owners Aboriginal Corporation, DELWP and Glenelg Hopkins Catchment Management Authority.

Prioritise opportunities to create an open space corridor and facilitate a public access shared trail along the length of Burrumbeet Creek.

Undertake a rural landscape assessment to determine if any key rural / landscape views within and surrounding Miners Rest require formal protection.

Support the upgrade of the Miners Rest Primary School facility to maximise the provision of off-street parking to meet the school's needs.

Investigate the potential for the development of the quarry site for alternative uses, subject to further analysis including an aircraft noise study, bushfire risk assessment and land contamination assessment.

Undertake a strategic review of planning controls in the area between the Northern Growth Area and the equine industry / Dowling Forest Equine Precinct, identified in Figure 1 'Land subject to further strategic review' of the Miners Rest Township Plan, including further analysis of aircraft noise, bushfire risk and land contamination.

Develop a framework plan and design guidelines for the town centre, including the land zoned Mixed Use and General Residential.

Develop a strategic flood mitigation plan, and associated implementation plan, with consideration of an integrated solution that includes creek rehabilitation, open space and beautification.

BALLARAT PLANNING SCHEME

Undertake a review of the planning controls surrounding Dowling Forest racecourse, including Special Use Zone - Schedule 13 (SUZ13) and Farming Zone A & B.

Ensure that airport planning controls are considered to protect and safeguard the long-term operation of the airport.

BALLARAT PLANNING SCHEME**21.10 REFERENCE DOCUMENTS**

Proposed C235ball

Settlement and Housing

- Today, Tomorrow, Together: The Ballarat Strategy (2015)

Built Form, Heritage and Design

- Ballarat Heritage Precincts Study Part A, July 2006; Dr David Rowe: Authentic Heritage Services Pty Ltd and Wendy Jacobs: Architect and Heritage Consultant
- Ballarat Heritage Study (Stage 2), July 2003; Hansen Partnership
- Ballarat Urban Character Study, August 1999; John Patrick Pty Ltd and Allom Lovell and Associates Pty Ltd
- City of Ballarat Advertising Sign Guidelines, July 2013
- City of Ballarat Heritage Assessments: Sebastopol 2013 (Updated 2016); Dr David Rowe and Wendy Jacobs
- City of Ballarat Heritage Citation: Former Ballarat Orphanage August 2014
- Gates and Gate Posts, Driveway and Ponds 80 Howe Street Miners Rest Heritage Investigation, May 2015, Wendy Jacobs
- Heritage Citation – Former St James Presbyterian Church (2012)
- Sebastopol Heritage Study Stage 2, Final report, Volume 1: Key Findings & Recommendations, Thematic History; Volume 2: Citations; Volume 3: Mapping, Revised 2015; Context
- St. Patrick's Presbytery, O'Collins Hall and Diocesan Centre, Lyons and Dawson Street, Ballarat, Heritage Assessment, March 2015; Dr David Rowe: Authentic Heritage Services, March 2015

Environmental

- Ballarat City Council Comprehensive Koala Plan of Management Part 1 and Part 2, August 2006; Rolf Shlagloth and Hedley Thomson
- Ballarat Open Space Strategy Volume 1 and 2 2008
- City of Ballarat Native Vegetation Mapping and Review of the Vegetation Protection Overlay (VPO1), August 2005; Centre for Environmental Management, University of Ballarat

Economic Development

- Ballarat Activity Centres Strategy, 2012; Hill PDA and Hansen
- Ballarat Economic Program 2015-2019
- Ballarat Gaming Policy Framework, 2011
- Ballarat Review of Future Industrial Areas, Final Report, June 2009; CPG Australia
- Ballarat Rural Land Use Strategy, November 2010; Parsons Brinckerhoff
- Ballarat West Employment Zone Master Plan Document 2012; AECOM; May 2012
- Ballarat West Growth Area Plan, March 2009, Tract Consultants Pty Ltd
- Making Ballarat Central – The CBD Strategy, 2011

Transport and Infrastructure

- City of Ballarat Car Parking Strategy

Local Area Plans

- Ballarat Health Precinct Study, March 2006; Regional Innovation & Urbanomics

BALLARAT PLANNING SCHEME

- Canadian Valley Outline Development Plan, June 2005; RPD Group with Land Design Partnership and Andrew O'Brien & Associates
- Dowling Forest Precinct Master Plan, February 2011, Coffey Commercial Advisory
- Implementation of Dowling Forest Precinct Master Plan, April 2011, Keaney Planning
- Outline Development Plan for the Buninyong Township, December 1993; John Bennett & Associates
- Woodmans Hill Gateway Precinct Master Plan, January 2015; Aurecon
- Miners Rest Township Plan (City of Ballarat, November 2019)

BALLARAT PLANNING SCHEME

--/--
Proposed C235ball

SCHEDULE 3 TO CLAUSE 32.09 NEIGHBOURHOOD RESIDENTIAL ZONE

Shown on the planning scheme map as **NRZ3**.

MINERS REST NORTH**1.0 Neighbourhood character objectives**

--/--
Proposed C235ball

To protect the rural township character of Miners Rest North.

To encourage low scale and site responsive residential development that sits unobtrusively within the rural landscape setting.

To ensure that out-views to the surrounding landscape, and particularly to the volcanic hills, are protected.

To maintain and increase native vegetation cover by requiring permeable land for planting and sustaining vegetation, particularly large canopy trees.

2.0 Minimum subdivision area

--/--
Proposed C235ball

The minimum lot size for subdivision is 750 square metres.

3.0 Permit requirement for the construction or extension of one dwelling or a fence associated with a dwelling on a lot

--/--
Proposed C235ball

	Requirement
Permit requirement for the construction or extension of one dwelling on a lot	None specified
Permit requirement to construct or extend a front fence within 3 metres of a street associated with a dwelling on a lot	None specified

4.0 Requirements of Clause 54 and Clause 55

--/--
Proposed C235ball

	Standard	Requirement
Minimum street setback	A3 and B6	None specified
Site coverage	A5 and B8	45%
Permeability	A6 and B9	45%
Landscaping	B13	<p>Provision of a minimum of one canopy tree per 175 square metres of the site area, that will reach a minimum mature height that equals the height of the proposed development, including:</p> <ul style="list-style-type: none"> ▪ a minimum of one canopy tree within each area of secluded private open space; and ▪ a minimum of one canopy tree within the front setback per 5 metres of width of the site (excluding the width of one driveway). <p>Each tree should be surrounded by 20 square metres permeable surface with a minimum radius of 3 metres. Up to 50% of the permeable surface may be shared with another tree.</p> <p>The species of canopy trees should be native, and preferably indigenous to the local area.</p>
Side and rear setbacks	A10 and B17	None specified
Walls on boundaries	A11 and B18	None specified

BALLARAT PLANNING SCHEME

	Standard	Requirement
Private open space	A17	None specified
	B28	None specified
Front fence height	A20 and B32	None specified

5.0 Maximum building height requirement for a dwelling or residential building

Proposed C235ball

None specified.

6.0 Application requirements

Proposed C235ball

The following application requirements apply to an application for a permit under Clause 32.09, in addition to those specified in Clause 32.09 and elsewhere in the scheme and must accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A landscape plan drawn to scale that clearly demonstrates the requirements of Clause 55.03-8 Standard B13, as outlined in this Schedule, including:
 - Site boundaries, road frontage(s) and proposed and retained buildings.
 - The location of existing trees and vegetation to be retained, and those to be removed.
 - Details of any tree protection methods required.
 - The location of proposed additional canopy trees and other vegetation.
 - Notes regarding proposed mulch and soil types and quantities, subsoil preparation and any specific maintenance required.
 - A schedule to the landscape plan listing plants by their botanical names, common names, quantities proposed, and height and width at maturity.

7.0 Decision guidelines

Proposed C235ball

The following decision guidelines apply to an application for a permit under Clause 32.09, in addition to those specified in Clause 32.09 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- The extent to which the management and/or integration of vegetation and canopy trees on the development site contributes to the preferred landscape and neighbourhood character of Miners Rest North.
- The scale of the buildings or works and the visual impact on the surrounding landscape and out views.
- The extent to which the buildings and works are designed and sited to contribute to the rural character of the township.

MINERS REST TOWNSHIP PLAN



**FINAL
NOVEMBER 2019**



Acknowledgement of Wadawurrung peoples

We are proud to acknowledge the Traditional Owners of Country, which includes Miners Rest, the Wadawurrung peoples, and pay respects to all Elders past, present and emerging, as well as Elders from other communities that reside here today.

"The land on which Miners Rest stands is the traditional land of the Wadawurrung peoples, situated on the important travel route between Ballarat, Lake Burrumbeet and Lake Learmonth.

The Wadawurrung peoples made two significant journeys across this landscape throughout the year. During the summer they travelled from Ballarat to the 'food bowls' of Lake Burrumbeet and Lake Learmonth, via the creeks and wetlands. During the winter the Wadawurrung returned to Ballarat (the 'resting place'), where shelter from the wind and the harsh winter weather conditions of the western basalt plains was provided by the natural depression of the land at the area now known as Bakery Hill.

The Burrumbeet Creek was not only the key travel path between these important destinations, but was also the very essence of the natural 'supermarket', sustaining animals and plants that were essential food resources for the Wadawurrung peoples.

The location of Miners Rest itself was a place that offered an attractive stopping point for the Wadawurrung peoples on this journey from east to west; the attractiveness of this place as a resting post is evidenced in the richness of Aboriginal sites in this area.

The Wadawurrung people advocate that future development should view the natural waterways and water bodies as assets rather than obstacles; sympathetically incorporating them into the urban landscape to provide opportunity for public open space, protection of areas of Aboriginal cultural sensitivity, connection and linkages. Natural values and environmental corridors should be retained and improved to ensure the health and wellbeing of all peoples, and to help improve the amenity and livability of Miners Rest for existing and future residents".

(Uncle Bryon Powell, Wadawurrung Elder)

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Background and Supplementary Reports

Ballarat Aerodome Noise Modelling Report (To70 and Kneebush Planning, June 2018)	
Ballarat Airport Safeguarding Study (Kneebush planning, July 2018)	
Community Infrastructure Assessment_FINAL (ASR research, June 2018)	
Dowling Forest Precinct Planning Controls Review (Spiirem, Oct 2019)	
Miners Rest North Character Assessment - Supplementary report (Claire Scott Planning - Nov 2019)	
Miners Rest Plan - What you said report (City of Ballarat, May 2017)	
Miners Rest Township Plan - Background Information and Analysis (City of ballarat, Nov 2019)	
Miners Rest Township Plan issues and Opportunities paper (Hansen Partnership, Sept 2017)	

Miners Rest Township Plan Priority Action Plan (City of Ballarat, Nov 2019)

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Thanks to

This Township Plan has been prepared by the City of Ballarat with assistance from Hansen Partnerships, ASR Research and Claire Scott Planning.



MINERS REST TOWNSHIP PLAN

Executive Summary

The Miners Rest Township Plan is a strategic document that provides a long-term planning and design vision for Miners Rest. It sets a strategic framework to manage and guide future development through to 2040.

The plan is being developed as part of a program of local area planning for the City of Ballarat to implement the Ballarat Strategy. The scope of the project includes the full extent of the Miners Rest postcode (See Figure 1).

A number of key challenges and opportunities have been identified through community consultation and investigation, including

- Flood management
- Stronger connection between the north and south of Miners Rest with an improved path network and landscaping
- Improved quality of development and managed growth
- Burrumbeet Creek restoration and creation of a linear parkland and trails
- Protection of views and rural setting
- Need for local sports facilities
- Improved pedestrian and cycling infrastructure
- Protection of heritage features and assets
- Improved public realm and landscaping
- Safeguarding Ballarat Airport

- Complementary development of any future northern growth area
- Impacts from saleyards development
- Limited sewerage infrastructure

There are number of issues specifically relevant to the north and south parts of Miners Rest:

North Miners Rest:

- Need to maintain the village and township character
- Recent urban style development has resulted in smaller lot sizes and reduced areas for landscaping
- Growth of town centre and attracting new businesses to service local needs
- Buffers from activity at the Dowling Forest precinct/rural land
- Need to accommodate the growth of Miners Rest Primary School
- A new future for Miners Rest Quarry
- Managing a growing equine industry

South Miners Rest:

- Safe and convenient access to north Miners Rest
- Safe cycle access to Ballarat over the Western Freeway bridge
- Future potential development of Northern Growth Investigation Area

- Future of Ballarat Commons land
- Need to improve connection to town centre and community facilities

The Township Plan includes objectives, strategies and actions to respond to these key challenges and opportunities.

The Township Plan also addresses matters relating to land-use, activity and design guidance within both the public and private realms. It includes initiatives that the City of Ballarat can have a direct role in influencing, facilitating or implementing, as well as actions and initiatives the Miners Rest community/community groups can take a lead with.



Vision

In 2040 Miners Rest will be:

- *A family orientated rural township with a friendly and inclusive community spirit*
- *A compact and contained township functioning as a separate 'satellite' settlement to Ballarat*
- *A rural township character which is positively influenced by the surrounding open rural landscape*
- *A township with ample commercial uses and activities to meets the day-to-day needs of the local community and businesses*
- *A vibrant, inviting and attractive township with well-designed, tree-lined streetscapes and pedestrian/cycling connections linking major community hubs*
- *A township recognised and celebrated for its significant equine industry*
- *A township with ample public transport options and the safe management of vehicle traffic.*

The Township Plan and its associated initiatives has been framed around the following three themes and objectives:

Theme 1: Celebrate Miners Rest's historic & natural assets

- *Objective 1: To increase knowledge and promotion of Aboriginal and European history of the township and region*
- *Objective 2: To improve the environmental quality of Burrumbeet Creek and increase public access to this natural environmental asset*
- *Objective 3: To protect agricultural land and support farming activities on land surrounding Miners Rest*
- *Objective 4: To acknowledge and protect key iconic rural landscape views providing a unique and attractive setting for Miners Rest.*

Theme 2: Establish a connected and unified township & community

- *Objective 5: To improve streetscape amenity through targeted streetscape planting*
- *Objective 6: To improve pedestrian and cycling connections throughout the township, including links to local commercial and community activity nodes and to Ballarat*
- *Objective 7: To minimise pedestrian and vehicle conflict zones, including streets surrounding the primary school*
- *Objective 8: To manage traffic speed within and surrounding the township*
- *Objective 9: To support the development of community-based initiatives and programs*
- *Objective 10: To improve local public transport options.*

Theme 3: Facilitate township growth & prosperity, and maintain character

- *Objective 11: To facilitate targeted opportunities for the growth of the township, and the targeted development of well-designed infill housing, to suit lifestyle choices and assist aging in place.*
- *Objective 12: To encourage new forms of residential and commercial development on vacant Mixed Use Zone (MUZ) land and develop a township heart through the definition and strengthening of the commercial/retail role.*
- *Objective 13: To manage and appropriately respond to the impact of flooding throughout Miners Rest.*
- *Objective 14: To acknowledge, support and promote the expansion of the equine industry and business activities.*
- *Objective 15: To designate appropriate locations for potential school, sporting, recreational and community infrastructure.*
- *Objective 16: To protect the long-term functional operations of Ballarat Airport.*
- *Objective 17: To plan for long-term growth in appropriate locations.*

The Township Plan includes a series of strategies and actions to implement the objectives of the plan.

1: Introduction

The Miners Rest Township Plan is being developed as part of a program of local area planning for the City of Ballarat to implement the Ballarat Strategy.

The Miners Rest Township Plan seeks to:

- Establish a long-term community vision for Miners Rest.
- Develop a prioritised action plan and responsibilities for implementation.
- Guide The City of Ballarat and other authorities to prioritise investment in the region.
- Provide a sound basis for community and City of Ballarat to apply for grants or lobby for funding.
- Identify potential changes to the Ballarat Planning Scheme to implement land use planning actions to achieve the vision.



Open landscape views/rural setting surrounding Miners Rest - view to the north

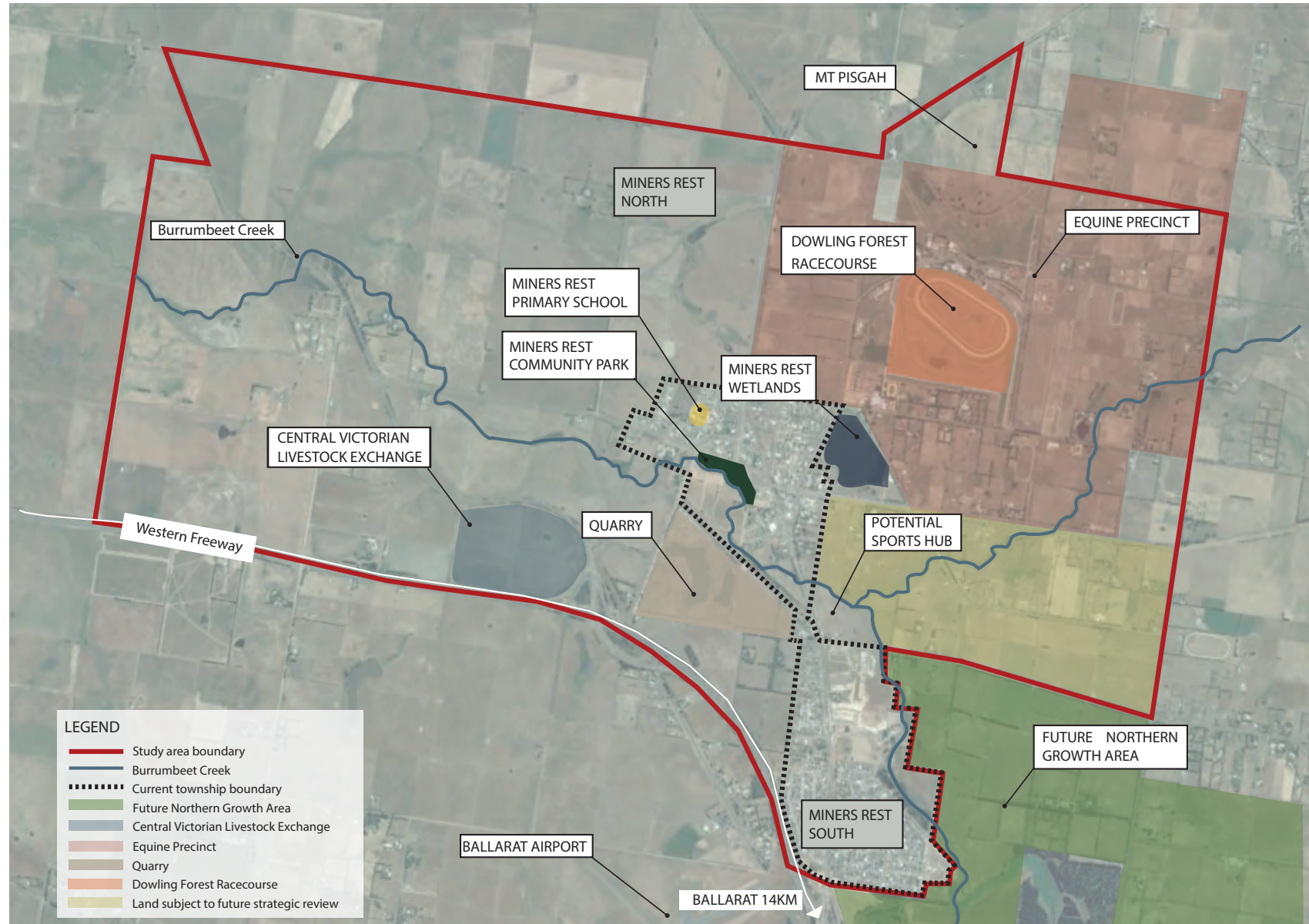


Figure 1 Miners Rest Study Area

1.1: What is the Miners Rest Township Plan?

The Miners Rest Township Plan is a strategic plan that sets out a vision and long term plan for the future of Miners Rest until 2040. It has been developed following extensive community consultation and is intended to be used to guide and manage change.

The plan addresses issues relating to land use planning and design of the public realm. It includes initiatives and actions that can be implemented by the City of Ballarat, other authorities and the community.

The Township Plan has been framed around the following three themes:

- *Theme 1: Celebrate Miners Rest's historic & natural assets*
- *Theme 2: Establish a connected and unified township & community*
- *Theme 3: Facilitate township growth & prosperity, and maintain character*

Study Area

The Study Area includes the full extent of the Miners Rest postcode. The study area extends to Davenport Road to the north, Western Freeway to the south, Gillies Road to the East and Draffins Road/Sunraysia Highway to the west (see Figure 1).

The study will consider Miners Rest within its semi-rural context and broader context of Ballarat.

Background Reports

The Township Plan is supported by a Background Research and Analysis Report (November 2019).

During the project a number of reports have been prepared and used for consultation with the community, including:

- *'What you said' Community Consultation Report (May 2017)*
- *Miners Rest Township Plan Issues and Opportunities Paper (August 2017)*
- *Draft Miners Rest Township Plan (July 2018, November 2018 & June 2019)*
- *Miners Rest North Character Assessment, (Nov 2019)*

A number of other interrelated studies have been undertaken and these are detailed in the next section.



Creswick Street, Miners Rest: view of Mt Blowhard to the north

1.2: Interrelated Projects

There are a number of other important land use considerations within and near the township area which have an interrelationship with the Miners Rest Township Plan. These include:

- Dowling Forest Racecourse Precinct
- Northern Growth Investigation Area
- Ballarat Airport
- Saleyard Development
- Miners Rest Primary School Expansion.

See Figure 2 for the location of each of these in relation to the study area.

A brief summary of each of these, and implications for the plan, is detailed below.

Dowling Forest Racecourse Precinct

The Dowling Forest Racecourse is one of Victoria's premier thoroughbred racing and training facilities, used to train more than 500 horses, with an increasing number of trainers based at the racecourse. It is a significant economic asset and Racing Victoria has identified Miners Rest as a key training centre for growth and expansion in the future.

The Dowling Forest Precinct has been established by the City of Ballarat to recognise, support and protect the equine industry. Planning controls have recently been reviewed and a planning scheme amendment will be undertaken in 2020 to ensure that planning controls are practical and support the desired outcomes for the precinct.

Council also decided to review the planning controls of land to the south of Dowling Forest as part of planning for a

northern growth area.

Section 3.5 of this report provides more information about the precinct.

Northern Growth Investigation Area

The City of Ballarat recently completed a study to consider locations to accommodate the long term growth of Ballarat. This included the Northern Growth Investigation Area (GIA) which is located to the south east of Miners Rest and abuts the township plan study area.

The investigation concluded that the Northern Growth Area should be one of two growth areas that should proceed to precinct planning to deliver an affordable, attractive and well serviced community.

In October 2019, Council resolved to proceed with planning for this growth area. The planning process will be undertaken over the next 5 years (approximately), and it will need to ensure that any new development respects and reinforces Miners Rest as a stand alone township and provides complementary services and facilities. Planning for the northern growth area will also review the planning controls of land between the investigation area and the Dowling Forest precinct.

Ballarat Airport

Ballarat Airport is located immediately to the south of Miners Rest, on the southern side of the Western Freeway. The airport accommodates two runways and as the prevailing take off direction of aircraft is to the north, aircraft flights paths are located directly over large areas of Miners Rest. While the airport does not provide for commercial/public passengers, it currently serves a role for training purposes

and a limited role for regional emergency services.

A master plan has been prepared for the airport which includes consideration of the north/south aligned runway being extended to 2,000m. Noting that Ballarat Airport is an infrastructure asset of regional significance, it is important to ensure its long-term viability and potential future expansion is not compromised by incompatible land use and development on surrounding land, such as sensitive residential uses. This issue is addressed in further detail in this report and the Background Report. The City of Ballarat has recently prepared two reports to ensure long-term safeguarding of the airport, that have been considered in the preparation of the Miners Rest Township Plan:

- Ballarat Airport Safeguarding Study (July 2018)
- Ballarat Aerodrome Noise Modelling Report (June 2018).

Saleyard Development

The Saleyard Development (Central Victorian Livestock Exchange (CVLX)) is located to the south-west of Miners Rest, at the intersection of the Western Highway and the Sunraysia Highway. The CVLX has been relocated from the existing saleyards site in Latrobe Street Ballarat, and is a facility of regional significance.

The construction of the facility was completed in October 2018. There have been a number of issues that the community has raised during the commissioning period of the facility, including odour and traffic management. These issues are being managed and addressed by the facility, EPA and Council. The facility is required to comply with all the conditions of the approved Development Plan and Works Approval.



Miners Rest Township Plan

Miners Rest Primary School Expansion

The community and school have successfully lobbied for State Government funding to upgrade the Miners Rest Primary School. This project will be led by the Victorian School Building Authority, in partnership with the school and community. The upgraded facility will include a sports facility with community access. There have been significant traffic and parking issues around the existing school that will need to be considered and addressed in the design of an expanded school facility.

It has not been confirmed whether the school will be upgraded on the current site or alternative site. This plan recommends criteria for selection of an alternative site if this is the preferred option for the State government.

Interrelated Projects

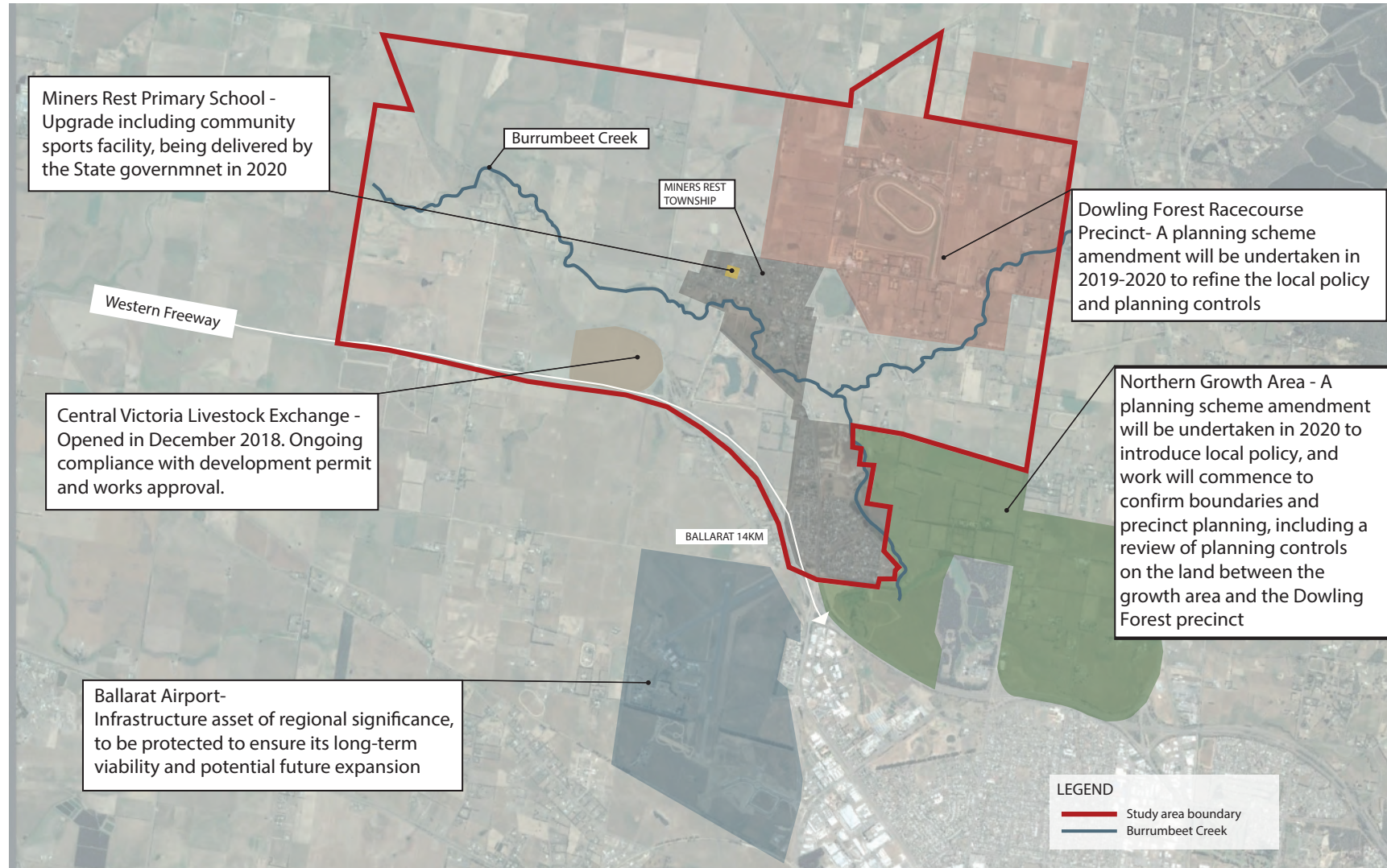


Figure 2 Interrelated projects

1.3: How will the Township Plan be used?

The Miners Rest Township Plan will be used to guide future land use and development in a coordinated manner and provide greater certainty for all stakeholders.

The Township Plan outlines policy directions, and important physical outcomes that relate to land use, built form and activity, landscape and environment, and access and movement.

The Township Plan will be used by:

City of Ballarat

- As a basis for introducing new planning policies and associated statutory controls into the Ballarat Planning Scheme (as appropriate)
- In assessing planning permit applications
- In assessing any private requests to re-zone land
- In guiding non-statutory initiatives, arrangements or partnerships to assist in realising potential future opportunities within the centre
- In preparing capital works budgets to implement public works; and in delivering community services, including additional recreational facilities.

The community

- To have a common understanding of how the township and specific precincts are likely to change in the future
- To assist community groups in prioritising future work and in seeking funding for projects
- To provide a framework for community groups to assist in implementing long-term plans.

Existing business owners

- To create greater certainty and appreciation regarding the future direction of the commercial centres/nodes.

Developers

- To understand the development opportunities that exist and the matters that will be taken into account in assessing development proposals.

Other government agencies:

- In coordinating infrastructure improvements with work undertaken by the City of Ballarat and other agencies including roads and education (i.e. Miners Rest Primary School).

More broadly it is important that the Township Plan must be regularly monitored to ensure its directions and ambitions continue to be relevant to the township as it changes and evolves over time.

See figure 3 to see how the plan can be implemented.

1.4: Project Methodology

The preparation of the Miners Rest Township Plan has been undertaken in a number of phases. This has included collation and analysis of background information on existing conditions, as well as community consultation.

The broad phases of the project have involved:

- Review of relevant background documentation
- Initial community consultation
- Targeted stakeholder engagement (including internal City of Ballarat departments)
- Preparation of an Issues & Opportunities Report (including a Community Infrastructure Assessment)
- Community consultation on the Issues & Opportunities Report
- Targeted site meetings with selected landowners
- Preparation of a draft Township Plan
- Community consultation on the draft Township Plan
- Finalising the Township Plan for Council adoption.

Implementation of the plan will commence following formal adoption by Council.

Implementing the Miners Rest Township Plan


Land Use Planning

Immediate:

- Amendment to introduce the Township Plan to the Planning Scheme

Next steps/ongoing:

- Assessment of rezoning or development proposals with reference to the Township Plan and new controls
- Heritage gaps investigation
- Landscape assessment to ensure views are adequately protected



MINERS REST TOWNSHIP PLAN

- COMMUNITY VISION
- PRIORITY ACTION PLAN
- RESPONSIBILITIES
- TIMEFRAMES

Infrastructure works program

Immediate:

- Flood mitigation strategic planning and initial works
- Commence creek rehabilitation works
- Design shared 5km loop trail
- Design Town Centre improvements

Next steps/ongoing:

- Trails and cycling network
- Burrumbeet Creek improvements
- Traffic and transport improvements
- Streetscape upgrades

Investment

Immediate:

- Upgrade Miners Rest Primary School
- Community sports facility

Next steps / ongoing:

- Private investment in the town centre
- New residential development

Advocacy

Immediate / ongoing:

- Attract new businesses to meet local needs
- Change to speed limits
- Safe equine crossing along Kennedy's road
- Government investment, services and facilities
- Public transport services
- Establishment of partnerships to implement non-regulatory projects

Community

Immediate / ongoing:

- Apply for funding for community projects
- Lobbying for investment in community priorities
- Promoting the town
- Organising and participating in community-building activities, e.g. tree planting days, local market
- Partnering with City of Ballarat and other authorities to develop and implement projects

Figure 3 Implementing the Miners Rest Township Plan

2: Community Consultation: Findings

There have been a number of community consultation stages throughout the development of the Township Plan:

- Initial consultation - documented in "What you Said" background report
- Issues and Opportunities Paper
- Draft Township Plan (June 2018, November 2018 & June 2019).

Consultation has also been undertaken 1:1 with a number of stakeholders and landholders throughout the project.

Consultation findings are summarised below, and more detailed information is provided in the Background Report.

See Figures 5 & 6 for details of 'What you said' and 'What you said: Key Challenges for Miners Rest'.

Initial Community Consultation

The first round of consultation was held at the commencement of the project. The main focus was on identifying the key issues, opportunities and ideas for improvements. As part of this process, a community workshop/drop-in session was held on Tuesday 21 March 2017. In addition, a community survey/questionnaire was circulated to all Miners Rest residents.

In order to guide input into these initial consultation process, three questions were posed to the Miners Rest community:

- *What do you love about Miners Rest?*
- *What do you imagine for Miners Rest?*
- *What do you want to retain in Miners Rest?*

'What You Said? Summary Report

Following the completion of the initial consultation process, a 'What You Said?' summary report was prepared to document the range of commentary, and provide a detailed summary and analysis of written submissions and verbal commentary received. The 'What You Said?' summary report formed an integral input into the preparation of the Issues and Opportunities report.

The top responses to the three key questions included:

Love:

- *The country atmosphere and local environment of the town, with it being quiet and peaceful*
- *The sense of community spirit, with diverse age groups, from young families to retirees*
- *Close proximity to Ballarat but still feels like a country town*
- *Being family and a positive place to raise children, as it is relaxed, safe and has a caring community*
- *The open rural landscapes and wider views to Mount Rowan and towards the Pyrenees*
- *The pub, supermarket, corner store and post office as positive town assets*
- *Miners Rest provides country living with city access and being a 'satellite' community to Ballarat with no industry or commercialisation.*

Imagine:

- *Provision of more retail shops, café, chemist, doctors' surgery etc*
- *Provision of a sporting hub including sports ovals, netball courts, bowling club, leisure centre, gym, swimming pool/waterpark, café etc*
- *Provision of improved park facilities including, paths and play equipment (swings, slides, toilet blocks, BBQ equipment, drinking taps etc.)*
- *Development of more walking and bike tracks to connect different parts of the town, as well as Ballarat and the surrounding region (including from Macarthur Park into Miners Rest, and open Nelson Street past the quarry to connect to the school)*
- *Implementation of better traffic management within and surrounding the town, including more formalised roads.*
- *Provision of a true town centre/village centre to provide a focal point for the town.*

Retain:

- *The rural nature, community focus and small town feel*
- *The friendly, safe and thriving country feel*
- *Parklands and open spaces*
- *Large blocks, avoiding high-density housing*
- *Existing commercial facilities.*

Community Consultation: Issues & Opportunités Report

The Issues and Opportunities report was subject to further community consultation. This included two facilitated community consultation sessions. Written comments were also sought over a four week period. The two consultation sessions were attended by more than 50 community members, while 12 written submissions were received. The commentary and feedback received during this process can be summarised under the below themes. A detailed summary is provided in the background information and analysis report.

Township Growth

- Discussions relating to growth revolved around the opportunities that growth can bring to the community as well as where to locate it and how best to manage it
- While the continued growth of Miners Rest was seen as a positive, there was a view that the current growth of Miners Rest has not kept up with development and that the provision of community infrastructure and services should be linked to future development
- A mixture of some infill complemented with well-located greenfield development was considered to be the most suitable option for the future direction of residential development
- The importance of retaining the existing character and rural atmosphere of the township was also highlighted, where there was general consensus that the size of new lots should be larger than typical urban block, and that new subdivision should also respect the surrounding rural landscapes.

Town Centre

- The development of a vibrant town centre through increased activity and development underpinned by appropriate public works received overwhelming support from the community
- Increased commercial activity and opportunities for infill development in suitable locations was thought to be a positive way to achieve this
- Issues related to pedestrian and cyclist safety were addressed and further highlighted the lack of crossings along Howe Street and the inconsistency of foot paths throughout the centre as identified in the Issues and Opportunities report
- The provision of a consistent footpath network, boulevard tree planting along Howe Street and shared trail unifying the two halves of Miners Rest received strong support.

Community Facilities

- The need for an increased range of community facilities
- The most important community facilities identified was the expansion of the school and the development of some form of sporting and recreation hub
- The importance of developing a sporting facility was noted for its ability to provide a focal point in the town and the creation of sports clubs within the town rather than residents participating in other teams outside the community.

Equine Industry

- Supporting the growth and protection of the equine industry, due to the economic benefits it brings to the community and its historical significance
- An emphasis was placed on ensuring the appropriate zoning of land surrounding Dowling Forest to support its potential future expansion and the need for the provision of staff training facilities and industry related services.

Historic and Natural Assets

- The natural setting and spaciousness afforded to Miners Rest and the significance of Burrumbeet Creek was again highlighted. Improving the flow of Burrumbeet Creek and ensuring appropriate flood mitigation and planting is provided to the wetlands were noted as key priorities for the natural assets
- Increasing connections to Burrumbeet Creek and the wetlands was also emphasised.

The above community based commentary and feedback has informed the drafting and preparation of the Township Plan, and particularly the Vision Statement and associated objectives and actions.

Community Consultation: Draft Township Plan

Almost 1000 people visited the Council MySay website during the draft plan consultation period, with 29 online surveys and 16 written submissions received. Details are also included in the Miners Rest Township Plan Background Information and Analysis Report (Attachment 2).

Feedback on the Draft Miners Rest Township Plan was overwhelmingly positive. Of the 29 people who responded to the online survey, approximately 86% respondents either fully or partially supported the Vision for the area, and 79% of respondents indicated that the three overarching themes either fully or partially cover the most important matters for Miners Rest.

Of the eleven key priorities presented to the Community in the Miners Rest Township Plan "Priority Action Plan", the top 5 community priorities were:

- Expanded or new location for primary school
- Town Centre - a vibrant heart and main street
- Flood mitigation
- New active sporting facilities
- More local jobs and services.

Requests to review the zoning of land south of the Miners Rest wetland and Dowling Forest precinct were received. Council has decided to review this as part of the northern growth area planning process.

In close consultation with the Committee for Miners Rest, further refinement of the Township Plan occurred from December 2018 – November 2019 to resolve a number of outstanding issues.

This included a community survey of township character, to better understand what people value and want to protect about the original town character. See figure 4 for a summary of findings.



Figure 4 Miners Rest North Neighbourhood Character Summary of Findings

What you said

The City of Ballarat is partnering with the Miners Rest community to deliver The Draft Miners Rest Township Plan. During the development of the plan, the community told us what they love, imagine and want to retain for Miners Rest.

You told us that you love the quiet and peaceful country town feel, with wide open views to the surrounding rural landscape, and its close proximity to Ballarat. You love that the town provides a family-oriented and diverse

community. You want to retain the rural nature and small town feel of Miners Rest, with large lot sizes, access to local commercial facilities, parklands and open space.

“ITS ‘VILLAGE’ FEEL.
ITS SENSE OF COMMUNITY.
ITS HISTORY.”

LOVE:

-  The country atmosphere and local environment of the town, with it being quiet and peaceful.
-  The sense of community spirit, with diverse age groups, from young families to retirees.
-  Close proximity to Ballarat but still feels like a country town.
-  Being family-orientated and a positive place to raise children, as it is relaxed, safe and has a caring community.
-  The open rural landscapes and wider views to Mount Rowan and towards the Pyrenees.
-  The pub, supermarket, corner store and post office as positive town assets.
-  Miners Rest provides country living with city access and being a ‘satellite’ community to Ballarat with no industry or commercialisation.

“WOULD LOVE TO SEE THE MINERS REST TOWNSHIP EXPAND WITH SHOPPING FACILITIES AND CAFES.”

IMAGINE:

-  Provision of more retail shops, cafes, chemist, doctors surgery etc.
-  Provision of a sporting hub including sports ovals, netball courts, bowling club, leisure centre, gym, swimming pool/waterpark, café etc.
-  Provision of improved park facilities including, paths and play equipment (swings, slides, toilet blocks, BBQ equipment, drinking taps etc.).
-  Development of more walking and bike tracks to connect different parts of the town, as well as Ballarat and the surrounding region (including from MacArthur Park into Miners Rest, and open Nelson Street past the quarry to connect to the school).
-  Implementation of better traffic management within and surrounding the town, including more formalised roads.
-  Provision of a true town centre/village centre to provide a focal point for the town.

“I LOVE THE COUNTRY VILLAGE FEELING AND THE BEAUTY OF THE DOWLING FOREST RACECOURSE AND THE HORSES.”

RETAIN:






-  The rural nature, community focus and small town feel.
-  The friendly, safe and thriving country feel.
-  Parklands and open spaces.
-  Large blocks, avoiding high-density housing.
-  Existing commercial facilities.

Figure 5 'What you said'

What you said - Key Challenges for Miners Rest

CHARACTER AND GROWTH

- There is a need to protect the existing character and village atmosphere of the township and broader landscape views from inappropriate development.
- High density development out of character with the original town character
- In recent years there has been rapid growth
- There are mixed views about the need for infill versus greenfield development
- New poor quality development is being approved
- The provision of infrastructure has not kept up with growth



TOWNSHIP AMENITY

- Concern about the new saleyards has created significant stress amongst the community
- A cohesive tree planting program would improve the appearance of the town
- Integration with the equine precinct is poor

ACCESS AND MOVEMENT

- A shared trail along Burrumbeet Creek would connect the north and south parts of the town
- The path network is inadequate and it is difficult and unsafe to cross Howe Street, and move throughout the town walking or on a bike



LOCAL FACILITIES AND SERVICES

- The Miners Rest Primary School needs to be upgraded
- There is a lack of local shops, sports facilities, paths and cycling facilities
- There is nowhere to hang out with friends or as a family
- The Miners Rest Primary School needs to be upgraded

FLOODING AND BURRUMBEET CREEK

- Flooding is a major issue
- Burrumbeet Creek is environmentally degraded and blocked up, which is adding to the flooding issue
- New development across the broader catchment has increased flooding



Figure 6 'What you said - Key Challenges for Miners Rest'

3: Context, Challenges & Opportunities

3.1: Settlement History

Miners Rest is a small rural township/settlement located within a picturesque open rural landscape. The township is located immediately north of the Western Freeway, some 17 kilometres north of the Ballarat Central Business District. The township is physically separated from the outer northern edge of Ballarat by the Western Freeway, while the north/south aligned Howe Street runs through the centre of Miners Rest in a north-south direction.

Miners Rest is characterised by the original township area located to the north of Cummins Road and the new residential estates of Macarthur Park and Sunraysia Heights Estates located south of Cummins Road towards the Western Freeway. The North and South areas of Miners rest have very different settlement history, character and needs (see figure 7).

With regard to Aboriginal cultural heritage, the land on which Miners Rest stands is the traditional land of the Wadawurrung peoples, situated on the important travel route between Ballarat, Lake Burrumbeet and Lake Learmonth. The location of Miners Rest itself was a place that offered an attractive stopping point for the Wadawurrung peoples on this journey from east to west; the attractiveness of this place as a resting post is evidenced in the richness of Aboriginal sites in this area.

Historically, European settlement of the area dates back to the gold rush period of the 1850s. The first formal survey of the town occurred in 1854, where the extent of the town at the time is noted to broadly correspond with today's extent of the 'old' northern area of the township. The development of the town was based on its strategic advantage of being

located between the goldfields of Clunes and Buninyong and the Burrumbeet Creek, and consequently was a convenient camping place for miners en-route to the Ballarat goldfields, hence the name 'Miners Rest'. However, the township itself was not a prominent mining area. The township character of Miners Rest north is highly valued by the community.

A school opened in the township in 1858, which is the same site as today's Miners Rest Primary School. Around the same time the Ballarat Turf Club transferred its annual race meetings to the site at Dowling Forest, which remains prominent and active today. By the 1880s there were three churches and up to seven hotels in the wider region, however the majority of the original heritage buildings have since been demolished.

Like many regional and rural locations during the 1920s-70s, Miners Rest experienced a gradual decline in rural population. The railway line through the district to Waubra was closed in 1968. Through the 1980s the township maintained a rural residential role and saw a rapid growth in the 1990s due to a large number of new dwellings being constructed during this time.

The township area of Miners Rest is set within a broader open rural/agricultural landscape, which includes open views and scenic vistas of a number of surrounding volcanic hills/landforms, including Mt Rowan, Mt Blowhard and the Bald Hills.

Other major land uses/developments within Miners Rest study area include:

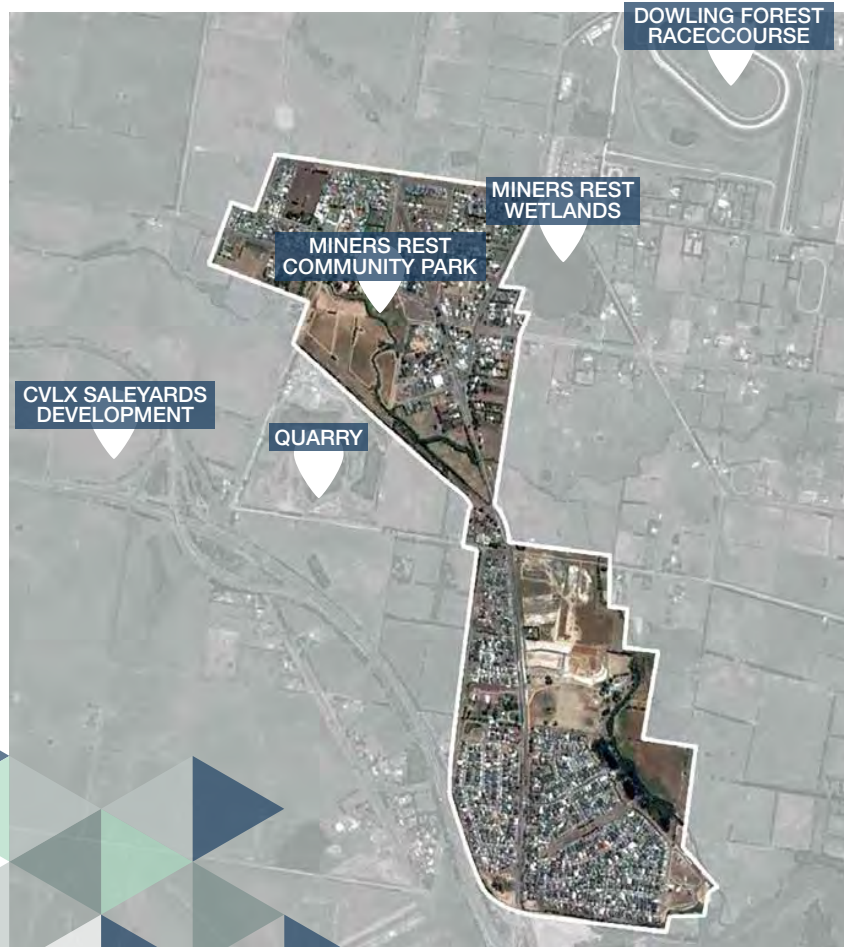
- The Dowling Forest Racecourse and surrounding equine precinct (located immediately to the north east) which is a significant economic and activity hub

- The Miners Rest Community Park, and the Miners Rest and Macarthur Park Wetlands
- The former quarry site which has been decommissioned and recently rehabilitated for potential redevelopment
- The Central Victorian Livestock Exchange development, which was approved by separate planning processes, is currently under construction to the west.



Dundas Street, Miners Rest (parking to frontage of Primary School)

Characteristics of Miners Rest



Miners Rest North:

- Original European settlement of the town in the 1850's
- Township nestled in surrounding farmland
- Impressive views to volcanic hills
- Traditionally larger lot sizes
- Community hall, local park and Miners Rest Primary School
- Burrumbeet Creek and Miners Rest Wetland
- Small local shopping centre
- Key surrounding land uses of Dowling Forest Racecourse precinct and former quarry

A TRADITIONAL RESTING PLACE OF THE WADAWURRUNG PEOPLES AND FOR MINERS MOVING THROUGH THE GOLDFIELDS

Miners Rest South – south of Cummins Road:

- Newer residential development (early 2000's onwards)
- Smaller lot sizes
- Suburban style development
- Burrumbeet Creek wetland, open space and trail network
- Partially affected by Airport Environs Overlay and emergency runway
- Adjacent to Ballarat Common to the south

Figure 7 'Characteristics of Miners Rest'

3.2: Miners Rest Population

According to the 2016 ABS Census, the current population of Miners Rest is 4,430 people. This amounts to a population increase of 17 per cent since the 2011 Census.

The largest age groups within Miners Rest are those aged between zero and nine, followed by those aged between 30 and 39. This is indicative of the population of Miners Rest predominantly consisting of young families. When compared with the rest of the municipality, the population has a smaller number of retirees and has a declining number of those aged between 18 and 34 when compared with the 2011 population.

In terms of household composition, the average household size of Miners Rest is 2.82 residents per dwellings which is larger than the Ballarat average of 2.38 persons. Of these households, 49.8 per cent of them are composed of households with children, 12.4 per cent more than the Ballarat average.

In terms of birthplace, Miners Rest has a predominantly Australian born population with 4.7 per cent born overseas at the 2016 Census. Between 2011 and 2016 however, Miners Rest has seen a marked increase in arrivals with 29.7 per cent of those born overseas migrating in this period compared with 12.6 per cent over the same period between 2006 and 2010. Just over half (54.8 per cent) of the population of Miners Rest identify as Christian with the second largest group being those who do not identify with any religion. Those identifying with a non-Christian religion has slightly decreased from 1.9 per cent at the 2011 Census to 0.9 per cent at the 2016 Census.

According to .id forecasts projections, the Miners Rest/ Mitchell Park population is projected to grow by 1,821 to

6,119 (42 per cent) over the 18 years to 2036. This equates to an average of 100 people per year, with the majority of this growth anticipated to be accommodated within Miners Rest.

It is highlighted that the .id forecast projections are based on extrapolating out prior population growth rates, however does not necessarily consider broader strategic planning questions of whether growth should be encouraged and facilitated, or perhaps curtailed or controlled for other planning reasons. Such questions and considerations constitute a key element of this Township Plan, and are explored in detail within later sections.

A measure of social and economic disadvantage for Miners Rest is represented by the SEIFA index which provides a picture of disadvantage based on incomes, educational attainment, employment and the amount of unskilled occupations within the area. Miners Rest achieves a percentile score of 78, which means that 78 per cent of Australian suburbs have a higher level of disadvantage than Miners Rest. Compared with Ballarat Central for instance, which receives a percentile score of 58, Miners Rest is placed well in terms of its regional context.

Number of dwelling occupancy permits issued in recent years:

- 2014 = 7
- 2015 = 44
- 2016 = 21
- 2017 = 37
- 2018 = 64



Miners Rest Tavern



Miners Rest Community Hall



Commercial Development: west side of Howe Street

3.3: Rural Land use & Landscape Values

Miners Rest benefits from landscape views of open rural farming and agricultural land, with these views being framed by a backdrop of iconic volcanic cones, including Mount Rowan and the Blowhard Hills.

The relatively open landscapes with the volcanic cones of Mt Rowan, Mt Blowhard and the Bald Hills provides for a visually strong and iconic landscape setting to the township. Many of these open views are available at the peripheral edges of and approach to the town, however there are some particularly significant open landscape views to the east and north east that can be experienced along Howe Street in the section north of Cummins Road.

Through community consultation these landscape views have been highlighted as having important character value for the township.

This wider rural landscape includes a range of productive agricultural/farming and equestrian based land uses. Community consultation revealed existing tensions between agricultural uses and 'rural lifestyle' properties, with some landowners advocating to rezone and subdivide farming land for smaller 'rural lifestyle' blocks. While a typical argument in favour of such subdivision is that the land cannot be viably used for farming or agricultural activities, equally this view ignores the fact that land parcels could also be consolidated to allow for suitable agricultural use. In this context it is also necessary to highlight that placing a speculative residential land value on farming land has a negative impact on its use for farming and agricultural activities as it makes land unaffordable for such purposes.

Existing Ballarat Planning Scheme local policy Clause 21.05: Natural Resource Management recognises the importance of the rural areas of Ballarat and the rich agricultural areas and farming activities which are important features of the rural character and identity of the municipality. The clause highlights the need to protect productive agricultural land from inappropriate development; prevent encroachment of urban land use; and ensure that productive agricultural land remains available for agricultural resource use.



Open landscape views surrounding Miners Rest - view to the west

3.4: Burrumbeet Creek/ Wetlands

Burrumbeet Creek and its tributaries form a natural feature which meanders through the township. However, many parts of the creek are hidden from public view and lack public access. Development of new areas is providing welcome opportunities to bring the creek and surrounds into public ownership/public open space. Burrumbeet Creek is also the primary source of localised flooding impacts.

The creek itself, has been assessed as being in poor condition, with little natural habitat, limited species diversity and degraded riparian vegetation. The creek faces a number of environmental threats including algal blooms, direct livestock access (causing bank erosion and contamination), man-made barriers, carp and introduced predator fish. The creek does support a number of species of plants and animals, including wetland birds and native and exotic fish species. The creek has been identified as potential habitat for the endangered Growling Grass Frog, although its presence is unlikely due to the Creek’s current poor condition and ongoing use to accommodate stormwater flows.

The Miners Rest Wetland is a significant local recreational and environmental asset, and features a shallow fresh water marsh, providing habitat for significant plant and animal species. It has previously been identified that the wetland has suffered from a lack of inflow as a result of increasingly dry weather periods. The Macarthur Park Wetland is well established and is making a positive contribution to the biodiversity and environmental health of the creek.

There are significant opportunities to improve the condition and function of the creek with major environmental and flood mitigation benefits.



View south along Victoria Street of Burrumbeet Creek road crossing



Miners Rest wetland pathway

3.5: Dowling Forest Precinct Equine Industry

The Dowling Forest Precinct is the home of thoroughbred training within the Ballarat region. The economic and business growth opportunities linked with the growth of the equine industry in Miners Rest are extremely important to the future of the town and its economic prosperity, as well as the Ballarat region overall. Furthermore, staff and visitors to the Dowling Forest Precinct will have retail and service needs (food and drink etc), which the Miners Rest community can leverage off to realise the revitalisation of the commercial town centre within the town.

Ballarat is one of five training centres that have ‘Tier 1’ status in Victoria and one of three in regional Victoria, along with Cranbourne and Mornington. Horse training facilities at Miners Rest exceed other public training centres in Victoria, which has resulted in rapid expansion in horse training in recent years. Racing Victoria has identified Miners Rest as a key training centre for growth and expansion in the future.

It has been estimated that the economic benefit of thoroughbred racing in the region would be in the order of \$60 million. The City of Ballarat recognises the importance of the equine industry to Miners Rest and Ballarat more broadly, and has sought to support and protect it within the Dowling Forest Precinct.

Some key facts and economic statistics of horse training in the Ballarat region includes:

- As of August 2017, 51 trainers were operating from the Ballarat Turf Club training 443 horses, which creates 145 full time jobs and \$13.56 million of economic impact to the region

- Estimated that an additional 200 horses trained on-course would generate an uplift of \$6.4 million and an additional 69 full time jobs
- Estimated that the number of horses trained at Ballarat Turf Club could exceed 1,000 horses by 2022, creating full time employment for more than 350 people.

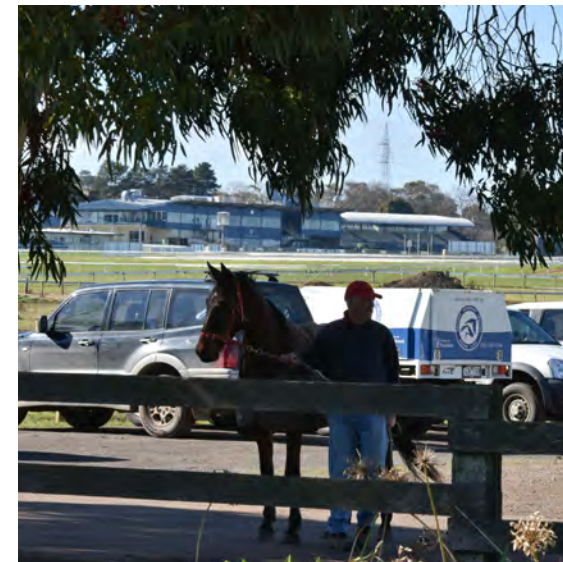
Likewise, it is estimated the 2017 Ballarat Cup Day generated an economic benefit of \$5.18 million. (economic impact statement produced by the Ballarat Turf Club). This is significant contribution to the local economy from a single event, and noteworthy as nearly half of the 10,000 attendees were visitors to Ballarat. The 2017 Ballarat Cup Day was responsible for bringing 3,537 individuals into the region who otherwise may not have visited. Of these visitors, 2,181 stayed at least one night in Ballarat. Overall, 4,536 visitor nights were created and around 86 per cent of these nights were spent within Ballarat.

Beyond the Dowling Forest Precinct there is an opportunity for the rural and farming land surrounding Miners Rest to accommodate equine and associated activities as part of the expanded equine industry in Miners Rest.

In 2012 the City of Ballarat has applied strong land use controls to protect and encourage horse training in the Dowling Forest Precinct. These controls were also intended to be a buffer between the residential areas of the town and the equine precinct.

In response to issues raised by landholders in the Special Use Zone 13 area, the City of Ballarat has recently completed a review of planning controls in the equine precinct.

The Dowling Forest Precinct Planning Controls Review concluded that local policy and land use controls could be improved to support implementation of the desired outcomes for the precinct. In October 2019 Council decided to proceed to an amendment to make these changes to the Ballarat Planning Scheme.



Dowling Forest Racecourse

3.6: Central Victorian Livestock Exchange

The Central Victorian Livestock Exchange (CVLX) is located to the south-west of Miners Rest, at the intersection of the Western Highway and the Sunraysia Highway. The CVLX has been relocated from the existing saleyards site in Latrobe Street Ballarat, and is a facility of regional significance.

An Independent Planning Panel was held in September 2015 to review concerns relating to the development and ensure that the planning approvals processes for the CVLX address these matters. The construction of the facility in accordance with its approval is now complete.

Noting that the CVLX is a current land use within the area, an important consideration for the Township Plan is ensuring that sensitive land uses are not introduced that would be impacted by the approved operations of the CVLX.

From an economics perspective the CVLX is a major employment generator, and it also contributes over a quarter of a billion dollars to the regional economy per annum.

3.7: Ballarat Airport

The Ballarat Airport is located immediately to the south of Miners Rest, on the southern side of the Western Freeway. The airport accommodates two runways, with the main runway being north/south aligned and 1,245m in length, while the shorter second runway is north-east/south-west aligned and 568 metres in length. As the prevailing take off direction of aircraft is to the north, aircraft flights paths are located directly over large areas of Miners Rest. While the airport does not provide for commercial/public passengers, it currently serves a role for training purposes and a limited role for regional emergency services.

A longer-term master plan has been prepared and adopted by Council for the airport which considers a number of future growth and development options which may require the north/south aligned runway to be extended to 2,000 metres.

The protection of airports as economic and transport infrastructure is addressed within the Ballarat Planning Scheme, State Planning Policy Framework at Clause 18.04, and highlights that planning decisions must consider as relevant the National Airports Safeguarding Framework (NASF). The scope and influence of this framework on the Miners Rest Township Plan is addressed later in this report and within the Background Information and Analysis Report.

The Ballarat Planning Scheme also includes a policy (Clause 21.08-2) acknowledging the airport as an important regional asset, and that protection of the airport is critical.

The Ballarat Airport is an infrastructure asset of regional significance, and its long-term viability and potential future expansion must be protected by not introducing

incompatible land use and development on surrounding land, such as sensitive residential uses. If a commitment is made by Council to change use of the airport, then the impact on surrounding land can be reviewed.

The Background Information and Analysis Report includes a detailed discussion and analysis of the issues and implications of the National Airport Safeguarding Framework for Ballarat Airport have for the development and preparation of the Miners Rest Township Plan.

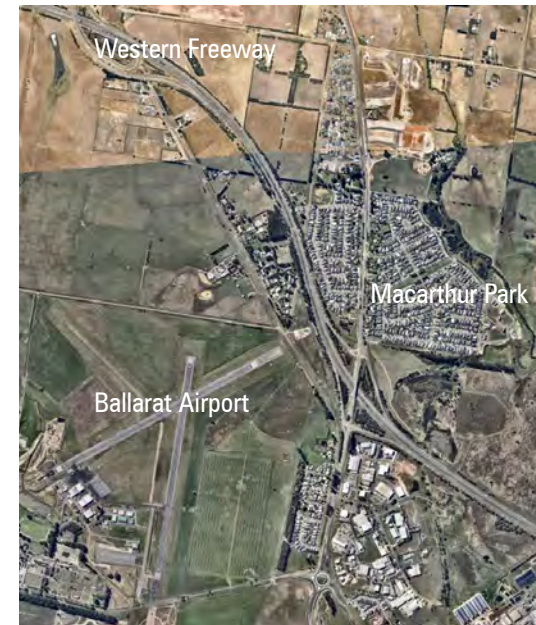


Figure 8 Ballarat Airport located immediately to the south/south west of Miners Rest

3.8: Flood Management

City of Ballarat has been working a program of flood mitigation works to help manage flooding issues across the town (see Figure 9).

Further information about strategic flood management planning is included in section 4.5.

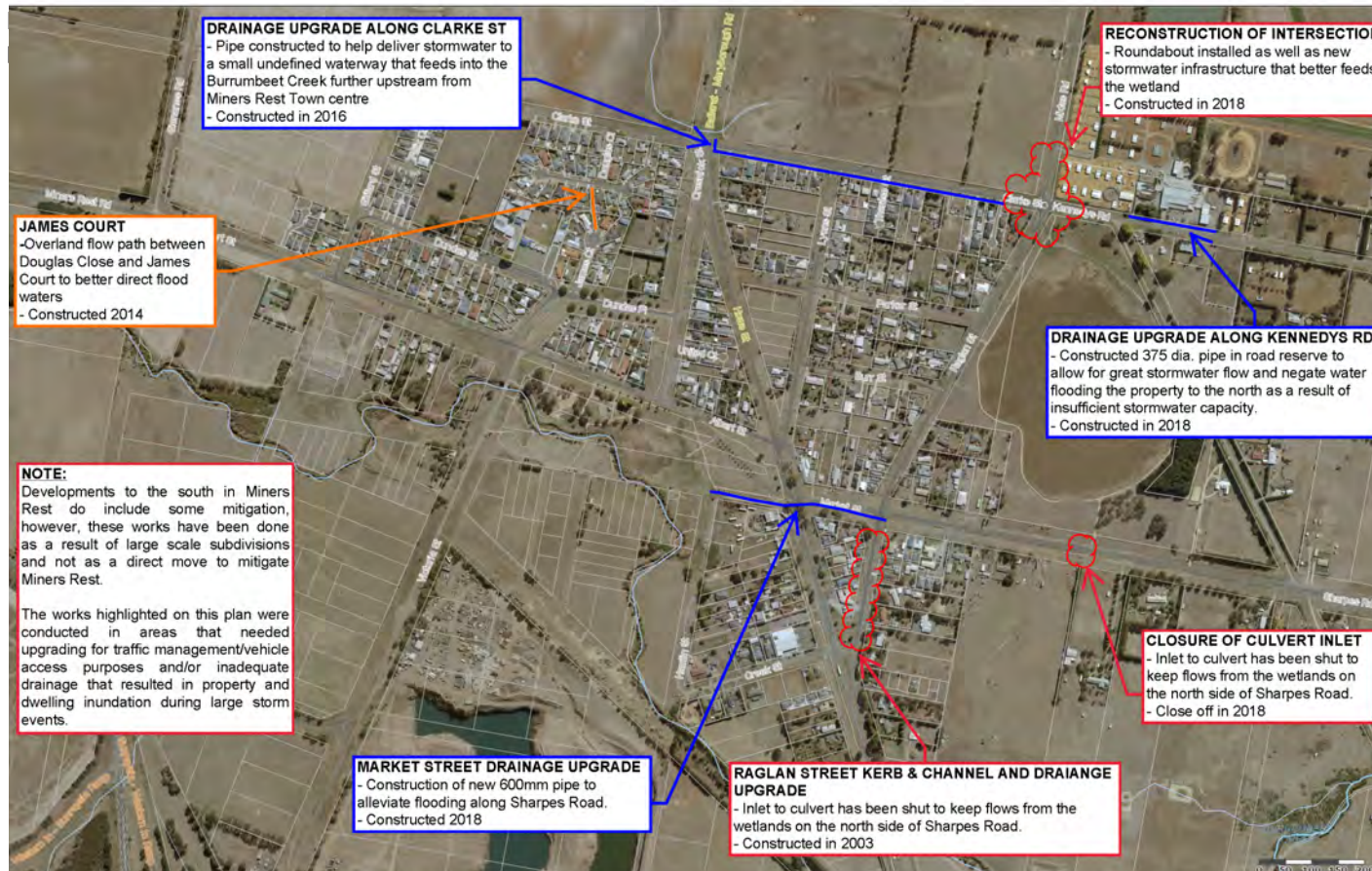


Figure 9 Completed Flood Mitigation Works

3.9: Summary of Challenges & Opportunities

Miners Rest – Key challenges and opportunities

MINERS REST

- Flood management
- Stronger connection between the north and south of Miners Rest with an improved path network and landscaping
- Improved quality of development and managed growth
- Burrumbeet Creek restoration and creation of a linear parkland and trails
- Protection of views and rural setting
- Need for local sports facilities
- Improved pedestrian and cycling infrastructure
- Protection of heritage features and assets
- Improved public realm and landscaping
- Safeguarding Ballarat Airport
- Manage northern growth area to ensure compatibility and benefits for Miners Rest township
- Impacts from saleyards development
- Limited sewerage infrastructure
- Support local businesses - currently 435 active businesses registered

MINERS REST NORTH

- Need to maintain the village and township character
- Recent urban style development has resulted in smaller lot sizes and reduced areas for landscaping
- Growth of town centre and attracting new businesses to service local needs
- Buffers from activity at the Dowling Forest precinct/ rural land
- Need to accommodate the growth of Miners Rest Primary School
- A new future for Miners Rest Quarry
- Managing a growing equine industry

MINERS REST SOUTH - SOUTH OF CUMMINS ROAD

- Safe and convenient access to north Miners Rest
- Safe cycle access to Ballarat over the Western Freeway bridge
- Future potential development of Northern Growth Investigation Area
- Future of Ballarat Commons land
- Remote from town centre and community facilities



Figure 10 Miners Rest - Key Challenges and Opportunities

Miners Rest Township Plan

4: Township Plan

4.1: Vision Statement

In 2040 Miners Rest will be:

- *A family-orientated rural township with a friendly and inclusive community spirit*
- *A compact and contained township functioning as a separate 'satellite' settlement to Ballarat*
- *A rural township character which is positively influenced by the surrounding open rural landscape*
- *A township with ample commercial uses and activities to meet the day-to-day needs of the local community and businesses*
- *A vibrant, inviting and attractive township with well-designed, tree-lined streetscapes and pedestrian/cycling connections linking major community hubs*
- *A township recognised and celebrated for its significant equine industry*
- *A township with ample public transport options and the safe management of vehicle traffic.*



Open landscape views surrounding Miners Rest - view to the north

4.2: Key Themes & Recommendations

The Miners Rest Township Plan has been developed around three key themes:

- *Theme 1: Celebrate Miners Rest's historic & natural assets*
- *Theme 2: Establish a connected and unified township & community*
- *Theme 3: Facilitate township growth & prosperity, and maintain character*

These three key themes were used to frame a range of identified challenges and opportunities which were discussed and tested during the Issues and Opportunities community consultation process.

A series of objectives, strategies and associated actions have been developed under each of the three themes and addressed in detail within the following sections of the report. Key recommendations are visually and spatially represented on the Township Plan (refer to Figure 13).

A progress report on implementing should be presented to Council within 5 years of commencing implementation of the plan.



Miners Rest Community Park & Miners Rest Soldiers Memorial

4.3: Theme 1 - Celebrate Miners Rest's historic & natural assets

4.3.1: Key Issues & Opportunities

Miners Rest is a historic township set in rural/semi-rural landscape and contains a range of cultural heritage, natural, parkland and landscape assets, which are briefly outlined below:

Aboriginal and European heritage

The land on which Miners Rest stands is the traditional lands of the Wadawurrung people. The Burrumbeet Creek and other water bodies were important to the community as a source of food, water and shelter, as well as being travel routes that connect places and people.

Following European settlement, Miners Rest was established as a convenient mid-point stop between the goldfields of Ballarat and Clunes, hence the town being named 'Miners Rest'. However, many of the original historic buildings within Miners Rest have since been demolished, which has removed a layer of visible history within the town. Although a number of sites of potential heritage significance have been nominated by the community, there is a lack of formal heritage assessments to determine whether formal heritage protection is warranted.

There is a community desire to acknowledge and celebrate all the elements of Miners Rest's heritage that have contributed to its character today.

However, there is a lack of publicly available information on the Aboriginal cultural heritage and traditional knowledge of the region.

During implementation of the plan, the Native Title Act 1993 must be considered where relevant in relation to land where native title has not been extinguished.

Burrumbeet Creek

Burrumbeet Creek and its tributaries form a natural landscape feature, however due to landscape and development patterns, many parts of the creek are hidden from public view and lack direct public access.

Burrumbeet Creek is also the source of localised flooding with major impacts being caused in the northern sections of the township. The creek itself, although a significant landscape feature, has been assessed as being in poor condition, with little natural habitat, limited species variation and degraded riverside vegetation and faces a number of environmental threats.

There is a clear opportunity to improve the values and function of the creek and achieve flood mitigation outcomes through a considered and integrated design and works program, in partnership with the Registered Aboriginal party, landholders and relevant authorities. This could also provide improved access to the creek through the development of areas of parkland and a shared trail.

Existing Open Space

Miners Rest has the benefit of a number of parkland/natural assets including the Miners Rest Community Park, as well as the Miners Rest Wetland is a shallow fresh water marsh of the type that would have been common in Miners Rest and surrounding areas.

These form part of a larger network of passive conservation public open spaces within Miners Rest, providing important opportunities for residents to socialise and recreate. Also of note, the Miners Rest Community Park has had a range of recent works and upgrades, with further work to be completed in line with the adopted masterplan for the park. There is a noted lack of dedicated active open space, which is addressed later under Theme 3.

A priority is to acquire land to complete the linear trail along the creek.

Protection of rural/agricultural land

Ballarat and areas around Miners Rest have some of the highest value agricultural land that needs to be protected for agricultural production.

There are existing tensions between agricultural uses and 'rural lifestyle' properties, with some landowners advocating to rezone and subdivide farming land for smaller 'rural lifestyle' blocks. A typical argument in favour of subdivision is that the land cannot be viably used for farming or agricultural activities, however equally land parcels could also be consolidated to increase options for/ increase viability of agricultural use. This issue, and the spatial analysis of rural land surrounding Miners Rest is further explored within the background information and analysis report. Whilst some areas are currently functioning as rural living areas, there are a number of issues supporting maintaining these in the farming zone, including oversupply of rural living zoned land, the role of the land as a buffer between land uses, flood and water catchment requirements.

Council has committed to reviewing the planning controls of land south of the wetland and Dowling Forest as part of the northern growth areas planning process.

Significance of surrounding landscapes

The township is set within a wider rural landscape which includes a range of productive agricultural/farming land uses. Mount Rowan and the Blowhard Hills also provide for a visually impressive backdrop and iconic landscape setting. Many of these open views can be experienced at the edges of the town, however there are some particularly significant open landscape views to the east and north-east available along Howe Street (i.e. north of Cummins Road).



Miners Rest Heritage Trail signage



Open landscape views surrounding Miners Rest - view to the west

4.3.2: Objectives

- *Objective 1: To increase knowledge and promotion of Aboriginal and European history of the township and region*
- *Objective 2: To improve the environmental quality of Burrumbeet Creek and increase public access to this natural environmental asset*
- *Objective 3: To protect agricultural land and support farming activities on land surrounding Miners Rest*
- *Objective 4: To acknowledge and protect key iconic rural landscape views providing a unique and attractive setting for Miners Rest.*

4.3.3: Strategies & Actions

Strategy 1: Acknowledge, celebrate and promote Miners Rest’s Aboriginal and European heritage.

- Action 1: Undertake additional historical analysis pre and post European contact to document and better understand the cultural significance and history of development of Miners Rest
- Action 2: Consider expanding the Miners Rest Heritage Trail project, based on the findings and conclusions of additional historical analysis
- Action 3: Promote the Miners Rest Heritage Trail points of interest and support the community to enhance the trail.

Strategy 2: Protect existing heritage assets, elements or features.

- Action 4: Undertake heritage assessments of designated ‘sites of potential heritage significance’ to determine if formal heritage protection is warranted.

Strategy 3: Improve the function and protect the environmental and biodiversity values of Burrumbeet Creek.

- Action 5: The City of Ballarat to collaborate with the community, landowners, Wadawurrung/Wathaurung Aboriginal Corporation, DELWP and Glenelg Hopkins Catchment Management Authority to develop a creek rehabilitation and environmental protection and management program.
- Action 6: Undertake works on the City of Ballarat managed land to improve function of and environmental benefits along Burrumbeet Creek.

Strategy 4: Increase awareness of and public access to Burrumbeet Creek.

- Action 7: As a priority, investigate opportunities to create an open space corridor and facilitate a public access shared trail along the length of Burrumbeet Creek.

Strategy 5: Improve function and use of all public open space areas.

- Action 8: Complete development of Miners Rest Community Park.

Strategy 6: Protect rural land for agricultural, farming and equine related activity.

- Action 9: Maintain existing planning polices to ensure that land surrounding Miners Rest within the Farming Zone is protected and enhanced for ongoing farming, agricultural and equestrian activity in the context of growth areas planning.

Strategy 7: Ensure potential for future development does not impact upon key rural/landscape views within and surrounding Miners Rest.

- Action 10: Undertake further rural landscape assessment work to determine whether formal protection of key existing rural/significant landscape views is warranted.



Maintain views to surrounding landscape



Ongoing implementation of the Miners Rest Community Park Master Plan



Miners Rest Sundial & Well Garden



Miners Rest Primary School



Miners Rest Community Park

Miners Rest Township Plan



Figure 11 Conceptual section for potential shared path along Burrumbeet Creek



Reference image: potential for creek trail (Mullum Mullum Trail)



Reference image: potential for creek trail (Merri Creek Trail)



Reference image: potential for creek trail (Little Para River Trail)



Reference image: potential for creek trail (Merri Creek Trail)

4.4: Theme 2 - Establish a connected & unified township & community

4.4.1: Key Issues & Opportunities

Relevant considerations relating to how the township could be better connected and unified include:

Community support

The consultation processes confirmed that Miners Rest is a well-established township with a strong sense of community. From this perspective there is an opportunity to build upon community and township pride. This could be achieved through the provision of new and additional community facilities (subject to need and available funds) and through the City of Ballarat supporting and empowering the residents to develop their own programs and actions.

In this context, the City of Ballarat can also have a role in assisting local businesses and community groups in focusing their actions and aims, which in some instances could also extend to applications being made for appropriate government grants (depending on actions sought and available funding source).

Through the Issues and Opportunities phase, for consideration it was noted the existing community hall was in poor condition, lacked a range of flexible spaces, and as a consequence was underutilised. The City of Ballarat have recently undertaken renovations and upgrades to the existing building which will function to secure its future and increase its usage by a range of local community groups and residents.

Targeted Landscape Planting

Miners Rest is spread out and effectively split into two halves, which includes the older parts of the town to the north, and the newer residential estates (i.e. Macarthur Park & Sunraysia Heights Estate) to the south. This creates a

sense of disconnection and a lack of unifying elements.

This existing situation creates a clear opportunity to better unify the town through targeted planting and landscaping. This could be approached through the planting of canopy vegetation on major roads within the township and most particularly along the length of Howe Street. Over time as the boulevard tree planting establishes and increases in height and canopy spread, it will function to create a visually unifying streetscape outcome.

Shared path network

Opportunity exists to develop a network of shared pedestrian/cycling paths throughout Miners Rest to better unify the township, as well as to be connected to Ballarat via the Ballarat Bicycle Network. There is also a need to improve cycling/walking facilities across the freeway bridge.

A shared path network would function to encourage access between various parts of the township on foot or by bike, and therefore reducing reliance on motor vehicles. The shared path network could be designed to create a series of potential loops for recreation and exercise, which would be of benefit to the overall health and wellbeing of township residents. It can also be connected in with the wider Ballarat cycling trail network to increase regional connectivity.

In the majority of instances, it should be possible to facilitate such a shared path network within existing road reserves. However in some instances, such as the proposed trail along Burrumbeet Creek, this would be more complex to facilitate. A key aspiration of the Township Plan is to create a shared trail along the length of Burrumbeet Creek, which would improve the environmental qualities of the creek and

to create a central off-road connection between the northern and southern sections of the town.

This concept has already been facilitated at Macarthur Park Estate, and is progressively being extended with the recent subdivisions located further north. It is a key recommendation of the Township Plan for any future subdivision of land with creek frontage, that the City of Ballarat should negotiate the acquisition of land along the creek interface, with a view to eventually linking the entire creek corridor from Albert Street/Victoria Street in the north, to Macarthur Park in the south.

However, it is acknowledged that it is more complicated to create this potential shared link over land where future subdivision is not anticipated. In such instances it would involve The City of Ballarat negotiating to purchase such land, and depending on the outcome of such negotiations, could also involve the application of the Public Acquisition Overlay (POA) to formally acquire it. Further site analysis of creek interface conditions and shared path design work would need to be undertaken to establish the minimum extent of land required to create the proposed Burrumbeet Creek environmental corridor/shared trail.

Improved pedestrian safety

With Howe Street being a heavily used main road through the township there is an issue with managing vehicle and pedestrian conflicts along its length. The main opportunity involves the development of safe crossing points at key locations along the length of Howe Street. There is also the potential to investigate the redesign of the service road between Delaney Drive and Cummins Road to be a one-way traffic system to allow space for an off-road shared path,

which would function to address the lack of a safe off-road route in this section of the town.

Pedestrian safety within Dundas Street adjacent to the Miners Rest Primary School has a number of issues to be addressed, which were identified in a 2017 traffic study by O'Brien Traffic conducted on behalf of the City of Ballarat. Recent traffic modifications have been undertaken by the City of Ballarat, including altering movement of traffic in Dundas Street to be one-way only, and installing a right turn lane on Albert Street into Giffard Street which accesses Dundas Street. Further traffic management upgrades were indented in the O'Brien Traffic report, which still need to be implemented, and includes:

- Indented parking for the southern side of Dundas Street to reduce congestion
- Widening of the Dundas Street carriageway.

Any expansion of the Miners Rest Primary School on the current site will need to take into account traffic and parking issues and ensure that this adequately addressed, including maximising the off-stree parking to meet school needs.

Management of Traffic Speeds

During the consultation processes the speed of traffic through and surrounding Miners Rest area, was highlighted as an issue of concern for both residents and business operators associated with the Dowling Forest Racing Precinct. Potential future truck traffic through the town associated with the Central Victoria Livestock Exchange was also highlighted as an issue and is being managed in collaboration with CVLX, Council and Regional Roads Victoria.

In considering the potential to manage traffic and traffic speeds within and surrounding Miners Rest it is noted the management of roads is shared between Regional Roads Victoria and the City of Ballarat. Regional Roads Victoria are noted to control speed limits on those roads within the Road Zone Category 1 (RXC1) including Creswick Road/Midland Highway, Howe Street and Sunraysia Highway, while the City of Ballarat controls all other roads, including local roads of Sharpes Road, Cummins Road, Gillies Roads and Miners Rest Road.

Noting this dual management of traffic speeds between the City of Ballarat and Regional Roads Victoria, there needs to be discussion and coordination between the two levels of government to ensure that volumes and speeds of traffic are managed and balanced to ensure that any reduction in speed on one road does not result in higher traffic volumes on other roads.

More broadly, it is noted that Regional Roads Victoria is currently undertaking a program of works for Midland Highway involving road upgrades and reduction in traffic speeds. The proposed works between the Western Freeway and Kennedys Road/Sulky Road are most relevant to the Township Plan and involve:

- Reduction in traffic speed from 100km/h to 80km/h
- Increased median road width
- Installation of roundabouts at key intersections
- Upgrades at select intersections.

With the reduction in traffic speed on the Midland Highway to 80km/h, it is acknowledged that this may result in drivers choosing to instead use other council-controlled roads with

a current speed limit of 100km/h. Based on this potential outcome, the City of Ballarat should advocate for a reduction of speed limit on Gillies Road, Cummins Road, Kennedys Road to 80km/h to reflect Midland Highway speed.

Cummins Road is currently unsealed west of Gillies Road, where it is anticipated that Cummins Road will become increasingly busy in terms of traffic volumes, due to current and anticipated future development and its connection through to the Midland Highway. The need to upgrade and seal Cummins Road to service existing and future traffic generation is considered to be integral to growth in the Miners Rest township.

Public Transport

There is an opportunity for the City of Ballarat to advocate with public transport operators to improve the accessibility and frequency of public transport options within the township to ensure it is a viable option to normal reliance on motor vehicles for transport connection to Ballarat and beyond.

Public Access to quarry & future open space provision

Should the former rehabilitated quarry be redeveloped in the future, there is clear opportunity to achieve net-community benefit outcomes by negotiating the quarry lakes and surrounds to be publically accessible as an additional passive open space asset.

This would require the City of Ballarat to undertake negotiations with the landowner as part of any future redevelopment, where this could form part of the provision of required public open space. There is also opportunity to provide direct links between the quarry site and the future town centre proposed to be located on Creek Street.

4.4.2: Objectives

- *Objective 5: To improve streetscape amenity through targeted streetscape planting*
- *Objective 6: To improve pedestrian and cycling connections throughout the township, including links to local commercial and community activity nodes and to Ballarat*
- *Objective 7: To minimise pedestrian and vehicle conflict zones, including streets surrounding the primary school*
- *Objective 8: To manage traffic speed within and surrounding the township*
- *Objective 9: To support the development of community-based initiatives and programs*
- *Objective 10: To improve local public transport options.*

4.4.3: Strategies & Actions

Strategy 8: Undertake targeted landscape planting, including boulevard tree planting along main streets.

- Action 11: Develop and implement a landscape planting program, to focus on boulevard tree planting along main streets, and shared trail network.

Strategy 9: Develop a network of off-road 'shared paths' in combination with the Ballarat Bicycle Network.

- Action 12: Investigate mechanisms for the City of Ballarat to acquire land along Burrumbeet Creek, in order to create a shared trail network and improve public access to Burrumbeet Creek.
- Action 13: Develop shared path loop of approximately 5-6km around the northern part of town and incorporating the wetland.
- Action 14: Council to undertake a review of maintenance program of recreational walking paths/tracks based on priority and funding.
- Action 15: Council to review its policy on footpath materiality (i.e. all weather surface), particularly for the town centre and key walking/cycling corridors.

Strategy 10: Improve pedestrian and vehicle conflict areas on main roads (particularly along the length of Howe Street).

- Action 16: Implement the proposed Ballarat Bicycle Network cycle paths, with appropriate pedestrian/cycle crossings along Howe Street associated with a network of complementary off-road shared paths
- Action 17: Undertake detailed design work and consultation to consider altering the service road

between Delaney Drive and Cummins Road to be a one way traffic system to allow space for an off-road shared path.

Strategy 11: Improve pedestrian and vehicular conflict areas along Dundas Street.

- Action 18: Complete traffic improvement and safety works around the Miners Rest Primary School and advocate for any upgraded facility to maximise provision of off-street parking to meet school needs.

Strategy 12: Address traffic speed through and surrounding Miners Rest (including on Regional Roads Victoria controlled roads).

- Action 19: Advocate for a reduction of the current open road 100km/h speed limit to become 80km/h on roads surrounding Miners Rest, including: Gillies Road between Olliers Road and Kennedys Road, Cummins Road from Gillies Road to Ballarat-Maryborough Road (Howe Street), Sharpes Road from Gillies Road to Raglan Street and Kennedys Road from Gillies Road to the existing 80km/h zone.
- Action 20: Investigate sealing and upgrading Cummins Road from Howe Street to Gillies Road in consideration of the wider road network.
- Action 21: Implement traffic calming/interpretive signage along Kennedys Road/throughout the equine precinct to: 1) raise awareness of the precinct and 2) encourage safe traffic speeds.
- Action 22: Provide safe horse crossing points along Kennedys and Midas Roads, subject to feasibility and funding.

Strategy 13: Support community groups, community-focused events and local small business.

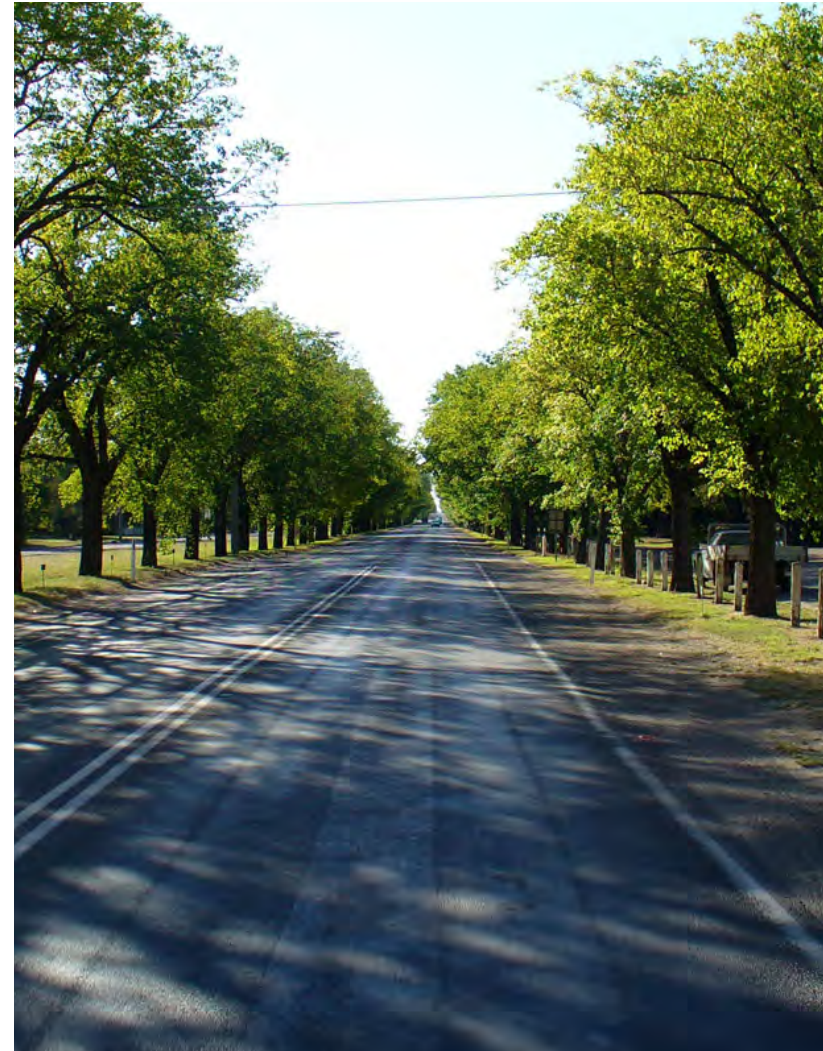
- Action 23: Support the local community to optimise the use of the upgraded Miners Rest Community Hall
- Action 24: Provide support to community groups, community-focused events and local small business.

Strategy 14: Improve coverage and frequency of localised public transport, to make it a viable alternative travel option to private vehicle use.

- Action 25: The City of Ballarat to advocate with public transport operators with a view to improving coverage and frequency of localised public transport options.

Strategy 15: Ensure provision of public access/open space to the former quarry site/quarry lakes as part of any future redevelopment.

- Action 26: Negotiate to provide public access/public open space around and to the former quarry lakes as part of any potential future redevelopment
- Action 27: Require a direct pedestrian access/ link to be provided between former quarry site and Creek Street as part of any potential future redevelopment subject to consideration of potential engineering constraints.



Action 1: Reference image for boulevard planting (image of Ballarat Avenue of Honour)

Miners Rest Township Plan

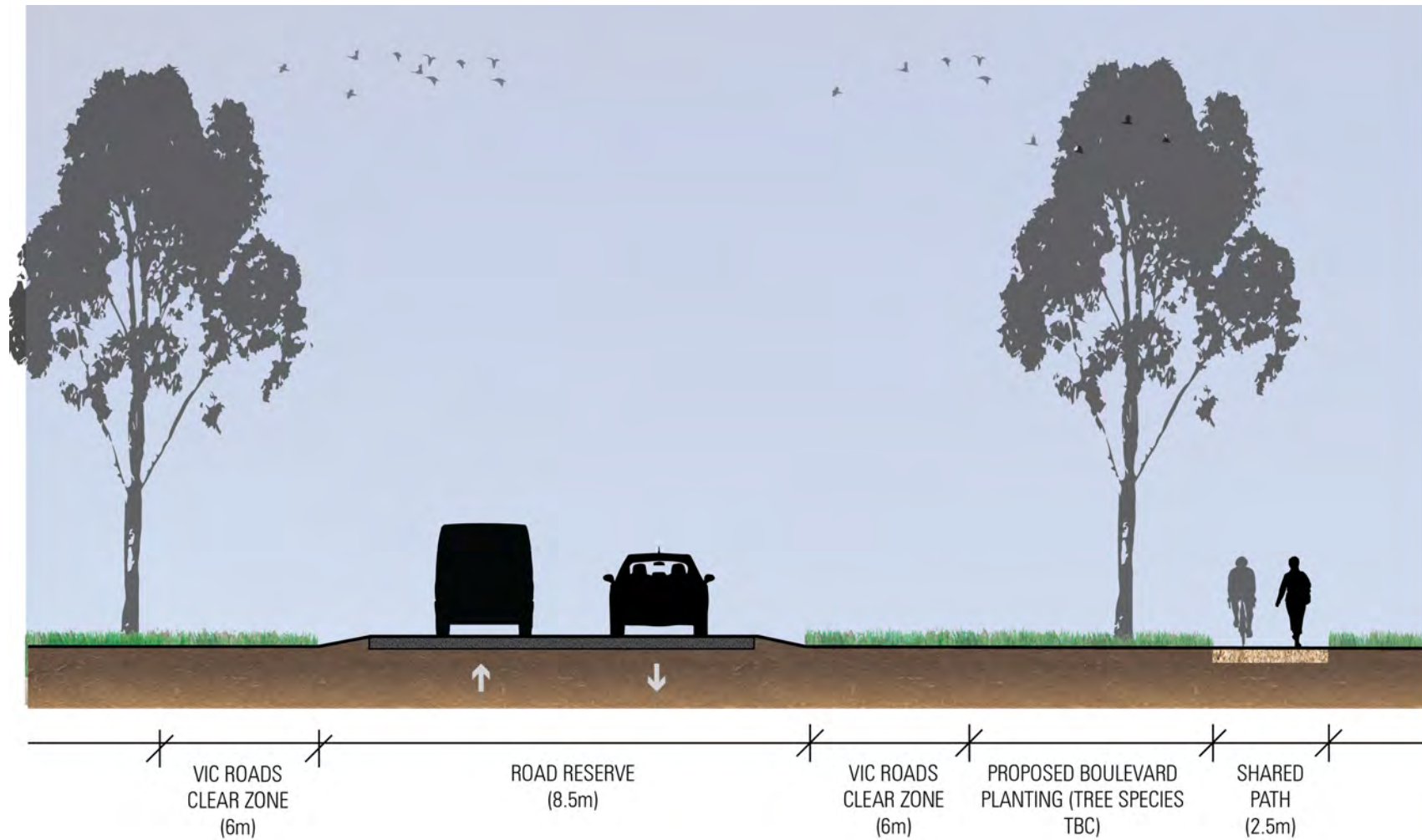


Figure 12: Conceptual sectional diagram for proposed boulevard planting along Howe Street/shared path trail network (refer to VicRoads Tree Policy 2016 as appropriate)



Action: Investigate reducing nominated traffic speed on Gillies Road, Kennedys Road and Olliers Road to 80km/h.
 Action: Seal and upgrading Cummins Road from Howe Street to Gillies Road



Action: Reference image for shared path network



Actions: designated safe crossing locations / management of traffic speeds / improved frequency of public transport

4.5: Theme 3 - Facilitate township growth and prosperity, and maintain character

4.5.1: Key Issues & Opportunities

Theme 3 relates to potential opportunities to facilitate township growth and prosperity, and maintain character which relates to a range of specific matters including:

Reduction of flooding impacts

The Miners Rest community experienced significant impact from the 2010/2011 flood events, with the community reporting that over 50 houses were either inundated or severely affected, with some residents unable to return to their home for over 6 months.

The extent of flooding impacts has been investigated and has resulted in the recent updates to the Ballarat Planning Scheme controls and designation of flood impacted land. Council is developing a strategic flood mitigation plan and associated implementation plan. This would seek to achieve flood mitigation for Miners Rest and its surrounds, through an integrated solution which provides extensive benefits for creek improvement and rehabilitation.

Development of the town centre

Miners Rest has a large amount of commercially zoned land available for a range of commercial and mixed use developments, including land adjacent to and surrounding the IGA supermarket, General Store and pub. If new commercial development is to occur in Miners Rest, where it is developed, how it looks and feels, and how a 'village' feel may be maintained, are important considerations for the Township Plan.

Conceptually it is proposed that a town centre for Miners Rest should be focused on the intersection of Creek Street with Howe Street, so as to encourage consolidation and

connection of retail activities; improve walkability; and to minimise the need for pedestrians to cross Howe Street. The town centre includes the current mixed used zoned land and adjacent general residential zone land to be retained for future medium density development (see Figure 14) concept would allow the creation of a new pedestrian focused public realm on Creek Street, which the City of Ballarat would have a role in facilitating, particularly around completing future public realm works, and providing design guidance for development on private land.

The vision is to develop a well connected and presented "village" style town centre as a civic heart, offering diverse retail, commercial and service businesses for the local community. Integrated medium density development provides places for people to live within an easy walk to the town centre to access shops and services.

A potential impediment for the redevelopment of this land for commercial use is the fact that much of this land is occupied by single residential dwellings, and part of Creek Street is subject to flooding. Any future development of the quarry land should include connections to the town centre along Creek Street.

While some development concepts are proposed as part of the Township Plan, more detailed plans building upon this work should be prepared.

More broadly, according to the Australian Business Register there are currently 435 active businesses in Miners Rest. There are a number of opportunities for these businesses to build skills and promote their products and services to the local market, including Ballarat Localised (<https://centralhighlands.localised.com.au/ballarat/>), the Business Capital Newsletter and by connecting with the City of

Ballarat on LinkedIn. Businesses can contact the City of Ballarat's Economic Development team for more information.

Support the equine industry

The continued growth of the equine industry in Miners Rest and the associated economic and business opportunities is extremely important to the prosperity of the township and wider region into the future. As the economic benefit of thoroughbred racing to the Central Highlands Region is in the order of \$60 million, the Miners Rest Township Plan acknowledges this significant industry and seeks appropriate ways to continue to support and foster its growth.

The facilitation of such protection and support extends to a range of matters such as implementing specific planning controls in the Ballarat Planning Scheme. As noted above, these controls have been recently reviewed and Council recently resolved to proceed to a planning scheme amendment to improve the local policy and controls to achieve the objectives of the precinct. The Dowling Forest Precinct Planning Controls Review also recommended to:

- educate and promote the Precinct purpose and planning controls to stakeholders and landowners;
- review Section 173 agreements made redundant by rezoning land from SUZ13 to Farming Zone;
- commit to reviewing the planning controls for land south and south-west of the Precinct once growth area planning has been considered by Council; and
- improve safety for road users and consider establishing public access to the Racecourse through the eastern part of the Precinct.

The industry and precinct could be further supported by:

- maintaining and protecting farming zoned land around the town
- celebrating the equine industry through an equestrian related monument within the town centre, and/or equine themed installation across the public realm.

Support relocation/redevelopment of primary school

A strong community aspiration relates to the potential relocation and expansion of the existing Miners Rest Primary School.

The community and school have successfully lobbied for State Government funding to upgrade the Miners Rest Primary School. This project will be led by the State Government in partnership with the school and community. City of Ballarat will engage as a partner to ensure that the redeveloped school includes accessible community sports facilities.

It has not been confirmed whether the school will be upgraded on the current site or alternative site. Criteria are recommended if an alternative site is the preferred option by the State government, including a centrally located site that:

- serves the largest population
- provides easy access for vehicles, cyclists and pedestrians
- has good linkages to parkland/passive open space and community facilities
- is highly visible
- is ideally in single ownership
- has low levels of vegetation removal required.

However, should it be determined to retain the primary school on the existing site, it would be logical to investigate the potential to expand onto the large land parcel adjacent to the west.

It will also be important to ensure that the upgraded school is designed to provide maximum off-street parking on site, and to ensure that safe and efficient traffic movement is achieved.

Development of local active facilities hub

There is a strong community aspiration for a local sports hub, potentially including a range of facilities such as sports ovals, netball courts, bowling club, leisure centre, gym and community gathering spaces.

The exact facilities will be determined through engagement and in response to demand at the time, and will need to complement future provision in the northern growth area.

A Community and Sports facility within Miners Rest is identified as a priority action within the current City of Ballarat Council Plan 2017-2021 and the Community Infrastructure Assessment 2017 undertaken for this plan identified that by 2036 there would be demand for six hectares of local level active open space in Miners Rest. Where possible this should be provided in a central location and co-located with other community facilities where possible.

The Township Plan has identified that land between Miners Rest and MacArthur Park provides some options for development of a sports facility. This may be on a site to the west of Howe St (south of the creek), to the west of Howe St and north of Cummins Road (on the old quarry land site) or to the west of Howe St and south of Cummins Road.

One of the clear benefits of the site east of Howe St and

south of the creek would be to create part of the proposed Burrumbeet Creek trail and this is the preferred site.

Respecting existing township character

The existing character of Miners Rest is highly-varied and reflects the various eras over which the town has progressively developed. Consequently this has resulted in extremely mixed styles of buildings found within the township, which means there is no predominant or defining built form which applies to Miners Rest.

Community consultation revealed a preference for larger residential blocks over small lot subdivision, and this was highlighted as a character feature of the town and a reason why residents chose to live in Miners Rest. It was also noted that a number of larger blocks in the 'old' part of Miners Rest were being turned over for multi-dwelling development, and the form and style of development was negatively impacting on the character of the town.

The importance of retaining the existing character and rural atmosphere of the township was highlighted as an important issue by the community which should be addressed through the Township Plan.

A community survey was undertaken to better understand what the community valued in relation to township character, and a character assessment for Miners Rest north was undertaken (see the Miners Rest North Character Assessment - Supplementary Report (Claire Scott Planning, Nov 2019) which provides advice on the protection of township character and the better connection of the area to the surrounding rural landscape.

It is proposed to undertake a planning scheme amendment to introduce the Township Plan to the Planning Scheme, including a new local policy, reference to the Township Plan

as a Background Document and in Miners Rest north (the original town) rezoning the General Residential Zone areas to Neighbourhood Residential Zone with a schedule to control lot size, site coverage, setbacks, dwelling heights and landscaping requirements.

For more information about the town character assessment and associated community consultation see the background reports.

Land capability/infrastructure capacity assessment

An analysis of the ability of land within Miners Rest to be serviced with essential infrastructure has been undertaken.

The most significant issue resulting from this assessment is that Central Highlands Water (CHW) has identified that while it has planned for development of residentially zoned land (including infill) there is no current capacity within the Miners Rest water and sewerage networks to facilitate the rezoning and redevelopment of additional residential land within the township, nor are there current plans or allocated funding to do so.

Therefore, while the Township Plan may indicate the potential to accommodate future residential development, its ability to be facilitated needs to be tied with and timing of provision of reticulated water and sewerage infrastructure upgrades, be it through future programmed works by CHW or otherwise by the works being completed at the cost of the developer.

Potential future residential development

Currently there is a lack of specific strategic direction and guidance on whether Miners Rest should accommodate residential growth, and where such growth might be located. Clause 21.09-5 Miners Rest of the Ballarat Planning Scheme identifies that Miners Rest is subject to significant development limitations associated with flood prone land and aircraft flight paths.

Significantly, in October 2019 Council resolved to proceed planning the northern growth area to the immediate east of Miners Rest, and the provision of this land for future residential development will have significant impact on the need for provision of additional residential land. The northern growth area will be planned and designed to complement the township of Miners Rest, and will relieve the need for allocation of further greenfields land around Miners Rest.

Current forecasts indicate that in 2017 that Miners Rest had a population of 4,487, and is projected to grow by 1,656 to 6,143 (38 per cent) by 2036.

A detailed land supply and demand analysis has been conducted which concluded that, even with applying conservative assumptions around further subdivision and development in the town, that there is the potential for at least 500 additional residential allotments on existing residentially zoned land. Based on population growth, there is a dwelling demand in the order of 40 dwellings per year. Based on the potential number of allotments, this equals a supply of 12.5 year supply of land.

There are constraints and strategic considerations which

place substantial limitations on the potential for Miners Rest to accommodate new greenfield subdivision, including:

- Identified flooding impacts
- Potential aircraft noise and associated amenity impacts
- Avoiding potential land use conflict between existing and established activities (i.e. Central Victoria Livestock Exchange, Ballarat Wastewater Treatment Plant and Dowling Forest Precinct)
- Noted landscape values and open view vistas of landscapes surrounding the township
- Need to protect farming zoned land for rural and agricultural activity
- Seeking to avoid a sprawling and disconnected form of township development
- The potential land contamination risk of the former quarry. Any future rezoning for sensitive uses needs to consider the appropriateness of the need to apply an Environmental Audit Overlay (EAO), or site assessment and remediation to the satisfaction of the EPA Victoria.

These substantial constraints and strategic considerations

have been visually mapped, and are further explored in detail within the background information and analysis report.

The protection and support of rural land use and activity on Farming Zone (FZ) land surrounding Miners Rest to the east, north-east, west and north west is an important consideration, particularly in context of speculative interest and pressure to rezone land for residential purposes (either as standard urban development or for smaller lot rural lifestyle development).

In this context there is a clear role of the Township Plan to spatially identify areas surrounding Miners Rest to be protected and encouraged for farming, agricultural and potentially equestrian related activity, and thereby to address and counter speculative rezoning applications.

Within the context of a northern growth area to the east of Miners Rest, spatial analysis revealed identified an 'Investigation Area Precinct', which is broadly bounded by Nelson Street, Lindsay Road, Western Freeway and Victoria Street to the west of Miners Rest.

This land has been highlighted as an area for specific analysis and comment as an 'investigation area', due to there being known landowner interest to rezone the land for residential purposes, and has been considered separately in two sections, constituting land to the north of Cummins Road and land to the south.

Subject to the extent of potential aircraft noise being fully understood, the former quarry land to the north of Cummins Road is considered to have potential to accommodate future residential development. It is considered that the potential

development of this land would assist in connecting the town; would allow for a different housing product; and could facilitate public access to the former quarry lakes as public open space. Although it is understood that the quarry has been subject to remediation works, consideration for future rezoning of this land for sensitive uses would need to have regard to Ministers Direction No. 1 - Potentially Contaminated Land.

The land to the south of Cummins Road is a strategic, centrally located site that if developed could assist with connecting and consolidating the town. However, strategic justification for consideration of this land for residential uses is not supported due to current modelled noise impacts as assessed under NASF guidelines and uncertainty about future use and development of the airport. As such, this land is not currently considered suitable for rezoning to residential.

This may be reconsidered at a time when there is certainty about future use and development of the airport, and the noise impact as assessed under the NASF guidelines is considered acceptable for a sensitive land use.

The land to the south of the wetlands, east of Howe St, and south of Sharpes Rd has also been proposed by landholders as a growth investigations area. The plan identifies that this land has constraints, and Council has committed to reviewing the planning controls in this area as part of the northern growth area planning process.

Safeguarding Ballarat Airport

The strategic importance of protecting the functional

operation of Ballarat Airport is strongly emphasised in the Ballarat Planning Scheme.

At the State Planning Policy Framework Level, the protection of airports as economic and transport infrastructure is addressed at Clause 18.04, and highlights that planning decisions must consider as relevant the National Airports Safeguarding Framework (NASF). At Clause 3 of NASF it identifies that: *"Over the long term inappropriate development around airports can result in unnecessary constraints on airport operations and negative impacts on community amenity. These impacts need to be managed in a balanced and transparent way"*.

NASF also provides specific assessment criteria for the assessment of the rezoning of rural or non-urban land for sensitive uses, which includes residential land use. This spatial analysis has informed this Township Plan on determining what land areas may be considered suitable or unsuitable for future sensitive land use (such as residential) based on future noise projections associated with the Ballarat Airport.

A full and detailed analysis of current available information

regarding NASF N contours is provided in the Background Information and Analysis Report.

4.5.2: Objectives

- *Objective 11: To facilitate targeted opportunities for the growth of the township, and the targeted development of well-designed infill housing, to suit lifestyle choices and assist aging in place*
- *Objective 12: To encourage new forms of residential and commercial development on Mixed Use Zone (MUZ) land and develop a township heart through the definition and strengthening of the commercial/retail role*
- *Objective 13: To manage and appropriately respond to the impact of flooding throughout Miners Rest*
- *Objective 14: To acknowledge, support and promote the expansion of the equine industry and business activities*
- *Objective 15: To designate appropriate locations for potential school, sporting, recreational and community infrastructure*
- *Objective 16: To protect the long-term functional operations of Ballarat Airport*

- *Objective 17: To plan for long-term growth in appropriate locations.*

4.5.3: Strategies & Actions

Strategy 16: Provide guidance on potential location of future residential development; to reinforce desired town character encouraging larger lot development; and establish a statutory framework for the consideration and assessment of any private rezoning requests

- Action 28: Undertake a Planning Scheme amendment to implement the Township Plan and provide clear guidance on the preferred type, format and location of development, by introducing a local policy, referencing the Township Plan, and rezoning the General Residential Zone areas of Miners Rest North to Neighbourhood Residential Zone (Schedule 2)
- Action 29: Liaise with Central Highlands Water to ensure essential water infrastructure meets community needs as development occurs
- Action 30: Investigate potential for the development of the quarry site subject to feasibility including a noise study

Strategy 17: Provide guidance and support for the development of a thriving town centre and local businesses.

- Action 31: Develop a framework plan and design guidelines for the town centre, including the land zoned Mixed Use and General Residential (see figure 14)
- Action 32: Design and develop public realm/streetscape upgrades within Creek Street to assist with the creation of the town centre and main street experience
- Action 33: Design an equestrian related monument to

be developed within the town centre and / or equine themed installations across the public realm

- Action 34: Ensure that any future development of the quarry land includes a direct connection to Creek Street/ Miners Rest town centre
- Action 35: Support and build capacity of local businesses by promoting training, tendering and business directory opportunities and providing access to Council’s business concierge service

Strategy 18: Reduce flooding impacts within the Township.

- Action 36: Develop a strategic flood mitigation plan, and associated implementation plan, with consideration of an integrated solution that includes creek rehabilitation and beautification
- Action 37: Where possible, ensure that any flood mitigation works provide multiple benefits such as open space and creek function and environmental health
- Action 38: Seek funding and implement the strategic flood mitigation plan as funding becomes available

Strategy 19: Support the growth and development of the equine industry/ Dowling Forest Precinct and development of associated businesses.

- Action 39: Support the equine industry/ Dowling Forest Precinct and associated businesses by promoting industry capability and delivering business development opportunities
- Action 40: Review the planning controls surrounding

Dowling Forest racecourse, including Special Use Zone - Schedule 13 (SUZ13) and Farming Zone A & B

- Action 41: Investigate the potential location of a bridle track for horse riding/training

Note, also see proposed traffic actions under Strategy 12

Strategy 20: Support the relocation/redevelopment of the Miners Rest Primary School.

- Action 42: Liaise with Department of Education and Training (DET) as part of the preparation of the Master Plan process for the Miners Rest Primary School to ensure community outcomes

Strategy 21: Develop an active sports facilities hub in Miners Rest.

- Action 43: Investigate funding mechanisms to develop an active sports facilities hub
- Action 44: Confirm and secure a preferred site for development of a local sports facility, ensuring complementary provision with the northern growth area

Strategy 22: Ensure the protection of the long-term operation of the Ballarat Airport, which is to be prioritised over other land use decisions.

- Action 45: As known changes to current or planned activities at the airport occur, ensure that airport planning controls are adequate to protect and safeguard the long-term operation of the Ballarat Airport



Miners Rest Primary School

Miners Rest Township Plan



Figure 13 Miners Rest Township Plan - Township Plan



Reference images: potential edge treatment along proposed linear reserve incorporating Burrumbeet Creek bypass channel

Miners Rest Township Plan



Figure 14 Indicative Town Centre Framework Plan

Reference images: potential design ideas for future commercial development



Design ideas for seating, paving and shopfront design



Design ideas for shopfront and landscape design



Design ideas for seating and paving design

Miners Rest Township Plan

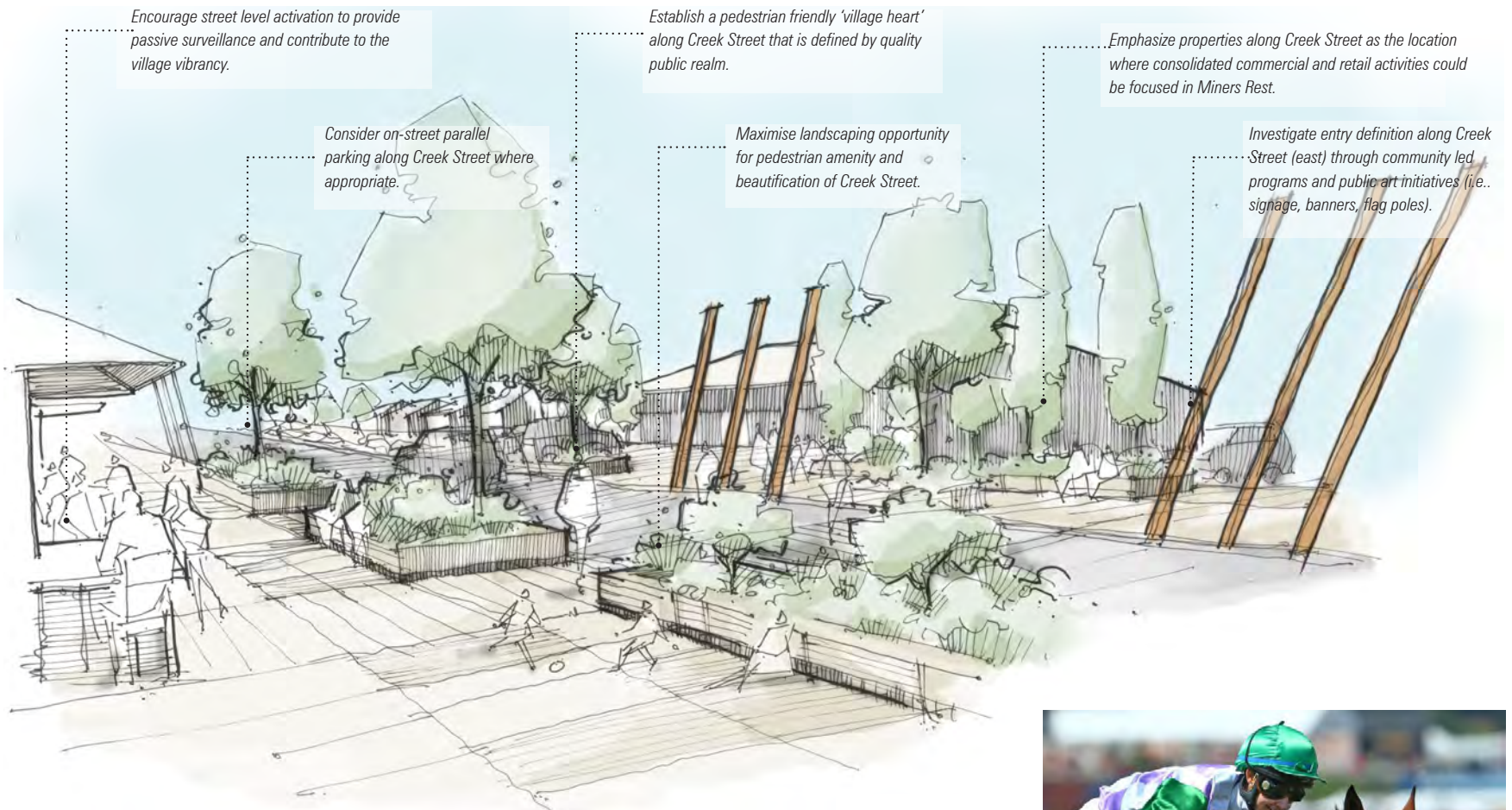


Figure 15 Artist's Impression demonstrating indicative view of Miners Rest Town Centre (Creek Street) at the Howe Street Junction



Reference Image for the concept of an equestrian monument

Reference images: potential design ideas for future commercial development



Design ideas for seating, paving and landscape design



Design ideas for seating and landscape design

5: Township Plan Implementation

The implementation of this Township Plan will occur progressively over a 10-15 year timeframe, and will require careful on-going management and continued communication with the local community, business owners and landowners. The co-ordination across a wide range of stakeholders and funding partners is necessary to ensure a productive approach to the development of township improvements.

The Miners Rest Township Plan outlines a series of objectives, strategies and actions that will serve to enhance the character, image and role of the township. Key actions, which are directly drawn from stated strategies, outline the roles and responsibilities which will be critical to the implementation of this plan. While many actions will be the responsibility of the City of Ballarat, initiatives will also need to be pursued by other government agencies, landowners and community groups as indicated in the relevant tables.

While the City of Ballarat’s lead role in review of development proposals is critical, it is also acknowledged that the township has a strong history of community engagement and involvement through local associations. The active involvement of these groups will be critical in implementation of this plan and their support for the document will add weight and urgency to the actions contained within it.

In addition, the role of private organisations in facilitating development of many of these ideas should not be underestimated through the use of public-private partnerships where appropriate. Where these are supported by the plan, the City of Ballarat has a role to play in facilitating the plans outcomes.

As with many townships, the core area has a basic zoning structure, which includes a large area of underutilised Mixed Use Zone land surrounding the IGA supermarket and general store. While there are community aspirations for the development of a commercial town centre, there is currently no guidance regarding the type and form of development sought to be facilitated.

The first and critical step in realising the objectives of the Township Plan is the establishment of local planning policy and appropriate planning controls to implement the overarching directions of the Township Plan.

It is anticipated that a new Local Planning Policy for Miners Rest would be prepared and introduced into the Ballarat Planning Scheme. This would function to provide appropriate statutory weight within a planning scheme context, and ensure that it informs future planning permit applications and associated decisions. The local planning policy should include the following content/address the following matters:

- Planning related objectives and strategies as outlined within this Township Plan
- Rezoning residential land in Miners Rest north from General Residential Zone to Neighbourhood Residential Zone with a scheduled designed to protect character
- Clear guidance that medium density development is directed to the current Mixed Use Zone (MUZ) and discouraged from other parts of the township and land to the south of the town centre, as identified in Figure 14
- The Miners Rest Township Plan diagram (or simplified version)

- The Town Centre Framework Plan, or otherwise inclusion of text summarising the intended design outcomes on private land.
- A statutory assessment framework to be applied to the designated ‘investigation area precinct’ which would function to protect the future functional operation of Ballarat Airport.

Continued monitoring and evaluation of the Township Plan must be undertaken by the the City of Ballarat to ensure that it remains relevant to current practice and community expectations.

The following Action Plan Implementation table outlines identifies implementation partners for each action and whether it is anticipated to be actioned in the short, medium and long term. For the purposes of understanding such timeframes, the following guide is provided:

- Immediate = within 1-2 years
- Short = 2-4 years
- Medium = 4-8 years
- Long = 8 years +

5.1: Action Plan Recommendations

<i>Number</i>	<i>Action</i>	<i>Implementation partners</i>	<i>Priority</i>
<i>Theme 1: Celebrate Miners Rest historic & natural assets</i>			
1	<i>Undertake additional historical analysis pre and post European contact to document and better understand the cultural significance and history of development of Miners Rest.</i>	<i>Wadawurrung/Wathaurung Aboriginal Corporation (WAC)</i>	<i>short to medium</i>
2	<i>Consider expanding the Miners Rest Heritage Trail project, based on the findings and conclusions of additional historical analysis.</i>	<i>local community</i>	<i>medium</i>
3	<i>Promote the Miners Rest Heritage Trail points of interest and support the community to enhance the trail.</i>	<i>local community groups</i>	<i>medium</i>
4	<i>Undertake heritage assessments of designated 'sites of potential heritage significance' to determine if formal heritage protection is warranted.</i>	<i>n/a</i>	<i>short</i>
5	<i>The City of Ballarat to collaborate with the community, landowners, Wadawurrung/Wathaurung Aboriginal Corporation, DELWP and Glenelg Hopkins Catchment Management Authority to develop a creek rehabilitation and environmental protection and management program.</i>	<i>Glenelg Hopkins Catchment Management Authority and the Wadawurrung/Wathaurung Aboriginal Corporation, landholders</i>	<i>immediate to short</i>
6	<i>Undertake works on the City of Ballarat managed land to improve function of and environmental benefits along Burrumbeet Creek.</i>	<i>Corangamite Catchment Management Authority and the Wadawurrung/ Wathaurung Aboriginal Corporation</i>	<i>immediate to short</i>
7	<i>Investigate opportunities to create an open space corridor and facilitate a public access shared trail along the length of Burrumbeet Creek.</i>	<i>n/a</i>	<i>short</i>
8	<i>Complete development of Miners Rest Community Park.</i>	<i>n/a</i>	<i>short</i>
9	<i>Maintain existing planning policies to ensure that land surrounding Miners Rest within the Farming Zone is protected and enhanced for ongoing farming, agricultural and equestrian activity.</i>	<i>n/a</i>	<i>short</i>
10	<i>Undertake further rural landscape assessment work to determine whether formal protection of key existing rural/significant landscape views is warranted.</i>	<i>n/a</i>	<i>short</i>

Number	Action	Implementation partners	Priority
Theme 2: Establish a connected and unified township & community			
11	Develop and implement a landscape planting program, to focus on boulevard tree planting along main streets, and shared trail network.	Regional Roads Victoria, Powercor, Community	immediate to short
12	Investigate mechanisms for the City of Ballarat to acquire land along Burrumbeet Creek, in order to create a shared trail network and improve public access to Burrumbeet Creek.	n/a	short
13	Develop shared path loop of approximately 5-6km around the northern part of town and incorporating the wetland.	n/a	immediate to short
14	Council to undertake a review of maintenance program of recreational walking paths/tracks based on priority and funding.	n/a	immediate to short
15	Council to review its policy on footpath materiality (i.e. all weather surface), particularly for the town centre and key walking/cycling corridors.	n/a	immediate
16	Implement the proposed Ballarat Bicycle Network cycle paths, with appropriate pedestrian/cycle crossings along Howe Street associated with a network of complementary off-road shared paths.	n/a	short to medium
17	Undertake detailed design work and consultation to consider altering the service road between Delaney Drive and Cummins Road to be a one way traffic system to allow space for an off-road 'shared path'.	n/a	medium
18	Complete traffic improvement and safety works around the Miners Rest Primary School and advocate for any upgraded facility to maximise provision of off-street parking to meet school needs.	n/a	immediate to short
19	Advocate for a reduction of the current open road 100km/h speed limit to become 80km/h on roads surrounding Miners Rest, including: Gillies Road between Olliers Road and Kennedys Road, Cummins Road from Gillies Road to Ballarat-Maryborough Road (Howe Street), Sharpes Road from Gillies Road to Raglan Street and Kennedys Road from Gillies Road to the existing 80km/h zone.	Regional Roads Victoria	short
20	Investigate sealing and upgrading Cummins Road from Howe Street to Gillies Road in consideration of the wider road network.	n/a	short to medium
21	Implement traffic calming/interpretive signage along Kennedys Road/throughout the Equine precinct to: 1) raise awareness of the precinct and 2) encourage safe traffic speeds.	n/a	short to medium
22	Provide safe horse crossing points along Kennedys and Midas Roads, subject to feasibility and funding	Regional Roads Victoria	short
23	Support the local community to optimise the use of the upgraded Miners Rest Community Hall.	local community groups	short to medium
24	Provide support to community groups, community-focused events and local small business.	local community groups, businesses	medium
25	The City of Ballarat to advocate with public transport operators with a view to improving coverage and frequency of localised public transport options.	Public Transport Victoria	short to medium
26	Negotiate to provide public access/public open space around and to the former quarry lakes as part of any potential future redevelopment.	landowner/developer	medium to long
27	Require a direct pedestrian access/link to be provided between former quarry site and Creek Street as part of any potential future redevelopment, subject to consideration of potential engineering constraints.	landowner/developer	medium to long

Number	Action	Implementation partners	Priority
Theme 3: Facilitate township growth & prosperity, and maintain character			
28	Prepare and implement a local planning policy into the Ballarat Planning Scheme to provide clear guidance on preferred type, format and location of future residential development and establish a statutory framework for the assessment of planning permit applications and any private rezoning requests.	n/a	immediate
29	Liaise with Central Highlands Water to ensure essential water infrastructure meets community needs as development occurs.	Central Highlands Water	ongoing
30	Investigate potential for the development of the quarry site subject to feasibility including a noise study.	landowners	medium to long
31	Develop a framework plan and design guidelines for the town centre, including the land zoned Mixed Use and General Residential (see figure 14)	landowners, businesses	immediate
32	Design and develop public realm/streetscape upgrades within Creek Street to assist with the creation of the town centre and main street experience.	landowners, businesses	short to medium
33	Design an equestrian related monument to be developed within the town centre and/or equine themed installations across the public realm.	local community groups/Ballarat Turf Club/equine industry	short to medium
34	Ensure that any future development of the quarry land includes a direct connection to Creek Street/Miners Rest town centre	landowners/developers, State Government	medium to long
35	Support and build capacity of local businesses by promoting training, tendering and business directory opportunities and providing access to Council's business concierge service.	businesses, Commerce Ballarat	ongoing
36	Develop a strategic flood mitigation plan, and associated implementation plan, with consideration of an integrated solution that includes creek rehabilitation and beautification	Glenelg Hopkins Catchment Management Authority, Wathaurung Aboriginal Corporation, DELWP, landowner	immediate
37	Where possible, ensure that any flood mitigation works provide multiple benefits such as open space and creek function and environmental health	as above	immediate to medium
38	Seek funding and implement the strategic flood mitigation plan as funding becomes available	State Government	immediate
39	Support the equine industry/Dowling Forest Precinct and associated businesses by promoting industry capability and delivering business development opportunities.	Ballarat Turf Club/equine industry	medium to long
40	Review the planning controls surrounding Dowling Forest racecourse, including Special Use Zone - Schedule 13 (SUZ13) and Farming Zone A & B	Affected landowners, Ballarat Turf Club	immediate to medium
41	Investigate the potential location of a bridle track for horse riding/training.	Ballarat Turf Club/equine industry	short to medium
42	Liaise with Department of Education and Training (DET) as part of the preparation of the Master Plan process for the Miners Rest Primary School to ensure community outcomes	DET/Miners Rest Primary School	immediate
43	Investigate funding mechanisms to develop an active sports facilities hub.	State Government	immediate
44	Confirm and secure a preferred site for development of a local sports facility, ensuring complementary provision with the northern growth area.	n/a	immediate to short
45	As known changes to current or planned activities at the airport occur, ensure that airport planning controls are adequate to protect and safeguard the long-term operation of the Ballarat Airport.	n/a	ongoing

APPENDICES



Appendix 1: Planning Policy Context: Summary

The Ballarat Planning Scheme contains objectives and strategies which are specifically relevant to Miners Rest. A summary of the specific commentary regarding Miners Rest, contained in the Municipal Strategic Statement and Local Planning Policy Framework, has been undertaken and is included in full within the background information and analysis report. This existing content of the Ballarat Planning Scheme requires appropriate consideration as part of the preparation and development of the Miners Rest Township Plan.

In addition to this, an analysis of the relevant Planning Policy Context and relevant Background Documentation was undertaken during the early phases of the project to specifically inform the preparation of the Issues and Opportunities Report. An overarching summary of the Planning Policy Context and relevant Background Documentation is also included within background information and analysis report. This existing work has informed the preparation and development of the Miners Rest Township Plan.

The Ballarat Planning Scheme currently identifies that:

Miners Rest is an important township to the north of the Ballarat, separated from the main urban area by the Western Freeway. The area has significant constraints on development such as flood prone land and airport flight paths. (Clause 21.09-5 Miners Rest).

This clause is specifically highlighted as it establishes a clear strategic policy position, that as a township, Miners Rest is subject to significant development constraints. Such constraints are considered in detail by this Township Plan.

A brief summary of key strategic policies (i.e. state, regional and local) includes:

- Planning recognises the community's need for housing, employment, and community facilities through appropriately zoned land that takes advantage of existing settlement patterns (Clause 11: Settlement)
- The sustainable development of regional communities within the Central Highlands region is to be supported while at the same time recognising and protecting the unique environmental landscapes, values and ecological systems (Clause 11.01: Victoria)
- To ensure that new uses and development respond appropriately to its built form and landscape context and avoid areas of high environmental risk (Clause 12: Environmental and Landscape Values, Clause 13: Environmental Risks & Amenities and Clause 15: Built Environment and Heritage)
- New housing should provide for a diverse range of housing types and be provided with access to infrastructure and services to support growth (Clause 16: Housing and Clause 19: Infrastructure)
- Planning should support the economic development and growth of communities through the encouragement of a range of industries and businesses (Clause 17: Economic Development)
- Planning should protect airports from incompatible land-uses; strengthen their role as economic and transport infrastructure; and protect their ongoing operation (Clause 18.04 Airports)
- The municipality is to be a community that has a strong sense of identity, providing a safe place to live and work through a green, vibrant and connected Ballarat with excellent facilities and services. Underpinning this ambition is the concept of the '10 Minute City', whereby day-to-day destinations can be accessed via walkable communities, and the 'City in the Landscape', which seeks to ensure the municipality remains connected to the natural and historical setting in which it is located (Clause 21.01: Municipal Overview)
- Miners Rest is identified as one of six townships within the municipality where future development is to be underpinned by local plans that situate growth within each township boundary, while at the same time reinforcing the unique local character (Clause 21.02: Settlement and Housing)
- Flood plains are to be managed by ensuring that development is appropriately located so as the natural functions and values of the floodplain environments are preserved (Clause 21.04: Environmental Resilience)
- Recognise the importance of agricultural land for its productive purposes but also for its contribution to the rural character and identity of the municipality (Clause 21.05: Natural Resource Management).

Miners Rest Township Plan



Miners Rest IGA Supermarket



Miners Rest CFA



Miners Rest Primary School



Miners Rest Kindergarten



Existing bus stop: Howe Street

- As a Neighbourhood Activity Centre, Miners Rest is to be a centre dominated by small businesses and shops catering for the local community. A particular emphasis in the planning scheme is placed on the development of the racing industry in Miners Rest by encouraging the establishment of uses associated with the industry and discouraging uses and development within the vicinity of Dowling Forest Racecourse that is not compatible with its operations and development (Clause 21.07: Economic Development).
- Infrastructure, including the development of the Ballarat Bicycle Network, is to be provided in accordance with forecast population growth with appropriate development contributions applied to future greenfield development (Clause 21.08: Transport and Infrastructure)
- Provide for the continued operation and future upgrade of the Ballarat Airport; discourage the use and development of surrounding land for purposes that would have a negative impact on the airfield's operation; and discourage the establishment of residential and other sensitive uses on land under airfield flight paths (Clause 21.08-2 Ballarat Airfield)
- Develop a local area plan for Miners Rest that will facilitate the development of the town centre as a district community centre based on commercial and community uses as well as increasing pedestrian and cycling connections and open space (Clause 21.09: Local Areas)

- Retain existing productive agricultural land and protect it from inappropriate development not compatible with agricultural activity (Clause 22.06: Rural Dwellings and Subdivisions).

Clause 21.09: Local Areas

Clause 21.09 Local Areas is specifically relevant to the current Township Plan as it provides detailed local area strategies for a number of specific locations. Clause 21.09-5 - Miners Rest includes the following overarching description of the township, and identifies eight land use strategies to be considered as part of developing Local Area Plans:

Miners Rest is recognised as an important township to the north of Ballarat. It is noted as having “significant constraints on development such as flood prone land and airport flight paths”. The development of a Local Area Plan for Miners Rest is highlighted as a key action.

Relevant implementation strategies include:

- *Strategy 1 Provide local open space within 300 metres of every dwelling*
- *Strategy 2 Develop the area near the intersections of Howe Street and Albert Street and Howe Street and Raglan Street as a district community centre with a mixture of commercial and community uses*
- *Strategy 3 Discourage the expansion of the Miners Rest Quarry to the east*
- *Strategy 4 Ensure that no new development fronts directly onto the Maryborough/Ballarat Road.*

- *Strategy 5 Use the flood prone land near the centre of the township and the existing public recreation reserve as a district park and playing fields area*
- *Strategy 6 Provide cycle/pedestrian links through and between each neighbourhood along supervised routes as much as possible, via hammerhead courts, extended cul-de-sacs and linking open spaces*
- *Strategy 7 Ensure that there is no development under the Obstacle Limitation Surface (OLS) of the Ballarat airport 18/36 runway*
- *Strategy 8 Provide a separate horse trail along the eastern side of the Maryborough/Ballarat Road and along Raglan Street.*

Miners Rest Township Plan



Miners Rest Quarry - facing north with views to Mt Blowhard, Bald Hill and Mt Rowan



Miners Rest General Store



6.2. BRIDGE MALL BUILT FORM REVIEW

Division: Development and Growth
Director: Natalie Robertson
Author/Position: Evan Burman - Principal Strategic Planner

PURPOSE

1. To provide a summary of the key issues raised during Stage 1 of the community engagement on the Built Form Review project for the Bridge Mall and Bakery Hill Precinct.
2. To present the Planning Delegated Committee with the proposed amendment documents (Amendment C243ball) for endorsement to seek authorisation from the Minister for Planning (through the Department of Transport and Planning) to prepare and exhibit a planning scheme amendment.

BACKGROUND

3. In 2017, Council adopted the *Making Ballarat Central: CBD Action Plan (R277/17)* which strongly encourages both economic and population growth within the Ballarat CBD area.
4. Subsequently, in 2019, Council adopted the *Bakery Hill Urban Renewal Plan (R274/19)* which also advocates and supports significant population growth within Bakery Hill Precinct of the Ballarat CBD.
5. In 2022, Council engaged planning consultants (Urbis) to undertake a review of the built form and planning controls that apply to the Bridge Mall and Bakery Hill Precinct, as the current controls are considered highly restrictive and hampering investment opportunities within the area.
6. As part of the project, heritage consultants were also engaged to review the significance of heritage buildings to ensure that they are appropriately identified and protected through the Ballarat Planning Scheme.

KEY MATTERS

7. The Bridge Mall and Bakery Hill Precinct is affected by Schedule 1 to the Design and Development Overlay (DDO1) which applies the following height limits to Bridge Mall currently:
 - a. *On the southern side of the Bridge Mall, no building may exceed 10.5 metres in height.*
 - b. *On the northern side of the Bridge Mall, no building may exceed 8.7 metres in height.*
8. The current height limits are impractical from a planning and urban design perspective, as they effectively prohibit most forms of development, and are also set at a height that is lower than many existing buildings (Norwich Plaza, for example).
9. Given the depth of many properties (up to 50m) and lack of sensitive interfaces along both Curtis and Little Bridge Streets, there is significant potential for new buildings that

go beyond the current, restrictive height limits, without negative overshadowing impacts.

10. The Bridge Mall Built Form Framework provides an in-depth urban design analysis that looks at the existing built form, current Council policies, the heritage character of the precinct and the opportunities for change and urban renewal within the area.
11. As a result of the analysis, opportunities were identified to amend the built form controls (Schedule 1 to the Design and Development Overlay) by increasing the maximum height limits whilst ensuring that the heritage streetscape along Bridge Mall retains its identified heritage character and significance.
12. An updated Statement of Significance for the Bridge Mall and Bakery Hill Precinct (HO176) has been completed.

COMMUNITY ENGAGEMENT AND FEEDBACK

13. A first stage of community engagement began in early May 2023 and concluded in early June. This stage of consultation was intended to introduce the project to the community and to provide an opportunity to leave feedback through City of Ballarat's MySay web page.
14. Overall, 46 submissions were received that were related to the project and there was a range of feedback on the built form proposals that are proposed to make changes to the Ballarat Planning Scheme.
15. Summary of MySay web page feedback:

Sentiment / Reaction	Number	Summary
Positive / Supportive	15	The feedback in support of the proposed changes supported an increase in height that allows investment and new development and acknowledge the precinct's potential for change to accommodate new population and business opportunities.
Neutral	9	Neutral submissions expressed opinions and ideas that were neither for or against the project.
Other	8	Other submissions were not directly related to the project and raised issues, such as the Bridge Mall streetscape upgrade which is a separate project, though ultimately related to the built form within the precinct.
Opposed / Negative	14	The submissions opposed to the project focused on excessive building heights (according to the feedback) and heritage concerns.

16. The two key issues of concern were the proposed maximum building heights and heritage protection, noting that some submissions were strongly in support of the proposed changes.
17. The project (the review of built form) has been centred around these issues since it began last year and the review of the heritage (Statement of Significance) and other heritage provisions in the Ballarat Planning Scheme has become a significant component of the project.
18. The feedback received both through the MySay web submissions and through face-to-face conversations at the drop-in sessions (which occurred in Bridge Mall), indicated

that there are a wide range of opinions about how the city should change into the future. Many people provided feedback in support of the project and expressed a desire for the city to change, with investment in new development and the public realm.

19. One written submission was received from the Heritage Watch group which is opposed to the proposed planning scheme changes based on heritage concerns and the proposed building heights, which they consider to be too high and in turn threaten the broader heritage character of the Ballarat CBD.
20. There were also a number of submissions that were either unrelated to the project, including comments on the Bridge Mall streetscape upgrade project and opposition to the re-opening of Bridge Mall.

Response to feedback

21. Given the range of feedback, both in support and also raising concerns about the project, the logical path is to proceed to the Planning Scheme Amendment stage where the submissions received (during the next stage of community engagement) can be referred to a Planning Panel following exhibition of the Amendment. The Planning Panel, which is an independent review panel, can review both the amendment and the submissions and will make recommendations on the amendment through the Panel Report.
22. The concerns about heritage are understandable, but the proposed changes are mostly related to the future height of new buildings, noting that even under the existing height limits, some forms of development can occur.
23. The *Bridge Mall Built Form Framework* (Urbis) and the draft Design and Development Overlay (DDO1) are intended to achieve good design outcomes in response to a heritage streetscape whilst supporting a scale of development that is encouraged by current Council strategies and the Ballarat Planning Scheme, in terms of accommodating population and commercial growth within the Ballarat CBD area.
24. The review of the heritage within the precinct has resulted in a revised Statement of Significance, heritage citation and proposed changes to heritage policy at Clause 22.05 (Heritage Conservation and Heritage Precincts). The Strategic Planning team are currently undertaking a broad scope of work as part of a *Heritage Gaps Review*, and the Bridge Mall and Bakery Hill Precinct (HO176) is a small part of a larger body of work that will improve Statements of Significance and heritage policy within the Ballarat Planning Scheme.

PROPOSED AMENDMENT C243BALL

What the amendment does

25. The amendment (Amendment C243ball) implements the recommendations of the Bridge Mall Built Form Framework (Urbis, 2023) by updating the Schedule to the Design and Development Overlay (DDO1) so that it is consistent with Clauses 21.02 and 21.09 of the Ballarat Planning Scheme and the Bakery Hill Urban Renewal Plan (2019).
26. The Bridge Mall Built Form Framework assesses the provisions of Schedule 1 to the Design Development Overlay (DDO1) against the policy settings in the Ballarat Planning Scheme (Clauses 21.02 and 21.09) and the vision and direction set out in

the Bakery Hill Urban Renewal Plan and the Making Ballarat Central: Action Plan (2017).

27. The amendment also reviews the heritage citation and statement of Significance for the Bridge Mall and Bakery Hill Precinct (HO176) and proposes to revise heritage gradings, introducing a contemporary and compliant (PPN1 – Applying the Heritage Overlay) system of gradings.
28. Specifically, the Amendment proposes the following changes to the Ballarat Planning Scheme:

Map Changes

- a. Amends Planning Scheme Map No. 23 (HO176 boundary) to exclude the *not contributory* property at 4-6 Curtis Street.

Overlays (Design and Development Overlay / Heritage Overlay)

- b. Amends the Schedule to Clause 43.01 (Heritage Overlay) to reference the incorporated document, Statement of Significance (Bridge Mall and Bakery Hill Precinct Statement of Significance), GJM Heritage, revised by Landmark Heritage, 2023.
- c. Amends Schedule 1 to the Design and Development Overlay (DDO1) to implement the Bridge Mall Built Form Framework (Urbis, 2023).

Incorporated Documents (Operational Provisions)

- d. Amends the Incorporated Document (Ballarat Heritage Precincts Statements of Significance, 2006) by deleting the current HO176 Statement of Significance.
- e. Inserts a new Incorporated Document at Clause 72.04 entitled: Bridge Mall and Bakery Hill Statement of Significance (GJM Heritage, revised by Landmark Heritage, 2023) that identifies changes to the heritage status of some buildings and provides an updated description (Statement of Significance) for the precinct.

Background Documents (Operational Provisions)

- f. Amends Clause 72.08 Background Documents to introduce a new Background Document at, Bridge Mall Built Form Framework (Urbis, 2023).
- g. Updates the existing precinct heritage citation and includes the document, Bridge Mall Heritage Citation (GJM Heritage, Revised by Landmark Heritage, 2023) as a background document at Clause 72.08.

STRATEGIC ALIGNMENT WITH COUNCIL STRATEGIES

29. The main purpose of the project is to facilitate and encourage urban renewal opportunities envisaged by the following strategic documents:
 - a. Making Ballarat Central: CBD Action Plan (adopted 2017)
 - b. Bakery Hill Urban Renewal Plan (adopted 2019).

30. The project is also supported by the following Clauses in the Ballarat Planning Scheme:
- c. Clause 21.02-1: Settlement and Housing (Urban Growth)
 - i. 1.1 Encourage significant new mixed-use development in the CBD which supports knowledge sector and retail employment opportunities, more inner city living and street level and out of hours activation.
 - ii. Facilitate higher density infill housing in areas of convenience living, urban renewal precincts and the Ballarat CBD.
 - d. Clause 21.09 – Local Areas (CBD)
 - i. Strategy 1: Facilitate significant new mixed-use development and redevelopment in the CBD.

NEXT STEPS

31. The proposed next step is to request authorisation from the Minister for Planning to prepare and exhibit the amendment (in accordance with the provisions of the *Planning and Environment Act 1987*).
32. Once authorisation is received, Officers can proceed with the exhibition of the planning scheme amendment and report back to Planning Delegated Committee after the exhibition period has concluded.
33. It is expected that the amendment would then proceed to a planning panel which will consider all submissions received.

OFFICER RECOMMENDATION

- 34. That the Planning Delegated Committee:**
- 34.1 Writes to the Minister for Planning to request authorisation to prepare an amendment to the Ballarat Planning Scheme in accordance with Section 8A(4) of the *Planning and Environment Act 1987* as at Attachment 6.2.3**
 - 34.2 Following receipt of authorisation from the Minister for Planning, exhibit the amendment in accordance with Section 19 of the *Planning and Environment Act 1987*.**
 - 34.3 Authorise the Director Development and Growth to make any administrative changes to the amendment that do not change the intent of the amendment or any changes required under the Minister for Planning's Authorisation prior to commencement of exhibition.**

ATTACHMENTS

- 1. Governance Review [6.2.1 - 2 pages]
- 2. Community Responses - Bridge Mall Built Form Review [6.2.2 - 12 pages]
- 3. Amendment C 243 Documents Compiled [6.2.3 - 361 pages]

OFFICIAL

ALIGNMENT WITH COUNCIL VISION, COUNCIL PLAN, STRATEGIES AND POLICIES

1. The project is strongly supported by the *Making Ballarat Central: CBD Action Plan* (2017) and the *Bakery Hill Urban Renewal Plan* (2019)
2. The project is also strongly aligned with the following clauses of the Ballarat Planning Scheme:
 - a. Clause 21.02-1 - Settlement and Housing (Urban Growth)
 - i. 1.1 Encourage significant new mixed-use development in the CBD which supports knowledge sector and retail employment opportunities, more inner city living and street level and out of hours activation.
 - ii. Facilitate higher density infill housing in areas of convenience living, urban renewal precincts and the Ballarat CBD.
 - b. Clause 21.09 – Local Areas (CBD)
 - i. Strategy 1: Facilitate significant new mixed use development and redevelopment in the CBD.

COMMUNITY IMPACT

3. The proposed changes to planning controls would encourage investment and urban renewal that benefits the broader community, including the facilitation of housing opportunities within the Ballarat CBD.

CLIMATE EMERGENCY AND ENVIRONMENTAL SUSTAINABILITY IMPLICATIONS

4. Any future development would respond to environmental sustainability through the design of new buildings in accordance with relevant provisions in the Ballarat Planning Scheme.

ECONOMIC SUSTAINABILITY IMPLICATIONS

5. The proposed changes to planning controls would encourage investment and urban renewal opportunities throughout the precinct and promote street level activation.

FINANCIAL IMPLICATIONS

6. There are no significant financial implications other than resourcing associated with the assessment of future planning applications, which is an ongoing role of Council.

LEGAL AND RISK CONSIDERATIONS

7. The amendment process will be undertaken in accordance with the provisions of the Planning and Environment Act 1987.

HUMAN RIGHTS CONSIDERATIONS

8. It is considered that the report does not impact on any human rights identified in the *Charter of Human Rights and Responsibilities Act 2006*.

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COMMUNITY CONSULTATION AND ENGAGEMENT

9. The report outlines the community engagement undertaken to date and the further community engagement to be undertaken in the coming months, through the formal exhibition of a planning scheme amendment.

GENDER EQUALITY ACT 2020

10. There are no gender equality implications identified for the subject of this report.

CONFLICTS OF INTEREST THAT HAVE ARISEN IN PREPARATION OF THE REPORT

11. Council officers affirm that no general or material conflicts need to be declared in relation to the matter of this report.

OFFICIAL

BRIDGE MALL BUILT FORM REVIEW PROJECT / COMMUNITY FEEDBACK

Submission	Contribution	Sentiment
1	The issue with the bridge mall is crime we need to take the crime seriously in the mall and the bus terminal and have constant PSOs monitoring these precincts to keep them safe painting and planting trees doesn't stop the violence and drug dealing that is occurring in broad daylight as a worker within the bakery Hill area I do not feel safe walking to the supermarket on my lunch break and a lot of others feel the same	Neutral
2	From what I can see and what is happening in Bakery Hill our council is putting developers ahead of protecting and enhancing the remaining heritage of Ballarat. If our Council and Councillors keep this up there will be bugger all left of the built heritage in a couple of decades! Clearly they have not learnt anything from the disastrous disregard of the integrity of built heritage in Melbourne. If this continues the remaining heritage buildings will be but a shadow of their former selves overpowered by the surrounding towers!!	Opposed
3	This is not consultation decision already made	Opposed
4	Ballarat needs height controls. Bring back the trams	Neutral
5	Inject some interest in this area. There is an opportunity to think long term here and put into place a draw card linking with the team that goes around the lake.	Other
6	I do not agree with opening Bridge Mall to traffic. Why don't you make it an outdoor, undercover Chinatown style food promenade since Ballarat is home to the largest Chinese library in the southern hemisphere. It could be a tourist attraction as well as historical precinct for the Chinese culture in Ballarat/gold rush era. Some of the 2nd storey shop spaces could be apartments, and the ground floor a food promenade, and inside Norwich Plaza ground floor could be retail space. Surely the council have better ideas than opening the road to traffic? It will be crap & wasting the residents public money, for a project idea that many of us oppose	Other
7	I do NOT want to see high rise (more than 2-3 stories) development in our most historic part of Ballarat! There will be a great public outcry if this is allowed to occur. By all means take your developers further afield, but Bakery Hill is crucial to our town's history and heritage.	Opposed
8	I think the area could do with bringing in dining and entertainment and indeed some residential development, but aim to keep the charm of Bakery Hill Bakery Hill is the most significant site in Ballarat, the area should aim to retain as much of this history and heritage as possible. I strongly disagree with allowing taller buildings to impact the skyline, it should be left as 2-3 stories maximum.	Opposed
9	I personally believe that some small scale residential development is sustainable and would be desirable to create a new sense of community that has been lacking in the area - as well as bringing in more food/dining and entertainment. But NOT high rise development.	Opposed
10	3 storey height limit should be imposed to respect and not take from the heritage buildings in the area	Opposed
11	I support significant levels of development in this area, including at the expense of perceived heritage values. The area will benefit from the vibrancy that higher density housing will provide. Moreover, it is important to consider those who currently cannot afford to buy in inner-Ballarat as well as those already living here. Higher density in-fill housing in Ballarat will have far greater liveability benefits than allowing the city to sprawl further west.	Positive
12	IF there are NO other Seven Story Buildings in the Mall, Then I wouldn't Break the shape of the Mall with Dumb Buildings.... Like Norwich Plaza is a Dumb Building, it's Dated, it leaks when it rains... Kalgoorlie has a better kept version of the same building.... I suspect 7 stories at the EAST End of the Mall would perpetually put some buildings in the shade... That Telstra Building is a Beautiful Building, I am NOT in FAVOUR of replacing Beautiful Heritage Buildings with UGLY 7 story Towers.... SO NO, is my answer....	Opposed
13	I think 7 storeys is far too high. 5 maximum. There are so many empty commercial buildings we certainly dont need any more. Let alone buildings that are too tall too contemporary and completely spoil the look of our unique city centre	Opposed

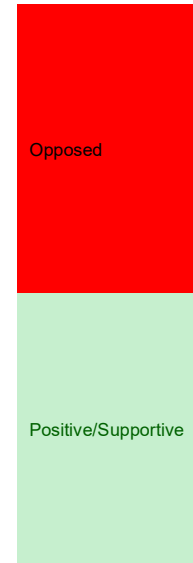
<p>I don't want to see buildings over 4 stories high in this area, it creates a wind tunnels, throws enormous shadows on an already cold Ballarat and it's out of character for the area. Hobart put tall buildings in Macquarie street (a Main Street) and people stopped going there as it's so windy, it turned people off, quite the opposite of what you want for a shopping area. Our geography sitting at an elevation at the end of the Great Dividing Range means we can't build like Melbourne, the weather is an important factor in designing and I'm concerned about Melbourne developers taking hold here who want to show off with fancy designs that architecturally don't fit in to Ballarat's culture or geography. People, including myself, moved here to enjoy small town living, strip shopping centres, a walkable city without wind tunnels and unobstructed views of the beautiful old buildings as I move around the city. With online shopping and people working at home rather than in an office, isn't it old fashioned to be putting in unnecessary and unneeded tall buildings? We already have a lot of empty shops that could be an office. Most people currently walking around the Mall are tourists and a handful of locals. I live near by and see it.</p>	<p>Opposed</p>
<p>13 In this cold climate you need to focus on things for tourists. I'd like to see different shops with old world crafts that school tours and other tourists could try their hand at. It would complement Sovereign Hill. You could have beeswax candle making, weaving, forging, using natural dyes, old fashioned cooking or coopering. Each shop has hands on activities. What can tourists do in winter? I rarely go into the CBD other than for restaurants. I shop online. There are many unused old buildings which could be modernized with the help of a Council grants rather than spending millions and taking a gamble on a strip that may flop. Will the Council allow these old empty buildings, in need of repair, rot? There are lovely old buildings on the corner of Ayre Street and Armstrong Street slowly disintegrating, very sad. You are planning for a future that has already passed, populations aren't shopping in CBDs any more and a lot of business is done from home. The shops would need to be really unusual and attractive to get me to go to the mall and I don't want to see a copy of something I could see in Melbourne, I want something unique, something for the retired people who move here from bigger cities, more interesting things for my visitors to see and do that relate to Ballarat's heritage, they certainly don't want to see more clothes or cooking shops. I don't want a high rise building blocking out what is beautiful about Ballarat, the view, please don't destroy it.</p>	
<p>14 I'm very supportive of allowing higher buildings, including the seven-storeys mentioned in The Courier, in the Bridge Mall as well as mixed residential / retail if this is up for consideration.</p>	<p>Positive</p>
<p>15 What intrusive damage will be done to the heritage values of the precinct? Have you been in contact with Heritage Victoria, and have they actually approved permits?</p>	<p>Opposed</p>
<p>I am concerned that strengthening our heritage may impact on the ability to make meaningful changes to the beige mall to make it more accessible for walkers. The cobblestones must be replaced as people with disabilities and elderly people are having trouble with it.</p>	
<p>16 I am concerned that the council is more interested in heritage layout and red tape than making the bridge mall and surrounds successful places to run businesses and shop as well as making the Ballarat area a great place to live and work.</p>	<p>Neutral</p>
<p>Council has spent a lot of money shutting down Lydiard street for events. If council had used our bridge mall space for that kind of thing it would be more accessible for people with disabilities as parking is convenient, cheaper and it would have brought more people to the mall for the businesses there. Unfortunately, council has neglected to support the area and so many shops have shut.</p>	
<p>17 An entertainment and dining precinct like you see in Melbourne would be amazing. Cover the top, add some restaurants and seating and make it like the cute lane ways in the city. Ample parking in coles or big w would see such an increase in night life, with a roof it would be amazing to go to in winter with a few patio heaters.. amazing.</p>	<p>Positive</p>

18	<p>Shopping in 21st century - modern, enclosed, climate proof, good parking, one stop shopping Current big developing areas in Ballarat re shopping - Delacombe, Lucas, Wendouree Current plus for Bridge Mall - good parking available, 2 large supermarkets, Big W, and a couple of other big retailers Historically - used to draw big name retailers, Now - retailers leave, spread out and not undercover, not providing a "whole" shopping experience Thoughts - between Mair and Dana Streets provide a traffic free, undercover shopping precinct, divert traffic, one way either side, great eating spaces, great shopping spaces, Bridge Mall shoppers don't want to have to travel to Delacombe, Wendouree or Lucas to complete their shopping experience! Ballarat's climate dictates the need for under covered experience. Don't bother if you can't provide this with your vision. If you are only providing another segmented addition to the already segmented City's central shopping spaces don't waste our time or money. (Myer precinct, Armstrong food Precinct, Mair Street ☹️, Bridge Mall). Centralise businesses in these other areas, and Gather food and shopping experiences together in Bridge Mall. I'm an Eastern resident of Ballarat and I crave a Shopping Village experience but don't want to travel west to find one. Don't need through traffic! Probably Delacombe's greatest negative.</p>	Neutral
19	<p>There is already a road up each side it doesn't need a road up the middle. It needs a roof and glass doors each end. If not a retail space then a restaurant space with dining all in the centre. As soon as you announced the road up the middle plan stores started closing. They don't want it. Dear Ballarat Council,</p>	Other
20	<p>As a concerned citizen, I am writing to express my support for the proposed change to height restriction and heritage overlay(?) in Ballarat. As a city that has undergone major development and demolition in the past, Ballarat has a unique opportunity to establish its own identity that goes beyond being just a tourist or gold boom town. These changes can lay the foundation for a future that showcases Ballarat's potential as a thriving metropolis that caters to the needs of the younger generation.</p> <p>While I understand the importance of progress and development, I urge the council to exercise caution and thoughtfulness in their decision-making process. It is crucial to strike a balance between preserving the city's heritage and promoting growth. Any proposal that involves the demolition or partial destruction of existing heritage stock buildings must be given careful consideration, with adequate protection in place to prevent developers from keeping a facade only.</p> <p>We do not want to repeat the mistakes of the past, such as the disastrous Norwich Plaza, which stands as a testament to what can go wrong with development in our city.</p> <p>I am heartened to see that the proposed height restrictions are being executed tastefully, with all apartment and commercial planning designs I have seen in the past six months appearing to be thoughtful and fitting for the area. The proposed Robert Simms development, for example, is a testament to a sound proposal that also benefits the community.</p> <p>As a member of the younger generation still in the workforce, I believe that Ballarat has the potential to become a thriving metropolis, and the proposed changes to height restrictions and heritage overlay can pave the way for this. I hope that the council will take these factors into account when making their decision.</p>	Positive
21	<p>Thank you for your time and consideration. don,t let the cars start going back through the mall it,s a really dumb idea if you have small kids or are elderly like me it,s a dam nuisance build more cover over the mall it would create more usage and you didn,t need a consultant for that imformation.</p>	Neutral
22	<p>Anything above the current height of the buildings, would severely disrupt our heritage landscape. Even if it is set back, it will always be visable. If we are a heritage city, we should look after wghat we have</p>	Opposed
23	<p>I just want the place to be safe, and well connected. Every now and then I go to the supermarket after work and the bus precinct is covered in police tape and there's coppers and ambo's everywhere because someone had a fight. The mall needs more natural light, but it also needs more warmth. Try and get better shops down there - maybe some boutiques?</p>	Positive

- | | | |
|----|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------|
| 24 | <p>Overall I think the intent of the project is correct. To encourage a vibrant city centre, we need greater density in terms of those living and working in central Ballarat. This will also encourage more shops, restaurants, and better transport links facilitated by greater density. This does not need to be at the expense of the heritage aspect. Although obviously on a much bigger scale, the Melbourne CBD is vibrant and packed with things to do. Heritage buildings are integrated with and exist alongside modern equivalents. We need an alternative to building out, endless suburbs with little or no infrastructure. The solution has to be a more urbanised city centre.</p> | Positive/Supportive |
| 25 | <p>I believe that the proposed height of 12 metres for most of the Bridge Mall precinct is too low, and would recommend something more aligned to a wall height of 18 metres against Curtis and Little Bridge Streets, and a height of 24-28m discretionary for the gateway precinct facing Sturt Street. I also believe that rezoning the area to be Mixed Use would allow for better residential opportunities in the area, which would be amenable to increasing overall liveliness.</p> | Positive/Supportive |
| 26 | <p>It is important to ensure that the height limits are sensible, and I would recommend a wall height of 18m over 12m against Curtis and Little Bridge Street, and ensuring that the 24m height is discretionary, as I believe that the gateway precinct against Sturt Street is amenable to higher landmark buildings. Also a rezoning to mixed use would allow for more housing opportunities which would increase the liveliness of the area.</p> | Positive/Supportive |
| 27 | <p>As a resident of Ballarat I welcome the review of the dated design guidelines for the Bridge Mall precinct. As the area sits at a low point in reference to the topography of central Ballarat, the current height restrictions are some of the lowest in Ballarat. A review and increase of these heights would unlock potential development for the area that encourages greater density and inner city living. The potential revival of the Bridge Mall relies on activation which includes a greater need for higher density commercial and residential in the immediate area. I would further encourage council to review the current Commercial 1 Zone and look to alternative zoning such as Central Activity Zone which Geelong implemented in their CBD. Such zoning would reinforce the precinct as a desired location for restaurants, bars and cafes</p> | Positive/Supportive |

28 Need to reassess why Mall is dead? Population has not significantly changed. Newer and better shopping facilities are now located at new population centres so premise that more population is required is not correct. Need to engage experts who understand retail to discuss solutions with locals, face to face. A one way road will not be the solution neither will increased residential living if the retail is not correct. No height increase in Bridge St, Norwich Plaza, one 3 storied shop mid block and existing 3 stories at S/E cnr of Peel to remain. Some increase could occur in Grenville and Little Bridge but generally no higher than any existing building in the Mall. i.e max 2 stories unless a case can be put for one more story. No overshadowing allowed in the Mall and must be designed to compliment and not dominate existing buildings or architecture

29 I believe this review is greatly needed, as too is an inner Ballarat planning review, both of which should result in a clear set of guidelines for what is deemed appropriate for the future built environment within Ballarat. My concerns are that this review and subsequent guidelines will take a prolonged period of time, and may already be too late with so many recent planning applications of buildings over 4 story high within the heritage precinct of central Ballarat.



30 I believe preserving the bridge malls history is important. Keeping the inner side of the bridge mall to 2-3 stores with more modern and higher builds being appropriate facing outward of this precinct (towards the Big W/Dan Murphys carpark and the Eastwood supermarket precincts). I believe a funding grants to help with restoration of some of these buildings would be beneficial to helping preserve the malls history and look.

I believe the city council needs to publicise their strategy for how to reinvigorate the mall after the approved reintroduction of the road is completed. Currently it appears that nil further strategy or planning has been considered or will be implemented to compliment the multi-million dollar road project.

Neutral

31 Have Your Say - Bridge Mall Built Form Review
 Feedback will be received until 5pm Monday 6 June 2023.
 Changes to the height and setback have significant impact and therefore implications for those who live and do business in this location.

1. Potentially a significant increase in population density and commercial activities.
2. The building development will require increased government services, services associated with things like waste removal, etc, etc. Services and infrastructure need to be paid for by the developer and systems put in place to manage them. For example, waste remains a problem and it is notable that the Council is withdrawing its responsibility for waste planning and waste removal in higher density subdivisions.
- In an article in the Ballarat Courier on Saturday 13th May the Committee for Ballarat chief executive but noted that "clarity around regulation is really important to giving developers the green light to come back with some really great design" However it is not just the design (Including functionality) but the building quality (including complying with regulations) that ensures success.
3. Cost to property owners and delays in subdivision approval - Council has increased rates by 5% this year and as the number of such developments increases it will put more strain on the Council budget which will be passed to ratepayers. Is this reasonable?
4. If the council facilitates the development preceding it needs to provide detail about the source and timing of the funding for the increase in services, the required public infrastructure and how the concerns of the residents will be managed, for there are significant implications for those in the locality.
5. It is acknowledged that the Vic Building Authority is having trouble ensuring building standards are complied with as they relate to residential buildings. Purchasers of these new properties need to have confidence that these constructions will comply with current and future building standards.
6. "Higher density housing with higher population densities, particularly located near shops and services, is likely to increase the incidence of local crime and disorder simply because there are more people circulating in the area". - Provided by the Heart Foundation.
https://www.parliament.act.gov.au/_data/assets/pdf_file/0003/373593/16c_Heart_Foundation_-_ACT_Attachment_3.pdf
 This report identifies some key considerations which need to be applied when proposing such higher density housing.
 Public open space, such as Victoria Park, was recognised as important to the residents of Ballarat. How will the Council ensure there is adequate public open space for this higher density living? For years there have been crime problems in Little Bridge Street which politicians have tried to overcome. How will problems such as this be overcome if the Council approves the development?
7. The Council has a significant responsibility to Ballarat which I trust it does not take lightly for this proposal will significantly change to City, and not

Neutral

necessarily for the better.

Thanks for the opportunity to have a say.

32	Cancel road through Mall, turn precinct into Restaurant / Cafe area. You don't need extra carparking, the area is safe for Adults and Children. The savings to the people of Ballarat could be Millions.	Neutral
33	The Bridge Mall project is completely wrong. The re-opening of the road in my opinion will not change the current state of the Mall. I believe that the only answer is to cover the Mall with a roof to establish dining/food areas and encourage other stores into the Mall.	Opposed
34	Why? The proposed changes sound promising for revitalizing the area. Utilizing the currently empty second stories of buildings, and adding new residential and mixed use buildings to the area should significantly help the local businesses, safety issues in the area, and reduce the urban sprawl that is happening as the city grows. This is the CBD, it should have high rise buildings and not be constrained by current 2 or max 3 story heritage buildings. It needs higher density residential options to draw people back to the CBD and keep it active after business hours. As long as additions are tasteful (no abominations like Norwich Plaza) and accessible (ie. addressing the exorbitant rates and rents that currently drive businesses from the CBD) they will be a huge benefit. While preserving the heritage frontages is important, many of the buildings have side or rear views that are unsightly despite being historical. Hopefully new additions can improve the streetscapes from Curtis and Little Bridge St also.	Opposed
35		Positive/Supportive
36	Given that new research is telling us that petrol exhaust fumes are responsible for high levels of health problems in our children (such as asthma), I would like to know why a playground is being built in an area directly passed through by traffic.	Other
37	Is something being done with Norwich Plaza? I am aware that this is under private ownership but is a real eyesore to that part of town and ought to be modernised to bring it in line with the plans for the wider area. Just a question: Is it really a good plan to drive traffic through a pedestrian mall? And, a comment:	Neutral
38	Adding motor vehicles into any pedestrian zone creates great personal danger, the guarantee of traffic accidents, and, ram raid attacks on retail premises, as do happen. Conclusion: I shall avoid using Bridge Mall Street, never drive along it and never cycle along it.	Other
39	Ballarat Mail biggest waste of time and money as is has no roof over it heating,cooling , free car parking.No wonder I shop at Stocklands which is about to be bigger with more carparks	Other

40 Please maximise green space, minimise cars, and create undercover outdoor dining amenity. There is ample parking adjacent to Bridge Mall in the Woolworths and Big W car parks. I would love to see the buildings put to mixed use with medium density housing above and retail and hospitality below. This area has such potential, but turning it into a road with strip chain stores is not how to utilise it!



41

I think the Bridge Mall could be an amazing outdoor eating precinct with gorgeous restaurants, live music etc. Armstrong street is great but the parking is a pain in the evening - a proper zone in the center of town would be amazing! Outdoor seating, maybe some overhead shelter and lovely umbrellas during the summer. You could build heritage inspired art pieces through the middle which would encourage tourists to visit, with a nice playground for children to play while families dine.

You could even go so far as to design the entire restaurant strip as a gorgeous historic scene (similar to sovereign hill) which I think would draw in people from all over the country (think Handorf in Adelaide!) Offering affordable rent will encourage more local businesses to open down there and would give residents a place to gather and spend money. It could be a great focal point for the city and could elevate the entire center of town. Having a thriving outdoor dining zone would also provide a great platform for local artists and musicians, fundraising opportunities for local charities and would be a wonderful place to decorate and host activities during the holidays.

I'm sure it would also probably encourage more exciting businesses to want to open around it. Similar places in Melbourne are fantastic!

The bride mall is unfortunately currently used as a meeting ground for Ballarat's worst - I would be so happy to see the place renamed and turned into the gorgeous landmark it should be! You guys do a great job, I hope you do something wonderful for our town.

Positive

- Does this proposal consider:
 - encouragement of residential tenancies?
 - connection to the mall via a tram system?
 - zero net emissions?
 - restoring the verandas?
- 42 - enhancement of the amenities (eg:farmers Market – held every Saturday 9-3pm between Main Road to Grenville Street – Streets closed to traffic; bike stations; restaurant precinct)?
 - maintenance of established trees?
 - the relationship the mall/proposed buildings/road alterations have with their surrounding CBD (and local communities) and the impacts of any changes in respect of the general movement of people and tourism opportunities?
- 43 I support 100% the changes at the Bridge Mall that is dying on its feet due to the lack of support from our politicians.

- 44 Redeveloping the mall is long overdue and it is not only an eyesore but lets down our beautiful heritage city. I understand it may be out of council's hands but the building on the corner (Norwich Plaza) is the worst offender. Driving down Sturt St and seeing its dominance of the area is an awful sight, for not only for visitors but residents as well. Surely the owners have some obligation to change/maintain it to fit in with heritage guidelines? Regarding the shops; street shopping and retail is struggling in many towns and cities at the moment and the mall does not have much to attract new businesses. A revamp with native vegetation and support and incentives for property owners to paint/restore their buildings is vital.

Other

Positive

Positive

Hi there,

Thank you so much for putting the project together. We recently bought a commercial property in the area (sub area 2). We totally agreed with the council that the area needs some revitalisation and we are ready to invest if the feasibility stacks up. Our initial plan is to build a 4-5 star hotel in the area as we are struggling to find high quality short term accomodations in the area while we are visiting from Melbourne.

While we are please with the proposal, high cost of construction, labour shortages and ever increasing interest rates are making feasibility for development a massive challenge. We are hoping that the council will give as much incentive to the property owner/developer to develop as possible. One suggestion I am hoping the council will be open to, is to set the max height limit to 24m across the Bridge mall areas (Area 1 and 2) rather than 24m for Area 1 and 18m for Area 2. With the detailed analysis within the documents attached, I believe that this additional 6m (especially with the set back and it's already approved in Area 1) will not change the visual from the street but it could mean a project get started or not.

- 45 We don't believe the new limit is feasible at this stage especially with smaller lot sizes in Area 2 (i.e we need more consolidation and collaboration between owners with different objectives and risk tolerance), as a result, it might not see any development in the near/medium term. For us, this additional 6m will mean additional 15 rooms with better vantage points for our investors and significantly improved the feasibility of the project.

Thank you so much for your time and consideration.

Best
Stew

Positive/Supportive

Dear Ballarat Council,

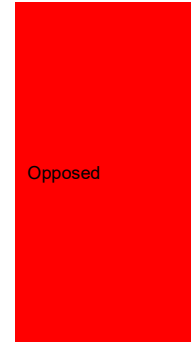
Re the Bridge Mall Built Form Review

I object to the proposed changes to the heritage overlay on the following grounds:

46 The excessive proposed height changes to the heritage overlay. The change in height will overshadow the existing heritage buildings in the Bridge Mall precinct and detract from the historic vista of this area and the historic streetscape.

The proposed changes to the historic overlay contradicts the Ballarat Council participation in the current Goldfields World Heritage Bid. e.g. By allowing modern high rise buildings to be built in a historic precinct such as the Bridge Mall, will detrimentally detract from the bid to obtain World Heritage status for the GoldFields region. Bakery Hill is the historic location of the Eureka Stockade Rebellion.

The proposed historic overlay changes are not in keeping with 2019 Bakery Hill Urban Renewal Plan.
In this document there is only a general proposal to build residential building 3 storeys high. There is no mention of 7 storey buildings (e.g. 24 metres).



Planning and Environment Act 1987

BALLARAT PLANNING SCHEME

AMENDMENT C243

EXPLANATORY REPORT

Who is the planning authority?

This amendment has been prepared by the City of Ballarat, which is the planning authority for this amendment.

The amendment has been made at the request of the City of Ballarat.

Land affected by the amendment

The amendment applies to land generally within the “Bridge Mall and Bakery Hill Precinct”, currently zoned Commercial 1 Zone and illustrated below at Map 1.

- 2-104 (even), 1-121 (odd) Bridge Mall
- 1-6 Coliseum Walk
- 22-54 Curtis Street
- 5-112 Little Bridge Street
- 2-50 (even), 11-21 (odd) Main Road
- Norwich Plaza (all properties)
- 4-6 Peel Street
- 8-10 (even), 1-9 (odd) Humffray Street Sth.

Bridge Mall is located at the eastern end of Sturt Street, with Curtis Street to the north, Little Bridge Street to the south and Victoria Street to the west. The Bridge Mall and Bakery Hill Precinct (affected by DDO1) is indicated by the red (dashed) line on the map below. Heritage Overlay (HO176 – Bridge Mall and Bakery Hill Precinct) is shown as the solid black line below. These overlapping areas are affected by Amendment C243ball.



What the amendment does

The amendment implements the recommendations of the *Bridge Mall Built Form Framework* (Urbis, 2023) by updating the DDO1 so that it is consistent with Clauses 21.02 and 21.09 of the Ballarat Planning Scheme and the *Bakery Hill Urban Renewal Plan* (2019). The *Bridge Mall Built Form Framework* assesses the provisions of Schedule 1 to the Design Development Overlay (DDO1) against the policy settings in the Ballarat Planning Scheme (Clauses 21.02 and 21.09) and the vision and direction set out in the *Bakery Hill Urban Renewal Plan* and the *Making Ballarat Central: Action Plan* (2017).

The amendment also reviews the heritage citation and statement of Significance for the Bridge Mall Precinct (currently affected by HO176) and proposes to revise heritage gradings, introducing a contemporary and compliant (PPN1 – Applying the Heritage Overlay) system of gradings.

Specifically, the Amendment proposes the following changes to the Ballarat Planning Scheme:

- Amends Planning Scheme Map No. 23 (HO176 boundary) to exclude the non-contributory property at 4-6 Curtis Street.
- Amends the Schedule to Clause 43.01 (Heritage Overlay) to reference the incorporated document, Statement of Significance (Bridge Mall and Bakery Hill Precinct Statement of Significance), GJM Heritage, revised by Landmark Heritage, 2023.
- Amends Schedule 1 to the Design and Development Overlay (DDO1) to implement the *Bridge Mall Built Form Framework* (Urbis, 2023).
- Amends the Incorporated Document (Ballarat Heritage Precincts Statements of Significance, 2006) by deleting the current HO176 Statement of Significance.
- Inserts a new Incorporated Document at Clause 72.04 entitled: *Bridge Mall and Bakery Hill Statement of Significance* (GJM Heritage, revised by Landmark Heritage, 2023) that identifies changes to the heritage status of some buildings and provides an updated description (Statement of Significance) for the precinct.
- Amends the schedule to Clause 72.08 *Background Documents* to introduce two new Background Document:
 - *Bridge Mall Built Form Framework* (Urbis, May 2023).
 - *Bridge Mall Heritage Citation* (GJM Heritage, Revised by Landmark Heritage, 2023) as a background document at Clause 72.08.

Strategic assessment of the amendment

Why is the amendment required?

Overview

The amendment is required to implement the built form recommendations of the *Bridge Mall Built Form Framework* (Urbis, 2023) and the heritage review undertaken by GJM Heritage, later peer reviewed by Landmark Heritage, that provides a new Statement of Significance and heritage citation for the *Bridge Mall and Bakery Hill Precinct* (identified as HO176).

The proposed changes to the Ballarat Planning Scheme reflect expert urban design and heritage advice that Council has received that will facilitate the land use and development outcomes envisaged by the *Bakery Hill Urban Renewal Plan* (Adopted 2019), *Making Ballarat Central: CBD Strategy Action Plan* (Adopted 2017), and the *Ballarat Strategy: Our Vision for 2040*.

The amendment will facilitate appropriate built form development of the Bakery Hill Precinct portion of the Ballarat CBD by providing direction and certainty around future development outcomes. Amending the Design and Development Overlay (DDO1) will encourage and facilitate new development proposals within the Bridge Mall precinct, respectful of the existing heritage character and fabric of the precinct.

Council has received both heritage and urban design advice that inform and support the directions included within this amendment. A list of relevant studies and reports include:

Study/ Report	Synopsis
Making Ballarat Central: Action Plan (2017)	Making Ballarat Central is a comprehensive strategic plan (similar to a Structure Plan) for the Ballarat CBD with a strong emphasis on urban and economic growth.
Bakery Hill Urban Renewal Plan (2019)	Bridge Mall is the central component of the Bakery Hill Urban Renewal Plan, which sets a vision for the overall precinct and seeks to encourage significant change (urban renewal) within the Bakery Hill Precinct, which comprises the eastern portion of the Ballarat CBD.
Bridge Mall Built Form Framework (2023)	Urbis have undertaken a built form analysis and built form framework to provide guidance and recommendations to facilitate appropriate development within the Bridge Mall Precinct.
Heritage Built Form Analysis	Provides an analysis of the built form from a heritage perspective.
Heritage Citation	Provides an up to date heritage citation for the Bridge Mall Precinct (Heritage Overlay).
Statement of Significance	Provides an up to date Statement of Significance for the Bridge Mall Precinct (Heritage Overlay).

How does the amendment implement the objectives of planning in Victoria?

The Amendment is consistent with the objectives of planning in Victoria by encouraging and facilitating appropriate and considered change in the Bridge Mall Precinct. The Amendment implements the relevant objectives in Section 4 of the Planning and Environment Act 1987 (the Act), in particular:

- a. *to provide fair, orderly, economic and sustainable use, and development of land:*
 - i. *The built form analysis and the proposed changes to the Schedule to the Design and Development Overlay (DDO1) would enable future development that is consistent with Council's current strategic policies, and which otherwise is prevented from occurring.*
- d. *to conserve and enhance those buildings, area or other places that are of scientific, aesthetic, architectural or historical interest, or otherwise of special cultural value:*
 - ii. *the review of the heritage precinct and the proposed revised Statement of Significance reinforce heritage protection whilst encouraging appropriate development within the precinct.*
- f. *to facilitate development in accordance with the objectives; and*
- g. *to balance the present and future interests of all Victorians:*

- iii. *The amendment will provide for sustainable development outcomes within the Ballarat CBD that aligns with the current future vision for the CBD area and the Bridge Mall and Bakery Hill Precinct.*

How does the amendment address any environmental, social and economic effects?

As required under sections 12(2)(b) and (c) of the Act, the Amendment does consider and respond to potential environmental, social and economic effects.

The Amendment is strategically supported by the *Bakery Hill Urban Renewal Plan (2019)* and *Making Ballarat Central: Action Plan (2017)* which encourage urban growth in the form of higher density residential development to support a growing population, particularly within the CBD area of Ballarat; and economic growth that generally supports commercial activity within the Ballarat CBD area.

The Amendment will facilitate sustainable development outcomes that supports an active public realm and passive surveillance of the street environment. It is not considered that the amendment would have any negative social, economic or environmental impacts.

The amendment would have positive social and environmental impacts by facilitating development outcomes that increases activity and enhances the public realm. Facilitating higher density residential development within the Ballarat CBD would locate more people in close proximity to jobs, services, education, health and public transport services.

Does the amendment address relevant bushfire risk?

The Bridge Mall and Bakery Hill Precinct is not within a bushfire prone area, as identified by the Bushfire Management Overlay, and has not been identified in Council's bushfire risk assessments which predominantly sits within areas beyond the Ballarat CBD area.

Does the amendment comply with the requirements of any Minister's Direction applicable to the amendment?

The Amendment complies with the following Ministerial Directions:

Direction No. 11: Strategic Assessment of Amendments

Ministerial Direction 15: The Planning Scheme Amendment Process

How does the amendment support or implement the Planning Policy Framework and any adopted State policy?

Clause 11.01-1S – Settlement

Objective

To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

Strategies

Develop sustainable communities through a settlement framework offering convenient access to jobs, services, infrastructure and community facilities.

Focus investment and growth in places of state significance in Metropolitan Melbourne and the major regional cities of Ballarat, Bendigo, Geelong, Horsham, Latrobe City, Mildura, Shepparton, Wangaratta, Warrnambool and Wodonga.

Encourage a form and density of settlements that supports healthy, active and sustainable transport.

Limit urban sprawl and direct growth into existing settlements.

Promote and capitalise on opportunities for urban renewal and infill redevelopment.

Develop compact urban areas that are based around existing or planned activity centres to maximise accessibility to facilities and services.

Ensure retail, office-based employment, community facilities and services are concentrated in central locations.

Ensure land that may be required for future urban expansion is not compromised.

Support metropolitan and regional climate change adaptation and mitigation measures.

Clause 11.03-1S – Activity Centres

Build up activity centres as a focus for high-quality development, activity and living by developing a network of activity centres that:

- Comprises a range of centres that differ in size and function.
- Is a focus for business, shopping, working, leisure and community facilities.
- Provides different types of housing, including forms of higher density housing.
- Is connected by transport.
- Maximises choices in services, employment and social interaction.
- Support the role and function of each centre in the context of its classification, the policies for housing intensification, and development of the public transport network.

The amendment supports and implements Clause 11.03-6s – Regional and local places by:

Facilitating integrated place-based planning.

Integrating relevant planning considerations to provide specific direction for the planning of sites, places, neighbourhoods and towns.

Considering the distinctive characteristics and needs of regional and local places in planning for future land use and development.

The amendment supports and implements Clause 15.03-1s – Heritage conservation:

To ensure the conservation of places of heritage significance.

- Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.
- Encourage appropriate development that respects places with identified heritage values.
- Retain those elements that contribute to the importance of the heritage place.
- Encourage the conservation and restoration of contributory elements of a heritage place.
- Ensure an appropriate setting and context for heritage places is maintained or enhanced.

The amendment supports and implements Clause 16.01-1s – Housing supply by:

To facilitate well-located, integrated and diverse housing that meets community needs.

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- Provides a high level of internal and external amenity.
- Incorporates universal design and adaptable internal dwelling design.

Support opportunities for a range of income groups to choose housing in well-served locations.

How does the amendment support or implement the Local Planning Policy Framework, and specifically the Municipal Strategic Statement?

The Amendment is supported by the objectives and strategies listed at Clauses 21.01-2 and 21.09-1:

Clause 21.01-2 – Urban Growth

Ballarat is forecast to grow significantly towards 160,000 people by 2040. Most of this increased population is planned to be accommodated through infill in established areas, convenience living close to public transport, urban renewal precincts, and in properly planned greenfield growth areas such as Ballarat West. In areas dislocated from good public transport access, and outside these designated precincts, change should be incremental and to an appropriate scale.

Objective 1

To support a pattern of growth which reinforces the '10 Minute City'.

Strategies

- 1.1 Encourage significant new mixed use development in the CBD which supports knowledge sector and retail employment opportunities, more inner city living and street level and out of hours activation.
- 1.2 Facilitate higher density infill housing in areas of convenience living, urban renewal precincts and the Ballarat CBD.
- 1.3 Facilitate laneway housing where laneways already exist in the urban fabric of residential areas.

Clause 21.06-1 – Urban Design

The quality of design is crucial to Ballarat's identity and competitiveness. High quality streetscapes and open spaces can increase the level of amenity and functionality making places more attractive to visitors, investors, retailers and consumers. This can in turn stimulate activity, vitality and enhance perceptions of safety.

Objective 1

To protect and enhance the quality and character of built areas, considering context and local values.

Strategies

- 1.1 Ensure that the scale, bulk and quality of new development contributes to the character and amenity of the built environment.
- 1.2 Maintain important views and vistas within the Ballarat CBD including skyline views of spires and towers and the Yarrowee escarpment.

Objective 2

To increase the vitality, amenity and experience of the public realm.

Strategies

- 2.1 Encourage provision of gathering and meeting spaces in activity centres.
- 2.2 Ensure the scale, bulk and quality of new development supports a high quality public realm.

Clause 21.06-2 – Heritage

Ballarat has a rich natural, cultural and historic heritage. The City of Ballarat extends across parts of the traditional country of the Wadawurrung and Dja Dja Wurrung peoples whom maintain their ongoing connection with this land. Ballarat's extensive heritage buildings, structures, features, highly intact historic areas, archaeology, cultural landscapes, parks and gardens, trees, avenues and natural features are of high cultural significance and therefore important to the local and wider community. Ballarat's community considers the heritage and historic character of Ballarat as its most valued features and that these elements must be retained into the future. Ballarat's heritage resources must be protected, conserved and enhanced for its conservation, cultural and tourism potential as well as ensuring that what makes Ballarat distinctive isn't lost. Ballarat's heritage includes places of national, state and local significance.

Objective 4

To protect, conserve and enhance areas, features, structures and sites of historic, aboriginal, natural and cultural significance.

Strategies

- 4.1 Conserve, protect, and enhance the fabric of identified heritage places and precincts.
- 4.2 Identify and protect heritage places, including maintaining the visual prominence of heritage buildings and landmarks.
- 4.3 Encourage sympathetic forms of development adjacent to heritage sites.
- 4.4 Ensure alterations to heritage places are carried out in a sympathetic manner with consideration to the 'Burra Charter'.
- 4.5 Discourage the demolition of buildings and other elements of identified local, state and national heritage significance.
- 4.6 Require that new development interprets culturally significant places and respects heritage and cultural boundaries.
- 4.7 Protect pre and post contact Aboriginal cultural heritage.

Clause 21.09-1 – CBD

Significant new mixed use development will be encouraged in the CBD. The area will be managed as a key entertainment destination, a hub of knowledge sector, retail employment activities and inner city living precinct with street level and out of hours activation. Strong emphasis will be placed on a high quality public realm, pedestrian amenity and a people first approach to managing space.

Implementation strategies

Land use

Strategy 1	Facilitate significant new mixed use development and redevelopment in the CBD.
Strategy 2	Facilitate the redevelopment of vacant upper floorspace within the Ballarat CBD for residential purposes.
Strategy 3	Consider the objectives, strategies and actions of the CBD Strategy: Making Ballarat Central (2010).

Does the amendment make proper use of the Victoria Planning Provisions?

In revising the Schedule to the Design Development Overlay (DDO1) and updating the heritage citation and statement of significance, which will become an incorporated document, the proposed changes make proper use of the VPPs, and in particular, as stated under Planning Practice Note (PPN60 – Height and Setback Controls for Activity Centres):

The Design and Development Overlay (DDO) is the preferred planning instrument for implementing discretionary and mandatory building heights and setbacks in other situations (such as regional centres).

Height and setback controls can be appropriate so long as they are not aimed at restricting the built form, but at facilitating good design outcomes.

This logic has been applied to the Design and Development Overlay that currently affects Bridge Mall.

By reviewing heritage gradings and replacing the Statement of Significance (incorporating the new Statement of Significance as a separate document into the Ballarat Planning Scheme), the application of the Heritage Overlay will be brought into compliance with Planning Practice Note 1 (PPN1 – Applying the Heritage Overlay) and assist in more robust decision making for heritage buildings and distinguishing between contributory, significant and not-contributory buildings in order to facilitate appropriate development outcomes for all properties within the precinct.

How does the amendment address the views of any relevant agency?

The views of Heritage Victoria will be sought during the exhibition of the amendment.

Does the amendment address relevant requirements of the Transport Integration Act 2010?

The amendment would not have significant implications for the transport system and the precinct is well served by public transport and general transport infrastructure (such as roads).

Resource and administrative costs

- **What impact will the new planning provisions have on the resource and administrative costs of the responsible authority?**

The amendment would have minimal resource and administrative costs associated with it, in addition to those already experienced by Ballarat City Council's statutory planning department.

Where you may inspect this amendment

The amendment can be inspected free of charge at the Ballarat City Council website at www.ballarat.vic.gov.au.

And

The amendment is available for public inspection, free of charge, during office hours at the following places:

Ballarat City Council
The Phoenix Building
25 Armstrong Street South
BALLARAT CENTRAL VIC

The amendment can also be inspected free of charge at the Department of Transport and Planning website at www.planning.vic.gov.au/public-inspection or by contacting 1800 789 386 to arrange a time to view the amendment documentation.

[The following sections of the Explanatory Report are only applicable to exhibited amendments and should be removed at the adoption stage

Submissions

Any person who may be affected by the amendment may make a submission to the planning authority. Submissions about the amendment must be received by **TBC**.

A submission must be sent to: strategicplanningsubmissions@ballarat.vic.gov.au

Panel hearing dates

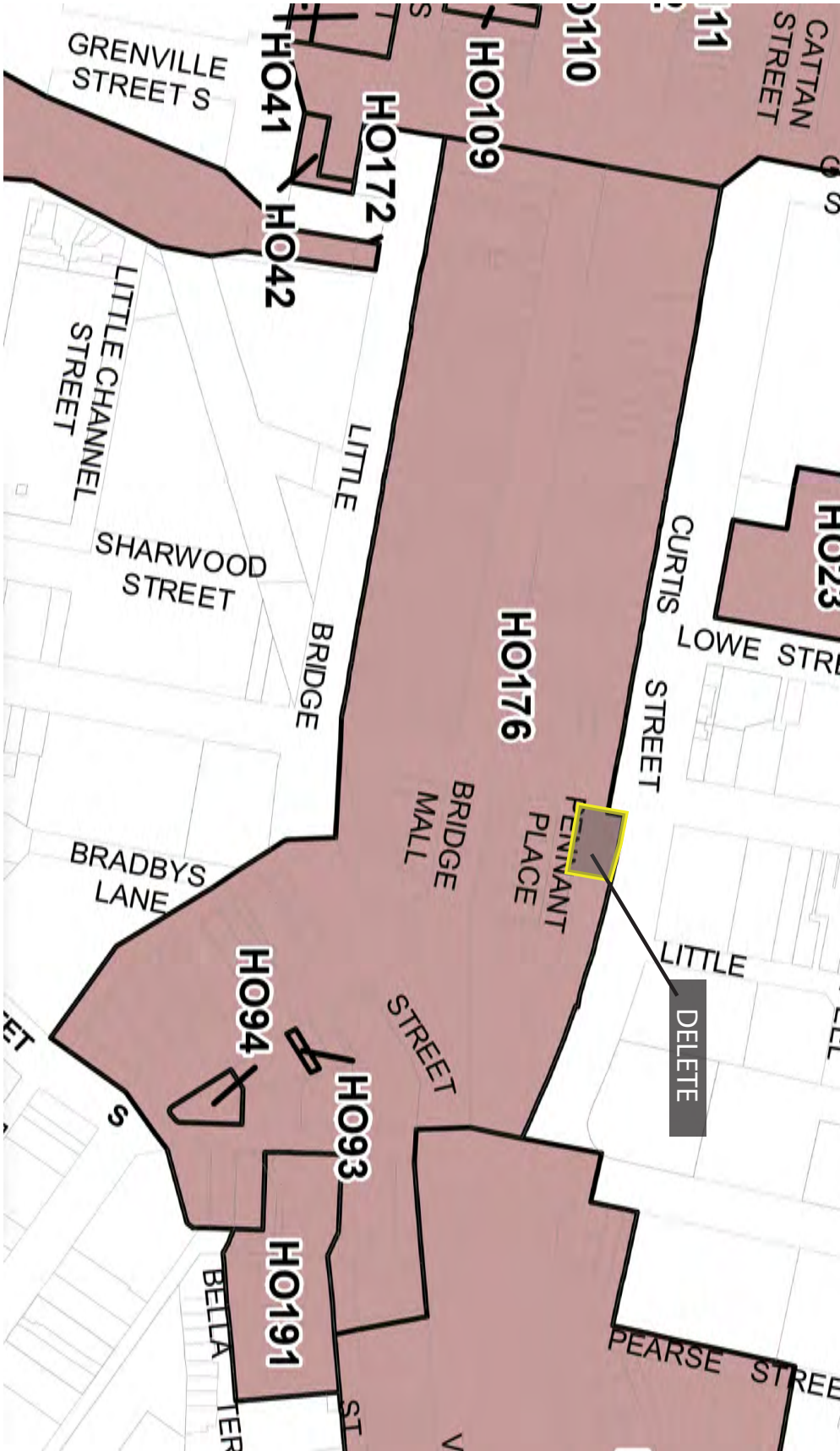
In accordance with clause 4(2) of Ministerial Direction No.15 the following panel hearing dates have been set for this amendment:

- directions hearing: Estimated November 2023
- panel hearing: Estimated December 2023

DRAFT

AMENDMENT C243ball - PROPOSED MAP CHANGES

MAP 23 - HO



Amendment C248ball – Clause 43.01 changes

PS map ref	Heritage place	External paint controls apply?	Internal alteration controls apply?	Tree controls apply?	Solar energy system controls apply?	Outbuildings or fences not exempt under Clause 43.01-4	Included on the Victorian Heritage Register under the Heritage Act 2017?	Prohibited uses permitted?	Aboriginal heritage place?
HO176	<u>Bridge Mall and Bakery Hill Precinct Statement of Significance (GJM Heritage, revised by Landmark Heritage, March 2023)</u> Incorporated plan: Ballarat Planning Scheme Heritage Control 2004	Yes	No	Yes	Yes	No	No	No	No

BALLARAT PLANNING SCHEME

04/10/2018

SCHEDULE 1 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

Shown on the planning scheme map as **DDO1**.

BRIDGE MALL**1.0 Design objectives**

30/07/2018

- To ensure that the design and scale of new development is compatible with the preferred future role and character of the Bridge Mall.
- To facilitate urban renewal and higher built form behind a lower scale street wall, and encourage site consolidation to improve design and development outcomes.
- To retain the integrity and visual primacy of heritage fabric and ensure new built form comfortably integrates with existing heritage.
- To ensure that new development has regard to important landmarks and viewlines.
- To ensure development contributes to a high-quality public realm, including through exemplary architecture, high quality public realm interfaces and through protection of an appropriate level of solar access to key footpaths.

2.0 Buildings and works

30/07/2018

2.1 Definitions

- **Heritage building** refers to any building subject to a heritage overlay, graded as either *Contributory* or *Significant*.
- **Contributory, Not Contributory and Significant** refers to the heritage grading of individual sites within the Heritage Overlay.
- **Street wall** is the façade of a building at or closest to any street boundary, or if the existing heritage building is set back from the street boundary, the adjacent wall.
- **Street wall height** is the height of the street wall measured by the vertical distance between the footpath at the centre of the frontage and the highest point of the building, parapet, balustrade or eaves at the street edge or in the case of a heritage building if it is set back from the street from the centre of the building frontage to the highest point of the building, parapet, balustrade or eaves.
- **Upper level** is the development above the height of the street wall.
- **Upper Level Development is development above the height of the street wall.**
-
- **Upper level setback** is the setback of the upper level measured from the street wall (front façade) of the building.
- **Setback** is the shortest horizontal distance from a building, including projections such as balconies, building services and architectural features, to (or from) the property boundary.

2.2 General Requirements

The following requirements apply to an application to construct a building or carry out works and must be read in conjunction with the relevant precinct design requirements:

- Ensure that the height of any new proposed street wall achieves a comfortable height relationship with the height of any adjoining heritage fabric.
- Incorporate vertical articulation in the street wall that reflects the prevailing pattern of subdivision and buildings.

BALLARAT PLANNING SCHEME

- Incorporate awnings over the footpath on commercial zoned land for the full width of the lot, continuous with any adjoining awning.
- A permit cannot be granted to vary a requirement expressed with the term ‘must’ or listed in a ‘Mandatory’ column of a table.
- Service equipment/structures including plant rooms, lift overruns, structures associated with green roof areas and other such equipment may exceed the preferred or mandatory height provided that each of the following criteria are met for the equipment or structure:
 - Less than 50 per cent of the roof area is occupied by the equipment (other than solar panels).
 - The equipment does not extend higher than 3.6 metres above the maximum building height.
- Projections such as balconies and building services should not intrude into a setback or upper level setback.

2.3 Building heights and street wall height requirement

A building should not exceed the Preferred Building Heights (in metres and storeys) specified in the built form precinct provisions of this schedule, unless:

- The built form outcome as a result of the proposed variation satisfies the Design Objectives in Clause 1.0, Clause 2.4 and the relevant Sub-Area Design Requirements specified in this schedule.
- Sites that are less than (or equal to) 10m in width can be consolidated to achieve better design outcomes that achieve the design objectives for the relevant Sub-Area and to achieve the requirements of Clause 2.4.
- The building is designed with floor to floor heights of 4m to accommodate commercial use at the lowest two levels of the building.
- The building provides setbacks from side boundaries at upper levels to ensure that neighbouring properties have equitable development opportunities, allowing daylight (as specified at Clause 2.4).

A permit cannot be granted to vary a preferred street wall height shown in Map 1 Built Form Framework Plan unless the proposal meets the Design Objectives in Clause 1.0 and the relevant Sub-Area Design Requirements specified in this schedule.

A permit cannot be granted to vary a requirement expressed with the term ‘must’.

2.4 Upper level development design requirements

Upper level development should:

- Provide setbacks to ensure that upper level additions seen from the public realm do not diminish the appreciation of heritage buildings and heritage streetscapes.
- Avoid repetitive stepped built form at upper levels.
- Use materials at upper levels that are recessive in finish and colour.
- Include articulated side walls which read as part of the overall building design and avoid poorly finished and presented side walls at the mid to upper levels.
- Ensure balconies at upper levels do not dominate the visual appearance of buildings.
- Minimise the visual intrusion of equipment and services.
- Retain roofs, chimneys, parapets and other architectural features that contribute to the heritage character of the area.

An application for development must provide a design response that considers the future development opportunities of adjacent properties in terms of outlook, daylight and solar access to windows, as well as managing visual bulk.

- Where development shares a common boundary, upper level development must:

BALLARAT PLANNING SCHEME

- be setback a minimum of 4.5m from the common boundary, where a habitable window or balcony is proposed
- be setback a minimum of 3.0m from the common boundary where a commercial or non habitable window is proposed.

Where the common boundary is a laneway, the setback is measured from the centre of the laneway.

2.5 Building design requirements

New development should:

- Ensure corner sites are designed to address both street frontages with shopfront windows at street level.
- Be designed with floor to floor heights suitable to accommodate commercial activity at the lower levels of the building.
- Incorporate floor to floor heights suitable for commercial activity of at least 4 metres at the lowest two levels, where heritage elements are not a constraint.
- Activate pedestrian linkages between Bridge Mall and nearby off-street car parking and shopping areas.
- Generally provide active frontages at the lower levels of buildings.
- Respond to the heritage character of the streetscape in terms of the scale and rhythm of the street-wall.
- Incorporate vertical articulation in the street wall that reflects the prevailing rhythm and pattern of buildings in Bridge Mall.
- Incorporate an architectural expression distinct from but complementary to the heritage buildings.
- Ensure that façade treatments are simple and do not compete with, or detract from, the detailing of adjacent heritage building(s);
- Be articulated to reflect the fine grained character of the Bridge Mall streetscape.
- Incorporate awnings to Bridge Mall, Curtis Street and Little Bridge Street where possible and not detracting from heritage buildings.

2.6 Heritage building design requirements

Alterations and additions to heritage buildings must be designed to:

- Reinforce the fine grain character of heritage streetscapes and minimise the dominance of wide building frontages at ground and upper levels.
- Retain all visible features of the heritage building as viewed from the streetscape and primary frontages.
- Complement existing heritage buildings in form, scale, detailing, materials and colour.
- Be visually recessive and retain the primacy of the three-dimensional form of the heritage building as viewed from the public realm to avoid only retaining the heritage fabric;
- Retain the visual prominence of the return façades of buildings on corner sites;
- Retain solid built form behind retained facades and avoid balconies behind existing openings;
- Maintain the inter-floor height of the existing building and avoid new floor plates and walls cutting through historic openings;
- Utilise visually lightweight materials and finishes that are recessive in texture and colour and provide a juxtaposition with the heavier masonry of the heritage facades.
- Retain all identified, contributory and/or significant features of heritage buildings.

BALLARAT PLANNING SCHEME

2.7 Vehicular access, car parking, and building design requirements

New development must:

- Avoid providing vehicle crossover onto Bridge Mall, wherever possible.
- Conceal the provision of car parking within the building or provide basement car parking if practical.
- Avoid recessed parking spaces at the ground floor level of buildings and onsite parking spaces at the front of properties.

Vehicle, Servicing and Pedestrian Access:

- Vehicle delivery and servicing access from Bridge Mall should be avoided where possible.
- Vehicle ingress and egress into development, including loading facilities and building servicing, should ensure a high quality standard of pedestrian amenity and limit potential conflict between vehicle movements and pedestrian activity.
- Pedestrian access to buildings, including upper level apartments, must be from a street or a shared zone. Where pedestrian access can only be provided from a laneway, the pedestrian entrance must be well lit to enable safe access.

2.8 Overshadowing and solar access (public realm) requirements

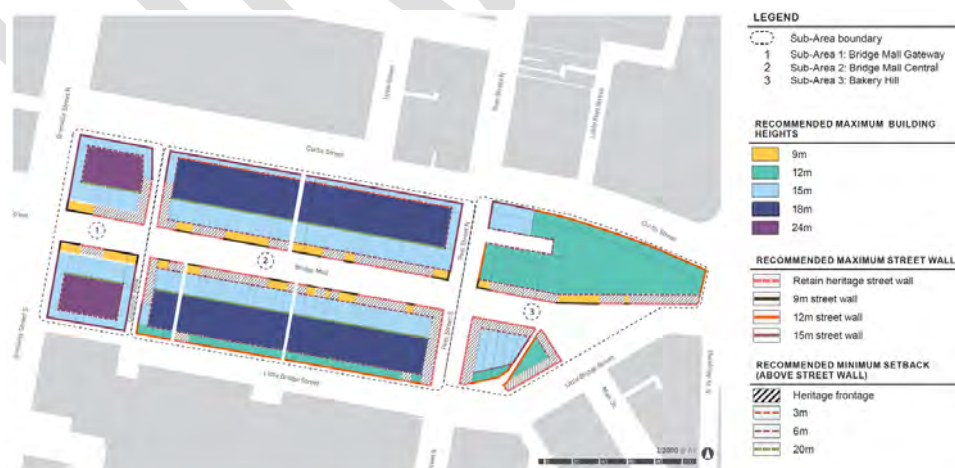
Development must not cast additional shadow on any part of the southern footpath (public realm) of Bridge Mall or Little Bridge Street to a distance of 3.0 metres from the property boundary between 10am and 3pm at 22nd September.

2.9 Sub-Area Design Requirements

The following Sub-Area specific design requirements apply in addition to the general design requirements outlined in Clauses 2.2-2.7. The Sub-Areas are defined as follows (as illustrated on Map 1: Built Form Framework Plan):

- Sub-Area 1: Bridge Mall Gateway
- Sub-Area 2: Bridge Mall Central
- Sub-Area 3: Bakery Hill

Map 1 to Schedule 1 to the Design and Development Overlay: Built Form Framework Plan

**2.9.1 Sub-Area 1: Bridge Mall Gateway**

BALLARAT PLANNING SCHEME

Preferred character statement

New development should deliver:

- An area of contemporary, mid-rise development that creates a landmark ‘gateway’ to Bridge Mall.
- A prominent street edge that reflects the scale of previous (historic) built form within a contemporary design response.
- A vibrant, activated and pedestrian friendly precinct that connects the CBD from Sturt Street, with legible laneway connections to neighbouring car parks north and south of Bridge Mall.

Design requirements

New development should:

- Respond to and address the prominent corner of Bridge Mall, Grenville and Curtis Streets, creating a strong address to each street frontage.
- Provide activation of all street and laneway frontages
- Adopt a consistent street wall height.
- Incorporate strong articulation of vertical and horizontal design elements at the lower levels of buildings.
- Ensure that the height and design of the street wall creates and reinforces a ‘human scale’ to diminish the perceived bulk of the buildings at upper levels.
- Ensure that adverse wind effects on the public realm are minimised through the design of the building and incorporation of fully integrated mitigation measures where necessary.
- Ensure that taller buildings are slender in form to avoid (or minimise) the obstruction of views to the Ballarat skyline from distant viewing locations and to sit comfortably as an element of the Ballarat skyline.

Table 1: Sub-Area 1 – Height and Setback Provisions

	Preferred maximum street-wall height	Preferred minimum setback above street-wall	Mandatory upper-level Setback from street wall (above 15m)	Preferred Maximum Height
Bridge Mall	9m	6m	20m	24m
Grenville Street	15m	6m	-	
Curtis Street	15m	6m	-	
Little Bridge St.	15m	6m	-	
All other interfaces	15m	6m	-	

2.9.2 Sub-Area 2: Bridge Mall Central**Preferred character statement**

New development should provide:

- An attractive, activated, fine-grain streetscape.
- A street-wall edge that reinforces the scale and character of existing heritage buildings.

BALLARAT PLANNING SCHEME

- A prominent street wall to both Curtis Street and Little Bridge Street.

Design requirements

New development should:

- Reinforce the fine grain character of the heritage streetscape and avoid the dominance of wide building frontages through vertical and horizontal design elements.
- Respond to the historic streetscape character within Bridge Mall in terms of the design, scale and rhythm of the street wall façade.
- Ensure that the height and design of the street wall creates and reinforces a ‘human scale’ and provide visual interest at street level to both Curtis Street and Little Bridge Mall.

Table 2: Sub-Area 2 – Height and Setback Provisions

Street frontage	Preferred maximum Street-wall height	Preferred minimum setback above street-wall	Mandatory upper-level Setback from street wall (above 15m)	Preferred Maximum Height
Bridge Mall	9m	6m	20m	18m
Curtis Street	15m	3m	-	
Little Bridge St.	12m	3m	-	
Peel Street	15m	6m	-	

2.9.3 Sub-Area 3: Bakery Hill**Preferred character statement**

New development should provide:

- An improved “gateway” experience to Bakery Hill and the Ballarat CBD
- An attractive, fine-grained mixed use area.
- A low rise character with moderately taller built form on suitable sites, that are sensitive to its heritage and built form context.
- An improved public realm and built form interface to Curtis Street and pedestrian connections to Bridge Mall.

Design requirements

New Development should:

- Respond to the heritage character and topography of Bakery Hill.
- Where practical, maintain visual connections to the Contributory elements of heritage buildings within the area.

Table 3: Sub-Area 3 – Height and Setback Provisions

Street frontage	Preferred maximum Street-wall height	Preferred minimum setback above street-wall	Mandatory upper-level Setback	Preferred Maximum Height
Bridge Mall	9m	6m	-	12m
Curtis Street	9m	3m	-	12m

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Little Bridge St.	9m	3m	-	15m
All other interfaces	9m	3m	-	-

3.0 Subdivision

30/07/2018

None specified.

4.0 Application requirements

30/07/2018

The following application requirements apply to an application for a permit under Clause 43.02, in addition to those specified elsewhere in the scheme and should accompany an application, as appropriate, to the satisfaction of the responsible authority:

- A site analysis and urban design context report which demonstrates:
 - How the proposal achieves the Design Objectives, preferred character statement and Design Requirements of this schedule.
 - How the building contributes to the existing Ballarat Skyline through a considered design response.
- For all applications 15 metres or greater in height, a 3D digital model of the building that shows:
 - How the building responds to and sits within the context of the site.
 - How the building will be experienced from distant viewing locations (and within a broader contextual model of the city).
 - How the built form has been articulated within the envelope to achieve maximum solar access internally and to the public realm, in addition to the shadow analysis.
 - How the design (including building height and setbacks) responds to heritage buildings and key views.
- For applications above 15m, a wind assessment (report) setting out ground level impacts and, where necessary, mitigation measures to ensure a safe and comfortable pedestrian environment along surrounding streets. This report should inform the design response to the site.

5.0 Decision guidelines

30/07/2018

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- Whether the development delivers design excellence, including but not limited to building siting, scale, massing, articulation and materials;
- Whether the design of the streetscape interface makes a positive contribution to an active, pedestrian-oriented street environment and/or public realm;
- Whether upper level development above the heritage street wall is visually recessive and does not dominate or visually overwhelm the heritage buildings;
- For development 15 metres or greater in height, an assessment of visual and off-site impacts demonstrated by the 3D massing model, provided under Clause 4.0.
- The impact of new development upon the consistency and prominence of the heritage street-wall.
- The visual prominence of upper level development within heritage streetscapes.
- Whether the proposal contributes to and improves the pedestrian environment and other areas of the public realm.

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- The impact of development on key views between from Sturt Street towards Mt Warrenheip and from Bakery Hill towards the Ballarat Skyline.
- The wind effects created by the development.

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30/07/2018 **SCHEDULE TO CLAUSE 72.04 DOCUMENTS INCORPORATED IN THIS PLANNING SCHEME**

1.0 Incorporated documents

30/07/2018

Name of document	Introduced by:
Bridge Mall and Bakery Hill Precinct (HO176) Statement of Significance, prepared by GJM Heritage, revised by Landmark Heritage, March 2023.	Amendment C243ball

[INSERT PLANNING SCHEME NAME] PLANNING SCHEME

30/07/2018 **SCHEDULE TO CLAUSE 72.08 BACKGROUND DOCUMENTS**

1.0 Background documents

30/07/2018

Name of background document	Amendment number - clause reference
Bridge Mall Built Form Framework, May 2023	C243
Bridge Mall and Bakery Hill Heritage Citation (HO176), GJM Heritage (revised by Landmark Heritage), March 2023	C243

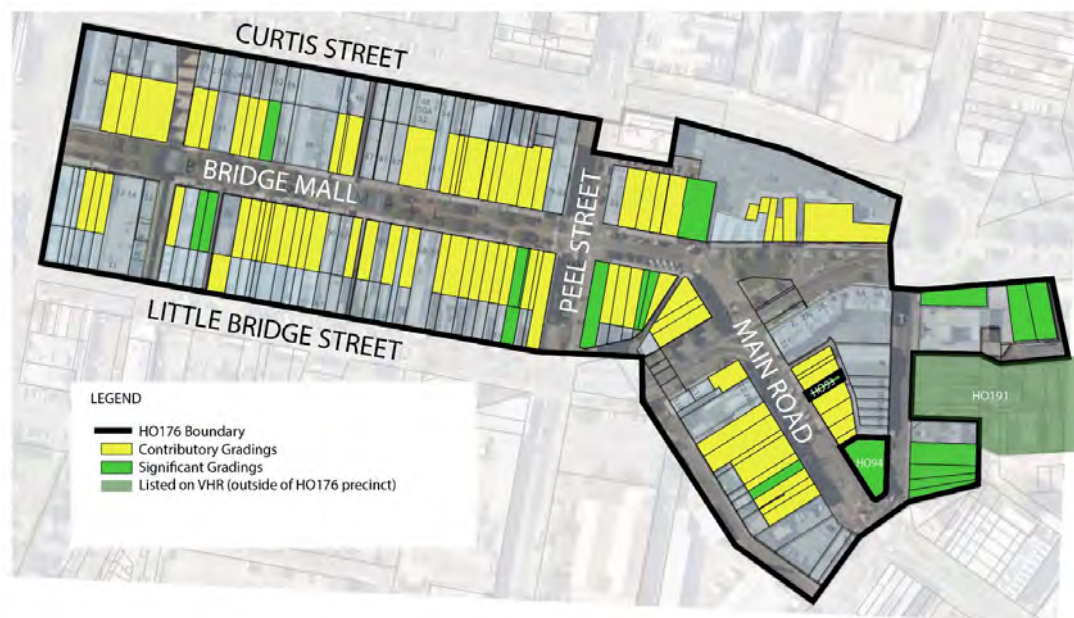
Bridge Mall / Bakery Hill Heritage Precinct:**REVISED Statement of Significance, March 2023**

Heritage place: Bridge Mall / Bakery Hill Heritage Precinct [Bridge Mall, Ballarat Central & Bakery Hill; Coliseum Walk, Ballarat Central; Curtis Street (part), Ballarat Central; Humffray Street South (part), Bakery Hill; Little Bridge Street (part), Ballarat Central & Bakery Hill; Main Road (part), Bakery Hill; Norwich Plaza, Ballarat Central; Peel Street South (part), Ballarat Central & Bakery Hill; Victoria Street (part), Bakery Hill.

PS ref no.: HO176



Looking west towards Bridge Mall from Bakery Hill (GJM Heritage, June 2021).



Boundary and gradings map for precinct HO176.

What is significant?

The Bridge Mall / Bakery Hill Heritage Precinct, Ballarat Central and Bakery Hill.

The precinct is bordered by Curtis Street to the north, Grenville Street to the west, Little Bridge Street and Porter Street to the south and properties on the eastern side of Humffray Street to the east. Properties at 1 and 14 Victoria Street, east of Humffray Street, are included within the precinct.

Elements that contribute to the significance of the place include (but are not limited to):

- Commercial buildings that demonstrate the precinct's development from the 1850s to the 1950s, including Victorian, Federation, Interwar and a small number of early Postwar buildings.
- Civic, institutional and residential buildings dating from the late nineteenth to the mid-twentieth century at the eastern end of the precinct.
- Original and remodelled facades, including those currently concealed by late twentieth-century metal overcladding, and early or original shopfronts and cantilevered awnings.
- Largely intact rear building elevations visible from the public realm, some featuring ghost signage and outbuildings.
- Largely intact roofscapes, including roof form and chimneys, which illustrate the era in which each building was constructed, including those whose front facades were remodelled during the interwar and early postwar periods, or more recently hidden behind metal overcladding.
- Intact bluestone lanes, channels and kerbs, including remnant fixing points on kerbs from past posted verandahs.
- The irregular subdivision pattern and street layout of the eastern part of the precinct, a legacy of gold mining activity and the unplanned nature of the early development.
- The alignment of the Yarrowee River expressed in the north-south link through the precinct.
- The archaeological potential where low-lying land around the Yarrowee River was infilled in the 1860s up to two metres deep, and the Main Road area where ground levels were raised multiple times (up to four metres in all) in the 1850s and '60s in response to a deluge of sludge from nearby gold diggings.

- Its location as the historic entry point to the City of Ballarat when travelling by road from Melbourne and Geelong.
- The connection of Bakery Hill to the 1854 Eureka Rebellion, as the site where miners met and organised prior to the uprising.
- Key views from within and through the precinct, including towards the significant civic landmarks on Sturt Street and Lydiard Street towards the west, and St Paul's Anglican Church and Mount Warrenheip to the east.

The following properties are individually Significant: 24-26, 31, 86, 95-99 & 100 Bridge Mall; 1A (VHR H401), 7 & 9 Humffray Street South; 77 Little Bridge Street; 2/15-19 (HO93), 21 (HO94) & 38 Main Road; 1-6/3 Peel Street South; and 10 & 14 Victoria Street.

Later buildings, street infrastructure, paving and alterations and additions to the properties are not significant.

How is it significant?

The Bridge Mall / Bakery Hill Heritage Precinct is of local historical, representative (architectural), aesthetic, and scientific (archaeological) significance to the City of Ballarat.

Why is it significant?

The Bridge Mall / Bakery Hill Heritage Precinct is of historical significance as the oldest commercial centre in East Ballarat and one of the oldest in the City of Ballarat. Developed from the 1850s as a result of gold discoveries in the area, the irregular subdivision pattern and street layout is a legacy of the unplanned development that took place as a result of the chaotic gold mining activities of the time, as well as being dictated by the crossing point for the Yarrowee River. The buildings and early street fabric within the Bridge Mall / Bakery Hill Heritage Precinct illustrate the key phases in the City of Ballarat's development – from the area's early gold mining activities, to the boom-era of the late nineteenth century, renewed prosperity and modernisation in the interwar era, and the slower development in the early Postwar period – and demonstrate the precinct's continuous and important role as a vibrant commercial centre for the City of Ballarat. The rear elevations and roofscapes illustrate changes over time, including the many Victorian buildings remodelled in the interwar period. The eastern end of the precinct (centred on Humffray Street) demonstrates the area's important civic and institutional role through the former East Ballarat Post Office, St Paul's Anglican Church and Hall and the Australian Natives Association building. When travelling by road from Melbourne and Geelong, the precinct has served as the primary gateway to what is now the City of Ballarat since the mid-1800s. (Criterion A)

Bakery Hill is of historical significance for its association with the 1854 Eureka Rebellion, as the place where thousands of miners rallied during the Rebellion and as the location where Peter Lalor first raised the Eureka flag. (Criterion A)

The Bridge Mall / Bakery Hill Heritage Precinct is of significance for its research potential, due to major ground-raising in this area in the 1850s and '60s. Ground levels along Main Road were raised multiple times, to a combined four metres, in response to the influx of sludge runoff from nearby gold mining works. And there were engineering works carried out in the 1860s to raise the level of the street around the boggy Yarrowee River, by up to two metres. This indicates the possible survival of highly intact archaeological deposits, even buried ground floors of buildings in these two areas. (Criterion C)

The Bridge Mall / Bakery Hill Heritage Precinct is of significance as a substantially intact and visually cohesive representative example of a predominantly Victorian-era commercial centre, with some intact development and remodelled facades from the Federation, Interwar and early Postwar periods. Main Road and the eastern end of the precinct in particular demonstrate a high degree of uniformity in scale and form. Typical characteristics of such precincts – including a predominantly two-storey street wall (interspersed with some

single and three-storey buildings), parapeted rendered or red brick facades with repetitive upper floor fenestration, some original or early ground floor shopfronts with some original cantilevered awnings or reconstructed posted verandahs and bluestone kerbs and channels – are displayed in the original forms, fabric and detailing of many of the buildings. (Criterion D)

The Bridge Mall / Bakery Hill Heritage Precinct is of aesthetic significance as a distinctive and irregularly planned precinct that contrasts markedly to the highly ordered street and subdivision patterns to the west of Grenville Street. The precinct features commercial and civic buildings of high design quality dating from the Victorian and Federation periods, with some refacing of Victorian shopfronts in the 1930s in a Moderne style, and a small number of restrained buildings from the early Postwar period. Key examples from the Victorian era include the Classical Revival Munster Arms Hotel at 10 Victoria Street designed by Henry R Caselli in 1864, the Venetian Gothic former East Ballarat Post Office at 21 Main Street (HO94), the three-storey Classical Revival building at 24-26 Bridge Mall, the Anglo-Dutch gabled shop at 31 Bridge Mall, the High Victorian former North Grand Hotel at 3 Peel Street South, and the former Titheridge & Grocott real estate office at 15-19 Main Road (HO93). While there are few Federation-era buildings in the precinct, they are of high quality, including the W Mew Gun herbalist shop at 38 Main Road, and the Federation bungalow at 9 Humffray Street South. Fine examples of interwar architecture include the Jazz Moderne remodelling and shopfront of the Walter Davis women's clothing store at 86 Bridge Road and the warehouse wing to the rear (77 Little Bridge Street), and the Jazz Moderne former State Savings Bank of Victoria at 95-99 Bridge Mall. Within the precinct there are highly intact shopfronts that feature details such as lead lighting, such as the ornate Gears' shopfront at 100 Bridge Mall. Many of the buildings have highly intact rear elevations, often visible from the public realm. In particular, buildings to the rear of 101-121 Bridge Mall form a picturesque collection of highly intact rear wings some with remnant historic signage. Within this group there are some sites that retain a Victorian rear wing while the front section has been rebuilt in the late twentieth century. (Criterion E)

The precinct forms an important part of the linear views from Sturt Street to Mount Warrenheip, St Paul's Anglican Church and the East Ballarat Fire Station tower. The Bakery Hill end of the precinct offers panoramic views of Central Ballarat and views of the grand landmark civic buildings located in the Sturt Street and Lydiard Street Precincts, including the former Ballarat Post Office, Ballarat Town Hall, St Andrew's Uniting Church, the former Ballarat Fire Station and Ballarat Railway Station. (Criterion E)

The Stone's Department Store at 2-4 Main Road had a long association with the Stone family, and in particular prominent local figure and designer Jessica Simon (née Stone; 1906-1982). Stone's Drapery Store first traded on the site in 1860 and became an enduring local landmark. By the mid-twentieth century Stone's had evolved to become a 'select ladies dress shop' under the directorship of Jessica Simon. Jessica was a well-known local identity recognised as a fashion designer, philanthropist and local style icon, known for her media appearances and charity work in the local community. The store closed in 1966 and Jessica, with her husband Paul, continued to be prominent figures in the local community. In 1979 Jessica was awarded the British Empire Medal honouring her lifetime commitment to philanthropic work. (Criterion H)

Primary sources:

Ballarat Heritage Study Stage 2, by Hansen Partnership P/L, Wendy Jacobs et al., 2003

Review by GJM Heritage 2021

Peer review by Landmark Heritage 2023

Gradings:

Address	Name	Grading	Era	Comments
2 Bridge Mall		Non-contributory	Contemporary	
6 Bridge Mall	Song Chinese Massage	Contributory	Early postwar	6-8 are a pair of two-storey buildings

Address	Name	Grading	Era	Comments
8 Bridge Mall		Contributory	Early postwar	6-8 are a pair of two-storey buildings
10 Bridge Mall		Contributory	Interwar	
12-14 Bridge Mall		Non-contributory	Contemporary	
16 Bridge Mall		Non-contributory	Contemporary	
17 Bridge Mall	Messer and Opie	Contributory	Early postwar	
18 Bridge Mall	OPSM	Contributory	Victorian	
22 Bridge Mall	Fauls Shoes	Non-contributory	Contemporary	
23 Bridge Mall	Cotton on Clothing	Non-contributory	Contemporary	
24 Bridge Mall		Significant	Victorian	24-26 are a pair of three-storey buildings; retains painted ghost sign on west side elevation
25 Bridge Mall	Country Kids	Contributory	Victorian	
26 Bridge Mall	Riot Art & Craft	Significant	Victorian	24-26 are a pair of three-storey buildings; 26 has neo-Victorian shopfront
27 Bridge Mall	Endee's Fashion	Contributory	Victorian	27-29 pair of Victorian two-storey shops
28 Bridge Mall	Specsavers	Non-contributory	Contemporary	
29 Bridge Mall	Denim Culture	Contributory	Victorian	27-29 pair of Victorian two-storey shops
30 Bridge Mall	Lorna Jane	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
31 Bridge Mall		Significant	Victorian	1891 on parapet
32 Bridge Mall	Sportsgirl	Contributory	Interwar	
33 Bridge Mall	Sussan	Non-contributory	c1960s	
34 Bridge Mall	Black Pepper	Contributory	Victorian	
35 Bridge Mall	The Reject Shop	Non-contributory	Contemporary	
38-40 Bridge Mall	UFS Dispensary	Contributory	Interwar	
2/40 Bridge Mall	Treloars Coffee House	Non-contributory	Contemporary	
42 Bridge Mall	Betta Bargains	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
43 Bridge Mall	Capri Cafe	Contributory	Victorian	
45 Bridge Mall	Better Bargains	Contributory	Victorian	
46 Bridge Mall	Greens Hot Line Bakery	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
47 Bridge Mall	Best and Less	Non-contributory	Contemporary	
48 Bridge Mall	Darrell Lea Chocolate	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
50 Bridge Mall	Jacque E	Non-contributory	Contemporary	

Address	Name	Grading	Era	Comments
52 Bridge Mall	Wen & Ware Living	Non-contributory	Contemporary	
53 Bridge Mall	Lash Brow & Co	Contributory	Interwar	53-55 are a single building
54 Bridge Mall	The Lingerie Shop	Contributory	Victorian	Neo-Victorian shopfront
55 Bridge Mall	Collins Booksellers	Contributory	Interwar	53-55 are a single building
56-58 Bridge Mall	Inhabit Homewares	Contributory	Victorian	
57 Bridge Mall		Non-contributory	c1960s	
59 Bridge Mall	A La Mode	Contributory	Victorian	Neo-Victorian shopfront
60 Bridge Mall		Non-contributory	Contemporary	
62 Bridge Mall	LV Nails	Contributory	Interwar	
62A Bridge Mall	Bridge Mall Centre Management Office	Contributory	Interwar	62A appears to be the rear of No. 62
63 Bridge Mall	Ghanda Clothing	Contributory	Interwar	63-65 are a single building
64 Bridge Mall	Just About Frames & Prints	Non-contributory	Contemporary	
65 Bridge Mall	Aussie Disposals	Contributory	Interwar	63-65 are a single building
66 Bridge Mall		Contributory	Victorian	
67-69 Bridge Mall		Contributory	Victorian	67-73 are a single building; only 73 intact
68-70 Bridge Mall	Nextra Bridge Mall Newsagency	Non-contributory	very altered Victorian?	
71 Bridge Mall	Metro Hair Design	Contributory	Victorian	67-73 are a single building; only 73 intact
72 Bridge Mall		Contributory	Victorian	
73 Bridge Mall	Tunbridges	Contributory	Victorian	67-73 are a single building; only 73 intact
74 Bridge Mall	Linen & Living	Contributory	Victorian	
75 Bridge Mall		Contributory	Victorian	75-77 are a single building
76 Bridge Mall	Optus World	Contributory	Victorian	
77 Bridge Mall	Off Ya Tree	Contributory	Victorian	75-77 are a single building
78 Bridge Mall	Savoy Coffee Lounge	Contributory	Victorian	
79-81 Bridge Mall	ANZ Bank (former)	Non-contributory	late 20th century	
80 Bridge Mall		Contributory	Victorian	
82 Bridge Mall	Vodafone	Contributory	Victorian	
83 Bridge Mall	Axis Employment	Non-contributory	Contemporary	

Address	Name	Grading	Era	Comments
84 Bridge Mall	ETek Phone Repairs	Contributory	Early postwar	
85 Bridge Mall	Boba Central	Contributory	Interwar	Retains interwar or early postwar shopfront
85A Bridge Mall	River Bamboo Massage	Contributory	Interwar	85-85A are a pair; retains interwar or early postwar shopfront
86 Bridge Mall	Salvos Store	Significant	Interwar	Fine Jazz Moderne building with elaborate original shopfront (Walter Davis women's clothing)
87 Bridge Mall	Just Pawn It	Contributory	Victorian	87-89 are a pair; retains early postwar shopfront; retains painted ghost sign on rear elevation
88 Bridge Mall	The Athlete's Foot	Contributory	Interwar	
89 Bridge Mall	Coins and Stamps Bought & Sold	Contributory	Victorian	87-89 are a pair; retains early postwar shopfront; retains painted ghost sign on rear elevation
90 Bridge Mall	Telstra Shop	Contributory	Interwar	Retains part of fine quality Victorian building to rear, visible along Peel Street
91 Bridge Mall	T and C Nails	Contributory	Interwar	91 & 93 are a pair
93 Bridge Mall	93's Giftware & Tobacconist Accessories	Contributory	Interwar	91 & 93 are a pair
94-96 Bridge Mall	Skin Ski and Surf	Contributory	Victorian	
95 Bridge Mall		Significant	Interwar	95-99 a single building; original shopfront & awning
97 Bridge Mall		Significant	Interwar	95-99 a single building
98 Bridge Mall		Contributory	Victorian	
99 Bridge Mall	Tatts for the Memory	Significant	Interwar	95-99 a single building; original shopfront & awning
100 Bridge Mall		Significant	Victorian & Interwar	Grand Victorian shop (Gears ghost sign at top of parapet) with elaborate and intact c1910 shopfront
101 Bridge Mall	Capricho Grilled Chicken	Non-contributory	Contemporary	neo-Victorian

Address	Name	Grading	Era	Comments
103-107 Bridge Mall	Crazy Asian	Contributory (rear only)	Victorian	Two single-storey buildings: both have Non-contributory neo-Victorian front section and Contributory Victorian rear section
104 Bridge Mall	The 180 Shop	Contributory	Victorian	aka 102
109 Bridge Mall	Tokyo Grill House	Contributory	Victorian	Two 2-storey buildings in a terrace of three (with 113); neo-Victorian shopfronts
113 Bridge Mall	The Ballarat Curry House	Contributory	Victorian	2-storey building in terrace with 103-107; neo-Victorian shopfronts. Two-storey rear wing (113A?) with hipped roof and corbelled eaves pre-dates the terrace at the front of the site
119-121 Bridge Mall	McDonalds Family Restaurant	Contributory	Victorian	From west to east: single-storey doublefronted rendered building; Victorian (?) single-storey timber building; terrace of 5 two-storey brick buildings (originally tuckpointed, now sandblasted); all have neo-Victorian shopfronts and verandahs
1 Coliseum Walk	Mocha Shop and Cafe	Non-contributory	Contemporary	
4 Coliseum Walk		Non-contributory	Contemporary	
5 Coliseum Walk	Your Mantra	Non-contributory	Contemporary	
6 Coliseum Walk	The Charcoal Pit	Non-contributory	Contemporary	
22-24 Curtis Street	Melissa E Bridal	Non-contributory	Contemporary	
28 Curtis Street		Non-contributory	Contemporary	
30 Curtis Street	Ballarat Baber Shop	Non-contributory	Contemporary	
32 Curtis Street	Complete Bowls Specialist	Non-contributory	Contemporary	
34 Curtis Street	Book Bazaar	Non-contributory	Contemporary	
46 Curtis Street	Bedding Wholesalers	Non-contributory	Contemporary	
48 Curtis Street		Non-contributory	Contemporary	

Address	Name	Grading	Era	Comments
Lv 1/50A Curtis Street	Ballarat Martial Arts Centre	Non-contributory	Contemporary	
52 Curtis Street	Cigarette	Non-contributory	Contemporary	
54 Curtis Street	CKs Bridal Recycle	Non-contributory	Contemporary	
1 Humffray Street South	Bakery Hill Motel	Non-contributory	Contemporary	
1A Humffray Street South	St Paul's Anglican Church	Significant - HO191/H401	Victorian	
5 Humffray Street South	Manse	Non-contributory	Post-war	
7 Humffray Street South	ANA Hall, former 7th Day Adventist Church	Significant	Victorian & interwar	Victorian gabled former church, behind 1920s ANA façade
8 Humffray Street South	Maceys Carpet Choice	Non-contributory	Contemporary	
9 Humffray Street South	Villa	Significant	Federation	Retains original concrete front fence posts
10 Humffray Street South	Maceys Carpet Choice	Non-contributory	Contemporary	
5 Little Bridge Street	Burkes Florist	Non-contributory	Contemporary	
7 Little Bridge Street		Non-contributory	Contemporary	
11 Little Bridge Street		Non-contributory	Contemporary	
Lv 1/11 Little Bridge Street		Non-contributory	Contemporary	
23 Little Bridge Street	Jonahs Seafoods	Non-contributory	Contemporary	
25 Little Bridge Street	Chokolat Solarium	Non-contributory	Contemporary	
27 Little Bridge Street	Dyers Steak Stable	Contributory	Victorian	former stables or coach house
33 Little Bridge Street	City Finance	Non-contributory	Contemporary	
41 Little Bridge Street	Song Chinese Massage	Non-contributory	Contemporary	
45 Little Bridge Street	Kool Kuts 4 Kids	Non-contributory	Contemporary	
47 Little Bridge Street		Non-contributory	Contemporary	
59 Little Bridge Street	Noodle Canteen	Non-contributory	Contemporary	
61 Little Bridge Street	Cutz Above the Rest Hair & Beauty	Non-contributory	Contemporary	

Address	Name	Grading	Era	Comments
77 Little Bridge Street		Significant	Interwar	Rear part of Walter Davis store (86 Bridge Mall), featuring leadlight windows
89 Little Bridge Street		Non-contributory	Contemporary	
110 Little Bridge Street		Non-contributory	Contemporary	
112 Little Bridge Street	Body Works Beauty Therapy	Non-contributory	Contemporary	
2 Main Road	Sportsbiz	Contributory		Former Stones store; retains early post-war shopfront, cantilevered awning, and terrazzo entry floors
4 Main Road	Sportsbiz	Contributory		Former Stones store; retains early post-war shopfront, cantilevered awning, and terrazzo entry floors
11 Main Road	QBE Insurance	Non-contributory	1988	neo-Victorian
13 Main Road	The Main Emporium	Contributory	Victorian	Retains original Victorian timber shopfront
15-19 Main Road	Michaela Settle MP	Contributory	Victorian & c1940	Bluestone north wall; stained glass to front façade plus c1940 remodelling
1/15-19 Main Road	PACT Community Support	Contributory	Victorian	
2/15-19 Main Road	single-storey building	Significant, HO93	Victorian	Former Titheridge and Growcott real estate office; "1898" on parapet
2A/15-19 Main Road	Upstairs Commercial Section	Contributory	Victorian & c1940	
20 Main Road	Vintage Corner	Contributory	Victorian	
21 Main Road	Online Personnel	Significant, HO94	Victorian	former East Ballarat Post Office
22-26 Main Road		Non-contributory	Contemporary	neo-Victorian timber two-storey buildings
28 Main Road	The Known World Bookshop	Contributory	Victorian	Retains original Victorian timber shopfront
30 Main Road		Contributory	Victorian	1892 on parapet
32A Main Road	BeFinancial	Contributory	Victorian	

Address	Name	Grading	Era	Comments
34-36 Main Road	Antiques	Contributory	Victorian	
36A Main Road	Nicola Cerini	Contributory	Victorian	
38 Main Road	King Kongs Tattoo Shop	Significant	Federation	Retains original shopfront; "W. Mew Gun" on parapet (a herbalist)
40 Main Road		Contributory	Early postwar	Intact shop with cream brick and glazed tiles, intact shopfront
42-44 Main Road	Mr Jones	Contributory	Victorian	
46 Main Road		Non-contributory		carpark
48 Main Road		Non-contributory		carpark
50 Main Road		Non-contributory	Contemporary	
Norwich Plaza (part)		Contributory	Victorian & c1940s	Row of 6 Vic shops given new façade c1940, now beneath metal cladding at south-eastern corner of Norwich Plaza
Norwich Plaza (part)		Non-contributory	1980s	See precinct map for details
1/3 Peel Street South	Skin Ski and Surf	Significant	Victorian	Part of three-storey former North Grant Hotel
2/3 Peel Street South	Rokk 66	Significant	Victorian	Part of three-storey former North Grant Hotel
3/3 Peel Street South		Significant	Victorian	Part of three-storey former North Grant Hotel
4/3 Peel Street South	Uniting Way - Church	Significant	Victorian	Part of three-storey former North Grant Hotel
5/3 Peel Street South	Dickson Hearn Pty Ltd (Surveyors)	Significant	Victorian	Part of three-storey former North Grant Hotel
6/3 Peel Street South		Significant	Victorian	Part of three-storey former North Grant Hotel
2 Victoria Street		Non-contributory	1988	neo-Victorian
4 Victoria Street		Non-contributory	1988	neo-Victorian
2A Victoria Street	Bakery Hill Apartments	Non-contributory	1988	neo-Victorian
2B Victoria Street	Bakery Hill Apartments	Non-contributory	1988	neo-Victorian
6 Victoria Street		Non-contributory	1988	neo-Victorian
6A Victoria Street		Non-contributory	1988	neo-Victorian
6B Victoria Street		Non-contributory	1988	neo-Victorian
8 Victoria Street	Hog's Breath Cafe	Non-contributory	1988	neo-Victorian

Address	Name	Grading	Era	Comments
10 Victoria Street	Munster Arms Hotel	Significant	Victorian	1862 date on parapet
14 Victoria Street	St Paul's Church Hall	Significant	Federation	1903 date on foundation stone

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REVISED HERITAGE CITATION:

Bridge Mall/Bakery Hill Heritage Precinct, Ballarat Central & Bakery Hill (HO176)



Figure 1. View looking west towards Bridge Mall from Bakery Hill (GJM Heritage, June 2021).

DATE: December 2021, revised by Landmark Heritage PL March 2023

Bridge Mall / Bakery Hill Heritage Precinct, Ballarat Central & Bakery Hill (HO176)

Place type: Commercial Precinct	Architect: Various
Construction Date: Victorian, Federation, Interwar, early Postwar	Builder: Various
Recommendation: Retain in the Heritage Overlay with amendments	Extent of Overlay: See Figure 2

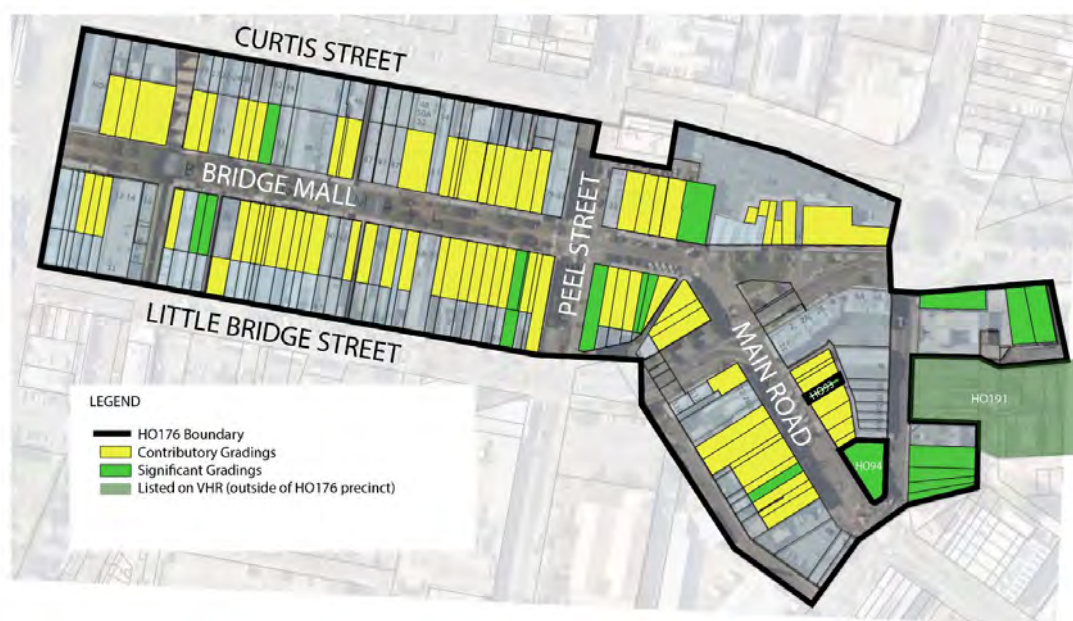


Figure 2. Boundary and gradings map for precinct HO176.

Locality History

The following is informed by the City of Ballarat and Victorian Places websites.

At least 40,000 years ago the Wadawurung and Dja Dja Wurrung Indigenous people called this country home. Their words 'balla arat' mean 'resting place' or 'bent elbow'.

The first European to move to the area was Archibald Yuille, who called his property 'Ballaarat' in 1837. Gold was discovered at Clunes and Buninyong in 1851 and within three years Ballarat had an estimated population of 25,000 as a result of the gold rushes, fast establishing itself as an important commercial centre.

The Eureka Rebellion, one of Australia's defining historic and democratic moments, took place in Ballarat. At daybreak on 3 December 1854 120 gold miners, who sought various reforms, clashed with government forces. The Eureka Stockade rising accelerated the enactment of reforms, which followed in 1855.

Ballarat was connected to Geelong by rail in 1862. The influx of people and revenue from gold mining activities enabled local institutions and grand civic buildings to be established in the decades following the discovery of gold, including the Ballarat Railway Station complex (1862-88), the School of Mines (1870), the Royal South

Street Memorial Theatre (1874 and 1898), the Mining Exchange (1887) and the Ballarat Art Gallery (1887), to name a few.

Ballarat continued to maintain its position as Australia's most populous inland city until the time of the Second World War when the city began to experience a decline in population. In the postwar years Ballarat became home to a number of immigrant communities, and in recent years the city's population has continued to increase. A recognition of Ballarat's rich cultural heritage has driven the local tourism sector; the city's built heritage, Sovereign Hill and the Eureka Centre attract tourists specifically seeking cultural heritage experiences.

Precinct History

The following history is informed by the Ballarat Heritage Precincts Statements of Significance 2006 (revised August 2014) Incorporated Document, and the 2003 Ballarat Heritage Study Stage 2, by Hansen Partnership P/L, Wendy Jacobs et al and supplemented by original research.

The precinct comprises one of the oldest commercial areas in Ballarat. Bridge Mall (originally part of Main Road, later called Bridge Street; see Figure 4) was originally the main thoroughfare between the official township in Ballarat West, and the diggings in Ballarat Flat to the east. It was the intersection of Victoria Street (previously known as Melbourne Road), the main route from Melbourne, and Main Road, the main route from Geelong.

The western end of the precinct was originally located in the river flats of the Yarrowee River (now channelled underground), while the eastern end ascends to Bakery Hill. From the 1850s, this area was the commercial and civic centre for Ballarat East. As opposed to the ordered axial plan of Ballarat West, Ballarat East was dominated by early haphazard development amongst the gold mining activity. Bakery Hill was the site of an important deep lead, Bakery Hill Lead, which although rich, was difficult to work due to high water levels.

Bakery Hill has an important place in Australian history as the rallying point for mass meetings of Ballarat gold miners in November 1854, during the Eureka Rebellion, which led to the Eureka 'uprising' in December 1854. Defiant miners gathered at Bakery Hill in their thousands, in full view of the government camp, to air their grievances over mining licenses and corrupt officialdom, seeking reforms. They rallied on Bakery Hill as Peter Lalor symbolically raised the Eureka Flag, with its design modelled on the stars of the Southern Cross. Plaques and flagpoles commemorate the Rebellion in nearby locations, outside of the precinct.

Ballarat West was surveyed in 1851, while the precinct area was officially surveyed in late 1857. Main Road (within the precinct; now Bridge Mall) existed prior to the official surveys, and originally extended to Grenville Street. The earliest buildings in the precinct are suggested to date to the early 1850s. The first official sale of properties fronting Main Road took place in February 1857.

Shopkeepers on Main Road were almost immediately beset with trouble from nearby diggings in Ballarat East, and the sludge run-off created when alluvial soil was dug up and washed to find gold. According to Lawrence and Davies (2019:19) the worst years were in the late 1850s, with so much sludge running onto the flats of the Yarrowee River valley that the road was raised several times and early timber shops were built on high stumps. The ground level was raised up to four metres in some locations. It was not until 1859 that the Ballarat Sludge Commission was charged with building channels to contain and direct the mining waste, but it was only when the sludge was redirected into the Yarrowee River that mining runoff ceased to impact Main Road.

Apart from the issues with sludge, the section of Main Road near Grenville Street was notoriously swampy, near Yarrowee River. A basic bridge was erected in the early 1860s to provide passage over this area, after which the name Bridge Street was applied. The width of the bridge reportedly determined the narrow width of Bridge Street, with traders building their premises in alignment. Throughout the 1850s and 1860s, flash

floods regularly affected retailers in the low-lying portions of Bridge Street. In the 1860s engineering works were carried out to raise the level of the street, up to six feet (two metres) in some places.

Due to these two separate phenomena, it is possible that road raising along Main Road and Bridge Street has created well-preserved archaeological sites, comparable to the “buried block” phenomenon in Melbourne’s CBD where early fill events in low-lying areas preserved the ground floors of early buildings along with rich artefact scatters (Alliance Archaeology, 2019). The precinct continued to develop as a retail centre, alongside mining and its associated activities, which remained active in the area in the 1860s.

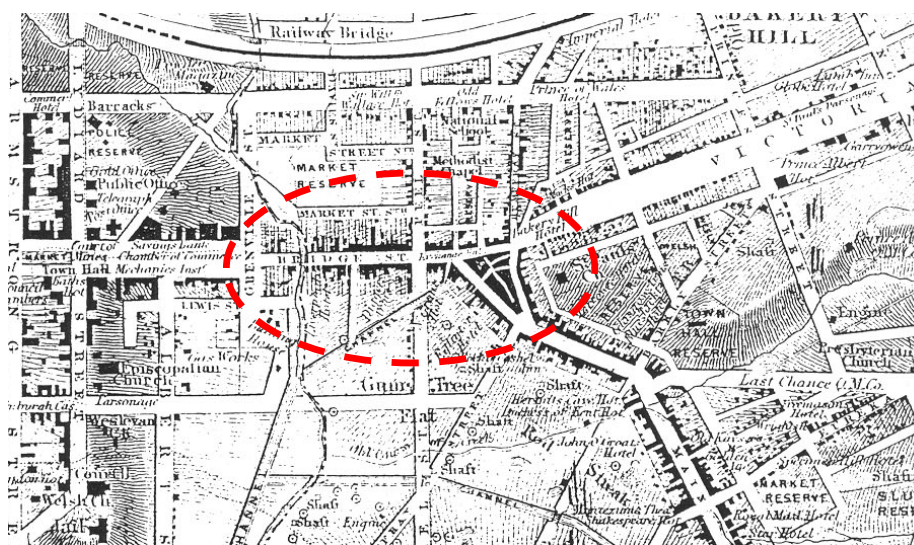


Figure 3. (above) Detail of an 1861 map of Ballarat. Building footprints illustrate the development along Bridge Street and Main Road by this date. The precinct area is indicated by the red circle (Source: J Brache, Map of Ballarat, 21 October 1861).

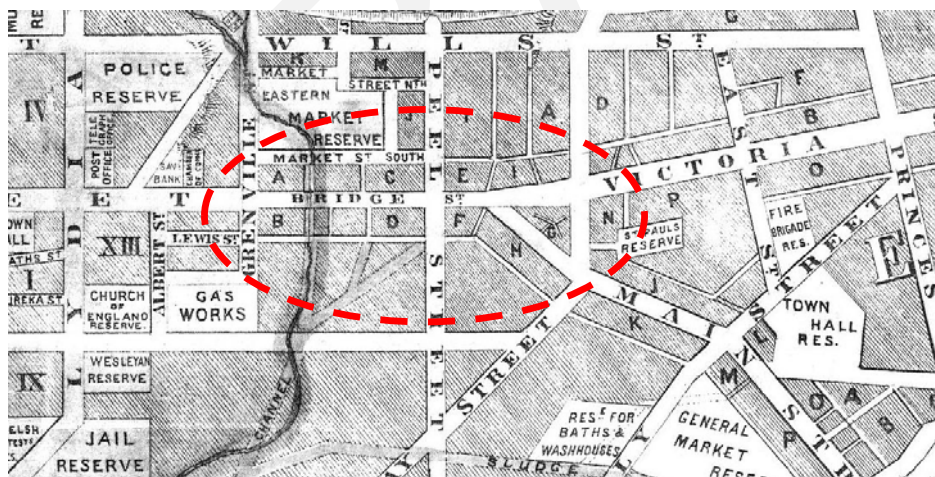
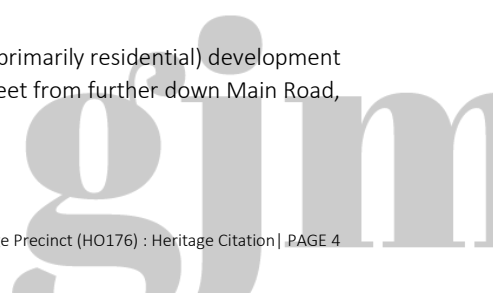


Figure 4. Detail of a c1860s plan of Ballarat. The precinct area is indicated by the red circle. Sludge channels are visible at the bottom. (Source: H Deutsch, Plan of Ballarat Municipalities, c1860s).

The improved access provided by the bridge over Yarrowee River, and the (primarily residential) development of Victoria Street to the east, encouraged retailers to relocate to Bridge Street from further down Main Road,



consolidating it as the main commercial hub for the area. As development continued, brick buildings replaced many of the earlier wooden buildings along Bridge Street.

The key development of the precinct occurred during the Victorian period. Along Bridge Street (now Bridge Mall), narrow deep allotments extended to either Market Street South (now Curtis Street) to the north or the laneway to the south (now Little Bridge Street); today many of these lots provide two frontages or rear views, while some have been subdivided. Between some buildings walkways link to the parallel streets. The oldest buildings in the precinct are thought to remain at the eastern (Bakery Hill) end of the precinct, near the junction of Bridge Street, Main Road and Victoria Street.

On top of Bakery Hill, St Paul's Anglican Church (1861, 1864) dates from the early establishment of the area (HO191/VHR H0401; outside of the precinct). Its associated buildings are located within the precinct, including the rectory at 5 Humffray Street South (1963) and the Parish Hall at 14 Victoria Street (1903).



Figure 5. Bridge Street looking east towards Bakery Hill, c1866 (SLV, ID 1769783).

Key examples of Victorian-period development include the Munster Arms Hotel at 10 Victoria Street (established 1862, rebuilt in 1864 to a design by architect Henry R Caselli; *Ballarat Star*, 17 Oct. 1864); the former North Grant Hotel at 3 Peel Street (formerly 92 Bridge Mall; 1893); the pair of 3-storey buildings at 24-26 Bridge Mall (1890); the former Ballarat East Post Office, 21 Main Road (HO94); the former Titheridge and Growcott real estate office, 15-19 Main Road (HO93); and the former stables at 27 Little Bridge Street.

Access to Bridge Street was improved following the establishment of the horse drawn tram service in 1887, and the electrification of the tram network in 1904. The initial network focussed on West Ballarat, but following electrification, a route was introduced along Bridge Street to Victoria Street. Public transport also enabled shopkeepers to relocate their families further out of the central Ballarat area.

Only a small number of buildings within the precinct date to the Federation period. Apart from the timber 1903 St Pauls' Church Hall, these include the two-storey shop at 38 Main Road and the Federation bungalow at 9 Humffray Street South.



Figure 6. Looking west down Bridge Street from Bakery Hill. On the right are the buildings currently occupied by McDonald's restaurant. Note bluestone kerbs with verandah posts fixed to them and wide bluestone channels along the street [photo undated, prior to Bridge Street tramline installed post-1904] (Source: Victorian Collections, ID 3323).



Figure 7. Looking west down Bridge Street, c1920s/30s (SLV, Rose Series P3165, ID 1768215).



Figure 8. Looking east up Bridge Street from Sturt Street, c1920s/30s (SLV, Rose Series P1711, ID 1763805).



Figure 9. Looking east up Bridge Street from Sturt Street, c1950s (SLV, Rose Series P10709, Image H32492/7418).

A second flush of wealth is apparent in Ballarat after World War I, making the interwar period the second most dominant in the precinct's architectural expression. Along Bridge Street this was mostly high-quality remodelling of Victorian buildings, giving them stylish new Moderne facades. Examples include the row at 86-90 Bridge Mall, which retains an outstanding Moderne shopfront at No. 86 as well as an intact rear warehouse

wing featuring leadlight windows. A more unusual example is the former Seventh Day Adventist Church, a Victorian gabled timber building at 7 Humffray Street South, given a new brick front wing when converted to an Australian Natives Association Hall. Most entirely new development of this period was seen at the east end of Bridge Street, including the standout Moderne State Savings Bank of Victoria at 95-99 Bridge Mall (1940). This string of remodellings continued into the early postwar period at a slower pace, for example the Moderne façades at 84 Bridge Mall, and at 6-8 Bridge Mall.

Later twentieth-century change tended to be of a lower quality. Shopfront verandahs were removed; though bluestone kerbs surviving in the eastern part of the precinct often show the former position of verandah structures. Many early shopfronts were replaced, and the upper levels of some front facades were covered with metal sheeting (30, 42, 46 & 48 Bridge Mall).

The main façade of the Stones Department Store at 2-4 Main Road was over-clad with stylish metal panels in the early 1960s. Stones is an enduring local landmark, first trading as a Stone's Drapery Store in 1860, it evolved to become a 'select ladies dress shop' under the directorship of Jessica Simon (née Stone; 1906-1982). Jessica Stone has been described as 'fashion director, clothing designer, philanthropist and local style icon in her own right', taking on media appearances and charity work in the local community; a 1956 newspaper story in *The Argus* reported that she had raised by that time £75,000 for local charities. The 1950s saw the creation of the inhouse 'Jessica' label, created and manufactured in the workroom above the shop. The store closed in 1966 and Jessica, with her husband Paul, continued to be prominent figures in the local community. In 1979 Jessica Stone was awarded the British Empire Medal honouring her lifetime commitment to philanthropic work. When 'Jessica of Stone's' died in 1982 her large collection of costumes, photographs, documents and ephemera were donated to the Ballarat Gold Museum.

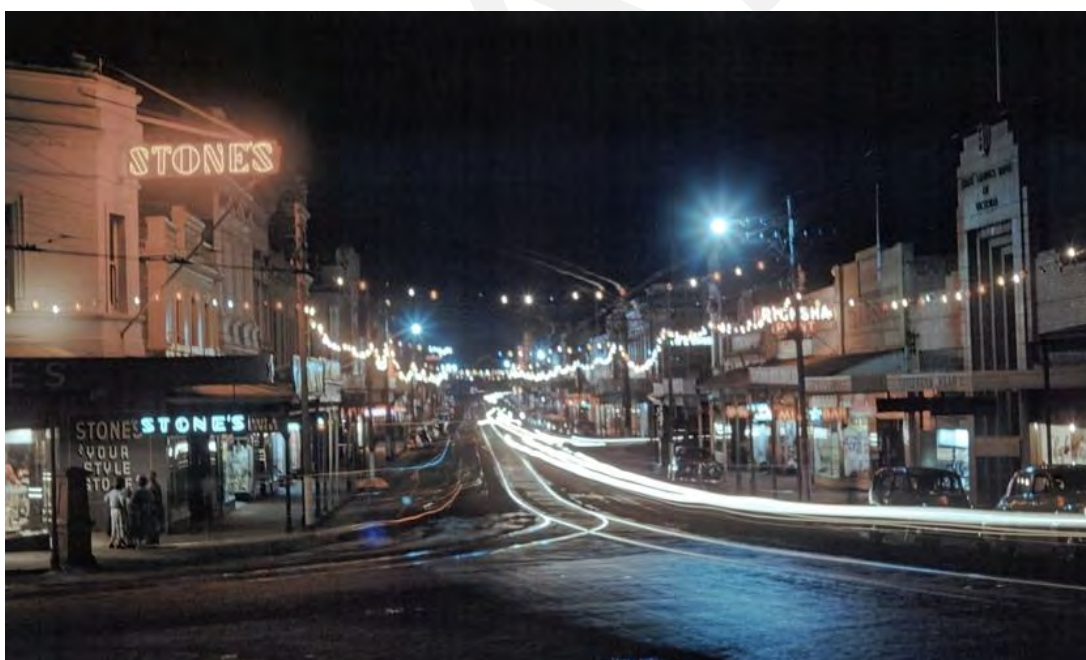


Figure 10. Looking west down Bridge Street from the intersection of Main Road, c. late 1950s. Left is Stone's Store, prior to the over-cladding of the façade (Source: Victorian Collections, ID Bon8).

In the 1970s the community took action to save key buildings in Bakery Hill. The McDonalds food chain proposed to demolish buildings at the top of Bakery Hill for a new restaurant in 1977. Community action

resulted in the chain converting existing historic buildings, which continue to be occupied by the chain today. At the same time, lobby groups sought to replace modern shopfronts with historical replicas, such as at 113 Bridge Mall.

Patronage of the Bridge Street retail strip reduced with the opening of the Wendouree Village shopping centre in 1978. In response, Bridge Street was closed to vehicular traffic and the pedestrian shopping mall was opened in 1981. East bound traffic was diverted to Curtis Street and west bound traffic to Little Bridge Street (which appear to have both been extended east of Peel Street to meet Victoria Street). Interestingly, the majority of the bitumen road surface of Bridge Mall was left in situ, other than the holes dug for trees, as were the tram tracks which ran through the area. New base and paving were laid over the top, and while bluestone kerbing was largely removed in the western part of the street, it was retained in the eastern portion.

More recent development within the precinct includes Norwich Plaza at the prominent site at the west end of Bridge Street, where a new façade was added to a previously altered Victorian building on the corner. This three-storey Victorian building (Figure 11) was refaced c1960s for Morsheads Department Store (Figure 12). A row of six two-storey Victorian buildings just to its east had been remodelled with a new façade in the late interwar or early postwar period (prior to 1954), seen at the left in Figure 12. It was a larger version of the building across the road, at 6-8 Bridge Mall, with a band of windows divided by brick piers, set within an expanse of smooth white render. These commercial buildings on the prominent corner site were refaced with metal cladding c1980s to form Norwich Plaza.



Figure 11. Looking east up Bridge Street, from Sturt Street, 1938. Left is the Victorian building occupied by Bean Son & Co., altered c1960s (as Morsheads Department Store) and c1980s to form Norwich Plaza (Source: Ballarat Revealed).



Figure 12. Morsheads Department Store, 1962, showing the new façade, and the row of two-storey shops with their late interwar or early postwar façade at right, prior to c1980s alterations to form Norwich Plaza (Source: Victorian Collections, ID CB_Photo_615a).

Description

The following includes information sourced from the Incorporated Document *Ballarat Heritage Precincts Statements of Significance 2006 (revised August 2014)*.

The Bridge Mall / Bakery Hill Heritage Precinct developed from the 1850s in conjunction with the local gold mining activity, serving as the commercial centre for Ballarat East and as the primary gateway to Ballarat West (now Ballarat Central) when travelling by road from Melbourne or Geelong.

Early gold mining activities in the Yarrowee River valley resulted in a haphazard subdivision and street layout in the eastern part of the precinct around Main Road. The narrow width of Bridge Mall can be attributed to the bridge that first crossed the Yarrowee River near Grenville Street. The precinct is bound by Curtis Street to the north, Grenville Street to the west, Little Bridge Street and Porter Street to the south and to the east includes properties on the east side of Humffray Street and south side of Victoria Street. The Bridge Mall and Main Street shopping strips provide the commercial spine, and present as a predominantly Victorian-era streetscape made up of commercial buildings of mostly two storeys, interspersed with some one- and three-storey buildings.

A small number of civic and institutional buildings are found at the eastern end of the precinct centred on Humffray Street, including the former East Ballarat Post Office (HO94), St Paul's Anglican Church (VHR H401) and Hall, and the Australian Natives Association (ANA) building. The former Post Office is a fine two-storey brick Venetian Gothic, on a prominent corner site. While St Paul's Anglican Church is not formally a part of the precinct, it is surrounded by the precinct to the north, south and west, and forms a landmark within it. It is a red brick Victorian Transitional Decorated and Perpendicular Gothic Revival church constructed in 1864 to a design by Victorian architect Leonard Terry. To its north, at 14 Victoria Street, is the Church Hall. It may have been built in two stages, with a timber body to the rear and a wide brick parapeted front featuring the date 1903 on its foundation stone. While relatively simple in design, with bay divided by engaged piers which surmount the parapet, the façade is distinguished by terracotta embellishment to the gable apex (a diaper pattern) and the tops of the piers (an Art Nouveau floral relief). A brick fence was constructed around the side

and rear at the same time, with curved brick coping. The ANA building was also built in two stages, with a steeply gabled timber body (originally a Seventh Day Adventist church). In the 1920s, the ANA added a new front room and façade of red brick in the Neo Grec style.



Figure 13. Looking north along Main Road. Right is the former East Ballarat Post Office [HO94] at 21 Main Road (GJM Heritage, June 2021).



Figure 14. (left) St Paul's Anglican Church Hall, 14 Victoria Street (Landmark Heritage, October 2022).



Figure 15. (right) ANA Hall, 7 Humffray Street South. (Landmark Heritage, October 2022).

The precinct demonstrates a number of architectural styles, owing to its development across a number of decades from the 1850s until the 1950s. This includes examples from the Victorian, Federation and Interwar periods with a small number from the early Postwar era.

During the Interwar period a number of shop facades were remodelled, with particularly fine examples seen at 86-90 Bridge Mall. This continued in the decades immediately following the Second World War. At first, the comprehensive remodelling of facades continued, as seen at 84 Bridge Mall where a Victorian building was given a Moderne façade c1946-49.

Later examples, however, sought to update earlier buildings by less expensive and less permanent methods, covering parapets and first floor facades with metal cladding that remains in place today. Most such overcladding efforts were of low architectural quality, such as Norwich Plaza and small shops at 30, 42, 46 & 48 Bridge Mall, though they are likely to conceal unaltered earlier facades beneath. A notable exception is the former Stone's Store at 2-4 Main Road, which is an example of metal overcladding that is of high design quality. In this case, the upper level of a Victorian building (visible in Figure 10) was overclad in the early 1960s with

profiled square metal panels and raised lettering signage across the east elevation. Earlier terrazzo flooring at the entrances and early postwar shop windows with stylish canted stallboards were retained.

Buildings within the precinct present as a visually cohesive streetscape of consistent scale, particularly in the Main Road and Bridge Mall shopping strips. Many of the rear elevations are visible from the public realm and remain intact, demonstrating key periods of development. A striking example of this can be seen at 90 Bridge Mall. Originally a two-storey Victorian building, its front façade was given a high-quality Jazz Moderne remodelling in the 1930s, while its single-storey side elevation to Peel Street retains a high level of Victorian detail, including rusticated walls and pilasters, incised enrichments, and a balustraded parapet. Other remnants of past uses are apparent in the survival of painted signage on rear and side elevations, naming past occupants. Such “ghost signs” are visible on the west side of the Victorian building at 24 Bridge Mall (word not legible), and on the rear of Victorian shops at 87 & 89 Bridge Mall (respectively, ‘Work Wear Specialists’ and ‘C.W. Pennant’). In other cases, raised lettering at the top of parapets indicates the former business, for example, ‘Gear’s’ chemist’s at 100 Bridge Mall.



Figure 16. (left) Intersection of Bridge Mall, Grenville Street and Sturt Street. Norwich Plaza to the centre left of image (GJM Heritage, June 2021).

Figure 17. (right) Former Stone’s Store, 2-4 Main Road (GJM Heritage, November 2021).



Figure 18. (left) Nos. 44-22 Main Road (left to right) (GJM Heritage, November 2021).

Figure 19. (right) Rear of Nos. 101-121 Bridge Mall. (GJM Heritage, November 2021).



Figure 20. (left) No. 90 Bridge Mall, showing Peel Street elevation (Landmark Heritage, October 2022).

Figure 21. (right) 86-90 Bridge Mall (Landmark Heritage, October 2022).

The public realm has also seen a number of changes over time; the Yarrowee River provides a north–south pedestrian connection through Bridge Mall where the river is channelled belowground. The conversion of Bridge Street to a pedestrian mall in 1981 necessitated the realignment of Little Bridge Street between Peel Street and Humffray Street to provide a through carriageway for westbound traffic, Curtis Street provides a similar function for eastbound traffic to the north of Bridge Mall.

Despite these changes, some nineteenth-century elements remain in the public realm. These include the north-south bluestone pitched Drury Lane (at 45-47 Bridge Mall) and another bluestone laneway next to 113-113A Bridge Mall. There is also extensive survival of bluestone kerbs and broad channels (up to six pitches wide) along Main Road, and bluestone kerbs along Bridge Mall between Peel Street South and Main Road. On both of these streets, the kerb blocks retain the impressions and sometimes fixings from the cast-iron verandah posts once affixed to them. In some cases circular indents were carved to allow drainage (from posts that doubled as downpipes), and in others there is a particularly large kerb block for fixing posts.



Figure 22. (left) Bluestone kerb and wide channel, Main Road (City of Ballarat, January 2023).



Figure 23. (right) Large kerb block with remnant marks where a verandah post was fixed (City of Ballarat, January 2023).

The topography of the precinct provides views to significant landmarks from within and through the precinct as the lower elevation of Bridge Mall allows for uninterrupted views of the grand civic and commercial buildings on Sturt and Lydiard streets to the west and conversely Mount Warrenheip can be seen from this vantage point when looking west and back towards the precinct.



Figure 24. (left) Coliseum Walk north-south pedestrian connection, the Yarrowee River here is channelled underground (GJM Heritage, June 2021).



Figure 25. (right) View from Bakery Hill looking west towards Bridge Mall and Sturt Street / Lydiard Street Precincts (GJM Heritage, June 2021).

Intact Victorian buildings that demonstrate high quality architectural design and aesthetic characteristics within the precinct include the Venetian Gothic former East Ballarat Post Office at 21 Main Street (HO94), the three storey Classical revival building at 24-26 Bridge Mall, Anglo-Dutch gabled shop at 31 Bridge Mall, and the High Victorian former North Grant Hotel at 3 Peel Street (formerly 92 Bridge Mall).



Figure 26. (left) 24-26 Bridge Mall (GJM Heritage, November 2021).



Figure 27. (right) 31 Bridge Mall (GJM Heritage, November 2021).



Figure 28. (left) Former North Grant Hotel, 3 Peel Street (GJM Heritage, November 2021).



Figure 29. (right) Former State Savings Bank, 95-99 Bridge Mall (GJM Heritage, November 2021).

The Munster Arms Hotel at 10 Victoria Street, the former Titheridge and Growcott shop, 15-19 Main Road (HO93), and the former stables, 27 Little Bridge Street, provide other intact examples of Victorian buildings to serve the commercial precinct. The two-storey Hotel stands on a corner, and has the foundation date “1862” recorded on its parapet. It has a simple Classical revival expression, with bay divided by giant-order pilasters, and arched window openings with heavy moulded surrounds. The parapet retains a dentilated cornice, but has otherwise been stripped of detail.

Only two original Victorian-era shopfronts to survive in the precinct, at 13 and 28 Main Road. They have timber-framed windows with deep lambs-tongue mouldings and panelled doors. No Victorian-era posted verandahs survive in the precinct. There are many reproductions of Victorian shopfronts and verandahs.





Figure 30. Munster Arms Hotel, 10 Victoria Street (GJM Heritage, November 2021).



Figure 31. (left) Former Titheridge and Growcott real estate office, 15-19 Main Road [HO93] (GJM Heritage, November 2021).

Figure 32. (right) Former stables, at 27 Little Bridge Street (GJM Heritage, November 2021).

A small number of buildings within the precinct date to the Federation period. These include the shop at 38 Main Road, the Federation bungalow at 9 Humffray Street South. The two-storey shop at 38 Main Road was constructed for herbalist W Mew Gun, and it retains its original unpainted render finish, Art Nouveau leadlight windows, as well as an ornate shopfront featuring curves, tiles and leadlights. The Federation bungalow exhibits a form characteristic of the style, with a high hipped roof and Z-plan (projecting gables to two elevations with a return verandah between them), the verandah continuous with the main roof, terracotta roof cresting and finials, and corbel red brick chimneys. Walls are of face brick below the windowsills, and roughcast render above. The bungalow exhibits fine details such as Art Nouveau leadlight windows, Gothic-flavoured joinery to the front window hood, and concrete front fence posts.



Figure 33. 38 Main Road, which retains its original shopfront (Landmark Heritage, October 2022).



Figure 34. (left) ANA Hall, 7 Humffray Street (Landmark Heritage, October 2022).



Figure 35. (right) 9 Humffray Street (Landmark Heritage, October 2022).



Figure 36. (left) Shopfront of 86 Bridge Mall (Landmark Heritage, October 2022).



Figure 37. (right) 86-90 Bridge Mall (GJM Heritage, June 2021).

The Interwar period is better represented than the Edwardian, though many examples are in fact remodelled Victorian buildings. A notable example is the row at 86-90 Bridge Mall. Originally constructed in the nineteenth century, these three buildings were given fine Jazz Moderne facades in the 1930s, rendered with geometric relief decoration. The former Colin's News Agency (No. 88) features the stylised business name and open books indicating the original use. The former Walter Davis & Co Pty Ltd next door (No. 86, now the Salvos) features the same Art Deco font for its name. The original wares of this store are beautifully illustrated by its intact 1930s shopfront, which features silhouettes of eighteenth-century ladies in fine dress. The shopfront also retains deep display cases with black glass stallboards and a streamlined metal cornice, and a black and white terrazzo entrance floor with a geometric pattern.

In other cases, only the shopfront itself was replaced during the interwar period, with an unusual and highly intact example seen at 100 Bridge Mall. This double-width shopfront is framed by teal tiled piers (with Art Nouveau feature tiles), a band of leadlight highlights set in intricate Arts & Crafts joinery, a wide tiled entry, glazed timber doors, and drawn metal window frames. The leadlights feature the letter “G” in rondels, for “Gear’s” Chemist’s, as recorded in raised letters on the parapet.

One of the finest interwar buildings in the precinct, and a new-build, is the Jazz Moderne former State Savings Bank of Victoria at 95-99 Bridge Mall. It features a stepped tower at its centre, clad in mottle brown terracotta veneer, with the date “1940” and a flagpole at the top. To either side is a shop with a stepped cream-brick parapet. Both shops retain their original shopfront, with mottle brown tiled stallboards, terrazzo entrance floor, glazed timber door, ribbed-glass highlights, and decorative pressed metal soffit to the awning.



Figure 38. (left) Shopfront at 100 Bridge Mall (Landmark Heritage, October 2022).

Figure 39. (right) Shopfront at 95 Bridge Mall (Landmark Heritage, October 2022).

During the early postwar period, the comprehensive remodelling of Victorian buildings continued, as seen at 6-8, 17 & 84 Bridge Mall, and 40 Main Road. Stylistically, most have a restrained Moderne expression, with rendered facades, a horizontal emphasis created by bands of windows, incised lines and projecting hoods. No. 40 Main Road is unusual among them, with a façade finishes in cream bricks and brown tiles to the parapet and around the shopfront. As before, the Victorian origins of these buildings are generally only indicated by chimneys and original rear facades.



Figure 40. (left) 17 Bridge Mall (Landmark Heritage, October 2022).

Figure 41. (right) 6-8 Bridge Mall (Landmark Heritage, October 2022).

The largest group of original shopfronts in the precinct survive from the late interwar and early postwar periods. They are found in the east end of the precinct, at 86, 85-89 & 95-99 Bridge Mall, and 2-4 & 40 Main Road. Interwar examples tend to have drawn-metal window frames above a tiled stallboard, terrazzo entry floors and glazed timber-framed doors (85-85A & 95-99 Bridge Mall). Later examples, from the 1950s, feature chrome frames to windows (91 Bridge Mall) and even chrome-framed doors (87 Bridge Mall), some with

stallboards set at an angle (2-4 Main Road). Many shops built or remodelled in these periods also retain their original cantilevered awnings.

Key features:

- Commercial buildings that demonstrate the period of development from the 1850s to the 1950s, including Victorian, Federation, Interwar and a small number of early Postwar buildings.
- Civic, institutional and residential buildings dating from the late nineteenth to the mid-twentieth century at the eastern end of the precinct.
- Original and remodelled facades, including those currently concealed by late twentieth-century metal overcladding, and early or original shopfronts and cantilevered awnings.
- Largely intact rear building elevations visible from the public realm, some featuring ghost signage and outbuildings.
- Largely intact roofscapes, including roof form and chimneys, which illustrate the era in which each building was constructed, including those whose front facades were remodelled during the interwar and early postwar periods, or more recently hidden behind metal overcladding.
- Intact bluestone lanes, channels and kerbs, including remnant fixing points on kerbs from past posted verandahs.
- The irregular subdivision pattern and street layout of the eastern part of the precinct, a legacy of gold mining activity and the unplanned nature of early development.
- The alignment of the Yarrowee River expressed in the north-south link through the precinct.
- The archaeological potential where low-lying land around the Yarrowee River was infilled in the 1860s up to two metres deep, and the Main Road area where ground levels were raised multiple times (up to four metres in all) in the 1850s and '60s in response to a deluge of sludge from nearby gold diggings.
- Its location as the historic entry point to the City of Ballarat when travelling by road from Melbourne and Geelong.
- The connection of Bakery Hill to the 1854 Eureka Rebellion, as the site where miners met and organised prior to the uprising.
- Key views from within and through the precinct, including towards the significant civic landmarks on Sturt Street and Lydiard Street towards the west and St Paul's Anglican Church and Mount Warrenheip to the east.

Intactness/Integrity

Substantial redevelopment has occurred of a number of properties, particularly at the western end and at Curtis and Little Bridge Streets. Predominantly made up of long narrow lots, many have contributory buildings addressing Bridge Mall or Main Street with non-contributory structures addressing Curtis, Little Bridge and Porter Streets. Bridge Mall and Main Street retain a higher proportion of contributory buildings and have a high degree of visual consistency and scale.

Comparative Analysis

The Bridge Mall/Bakery Hill Precinct can be compared with other commercial and retail precincts within Ballarat and regional towns within the municipality.

The following precinct summaries are taken from Incorporated Document *Ballarat Heritage Precincts Statements of Significance 2006 (revised August 2014)*.

Lydiard Street Heritage Precinct HO171



Figure 42. Lydiard Street Heritage Precinct [indicated by blue polygon] (Adapted from VicPlan, September 2021).

Lydiard Street Heritage Precinct includes Ballarat's significant civic, institutional, religious and commercial buildings and monuments, developed from the 1850's.

The Precinct is architecturally significant for the outstanding collection of 19th century civic and commercial buildings associated with the commercial life of Ballarat. The Precinct is architecturally significant for its high quality of substantially intact buildings with examples by notable contemporary architects from all periods ranging from 1860s-1950s. The predominantly symmetrical design of Renaissance Revival Victorian and Beaux Arts Federation architecture with elaborately ornate street verandahs, tree lined avenues, asphalt footpaths and 19th century engineering infrastructure have created an historic centre of great unity and visual coherence. The Precinct is aesthetically and architecturally significant as an excellent model representing 19th century neo-classical town planning based on a new order, hygiene and services that sharply distinguishes it from East Ballarat.

Sturt Street Heritage Precinct HO167



Figure 43. Sturt Street Heritage Precinct [indicated by blue polygon] (Adapted from VicPlan, September 2021).

Sturt Street Heritage Precinct demonstrates many original and intact urban design and fine architectural qualities associated with the ecclesiastical, civic, commercial and residential development of the Ballarat township between the 1850s and early 1900s.

The Precinct is architecturally important for its range of fine examples of Victorian and Federation styled buildings displaying many eclectic architectural motifs such as Jacobean, Gothic and Tudor detailing. The residential and commercial buildings are generally one to two storeys, with civic buildings contrasting in height and scale. The main civic buildings are unique in design and scale but are consistent in their use of stone for construction. The Precinct is historically important as it shows evidence of the creation of a grand elegant

boulevard in the European tradition, within a rectilinear street layout pattern based on hierarchy and axial ordering. Sturt Street with its counterpart Victoria Street in East Ballarat, part of the former cattle stock route between Geelong and Adelaide, are the only surveyed roads in Ballarat that were substantially wider and longer than other streets.

HO173 Mount Pleasant/Golden Point Heritage Precinct



Figure 44. Mount Pleasant/Golden Point Heritage Precinct [indicated by blue polygon] (Adapted from VicPlan, September 2021).

Mount Pleasant/Golden Point Heritage Precinct features a mix of residential, commercial and cultural and community buildings in a range of styles from the 1850s to the 1940s including Victorian, Federation and Interwar periods. The Precinct is a significant, highly heterogeneous mix of mid-19th century to early 20th century residential, commercial and institutional buildings developed within an intensely worked gold mining area.

Precincts with a small number of commercial buildings, developed from the 1850s onwards, include:

- Victoria Street Heritage Precinct HO177
- Central Ballarat Heritage Precinct HO166
- Humffray Street Heritage Precinct HO175
- Eureka Street Heritage Precinct HO179.

Townships outside of Ballarat, which include commercial development:

Learmonth Heritage Precinct HO180

The rural precinct demonstrates many original and early design qualities associated with the residential, commercial, civic, and cultural/community development of the Learmonth Township between the 1850s and the 1930s. A defining characteristic of the Precinct is its small scale nature of the buildings and dominance of the tree lined avenue. Most of the buildings have similar massing, form, are single storey height and are of a traditional form.

Buninyong Heritage Precinct HO181

Buninyong Precinct is important for its collection of buildings, architecture and overall development associated with the early settlement of this area by squatters in the 1840s followed by gold diggers, and the subsequent development from the early 1850s of a formally surveyed grid street layout which preceded that of Ballarat. The Precinct demonstrates many original and intact design qualities associated with the commercial, civic,

cultural/community and educational developments in the township between the 1850s and early decades of the 20th century.

Conclusion

While modest in its appearance and of smaller size, the Bridge Mall / Bakery Hill Precinct is comparable in historical significance to Lydiard Street Heritage Precinct [HO171]. Both precincts developed contemporaneously from the 1850s onwards in the former municipalities of East Ballarat and Ballarat, respectively. The precincts are comparable in function and development timeframe.

The Bridge Mall / Bakery Hill Precinct is primarily commercial and significantly differs to Lydiard Street and surrounds in its street layout and subdivision, a legacy of early gold mining activities centred around the Yarrowee River. It grew to serve the distinct area associated with these activities and is associated with the Eureka Rebellion. The precinct has seen changes to its built form and public realm over time, particularly to later alterations and additions to building facades. It continues to be a clearly legible as a shopping precinct dating from the 1850s to the mid-20th century and displays a high consistency of built form.

Assessment against Criteria

Following is an assessment of the place against the recognised heritage criteria set out in *Planning Practice Note 1: Applying the Heritage Overlay (August 2018)*.

Criterion A: Importance to the course or pattern of our cultural or natural history

The Bridge Mall / Bakery Hill Heritage Precinct is of historical significance as the oldest commercial centre in East Ballarat and one of the oldest in the City of Ballarat. Developed from the 1850s as a result of gold discoveries in the area, the irregular subdivision pattern and street layout is a legacy of the unplanned development that took place as a result of the chaotic gold mining activities of the time, as well as being dictated by the crossing point for the Yarrowee River. The buildings and early street fabric within the Bridge Mall / Bakery Hill Heritage Precinct illustrate the key phases in the City of Ballarat's development – from the area's early gold mining activities, to the boom-era of the late nineteenth century, renewed prosperity and modernisation in the interwar era, and the slower development in the early Postwar period – and demonstrate the precinct's continuous and important role as a vibrant commercial centre for the City of Ballarat. The rear elevations and roofscapes illustrate changes over time, including the many Victorian buildings remodelled in the interwar period. The eastern end of the precinct (centred on Humffray Street) demonstrates the area's important civic and institutional role through the former East Ballarat Post Office, St Paul's Anglican Church and Hall and the Australian Natives Association building. When travelling by road from Melbourne and Geelong, the precinct has served as the primary gateway to what is now the City of Ballarat since the mid-1800s.

Bakery Hill is of historical significance for its association with the 1854 Eureka Rebellion, as the place where thousands of miners rallied during the Rebellion and as the location where Peter Lalor first raised the Eureka flag.

Criterion C: Potential to yield information that will contribute to understanding our cultural or natural history.

The Bridge Mall / Bakery Hill Heritage Precinct is of significance for its research potential, due to major ground-raising in this area in the 1850s and '60s. Ground levels along Main Road were raised multiple times, to a combined four metres, in response to the influx of sludge runoff from nearby gold mining works. And there were engineering works carried out in the 1860s to raise the level of the street around the boggy Yarrowee

River, by up to two metres. This indicates the possible survival of highly intact archaeological deposits, even buried ground floors of buildings in these two areas.

Criterion D: Importance in demonstrating the principal characteristics of a class of cultural or natural places or environments

The Bridge Mall / Bakery Hill Heritage Precinct is of significance as a substantially intact and visually cohesive representative example of a predominantly Victorian-era commercial centre, with some intact development and remodelled facades from the Federation, Interwar and early Postwar periods. Main Road and the eastern end of the precinct in particular demonstrate a high degree of uniformity in scale and form. Typical characteristics of such precincts – including a predominantly two-storey street wall (interspersed with some single and three-storey buildings), parapeted rendered or red brick facades with repetitive upper floor fenestration, some original or early ground floor shopfronts with some original cantilevered awnings or reconstructed posted verandahs and bluestone kerbs and channels – are displayed in the original forms, fabric and detailing of many of the buildings.

Criterion E: Importance in exhibiting particular aesthetic characteristics

The Bridge Mall / Bakery Hill Heritage Precinct is of aesthetic significance as a distinctive and irregularly planned precinct that contrasts markedly to the highly ordered street and subdivision patterns to the west of Grenville Street. The precinct features commercial and civic buildings of high design quality dating from the Victorian and Federation periods, with some refacing of Victorian shopfronts in the 1930s in a Moderne style, and a small number of restrained buildings from the early Postwar period. Key examples from the Victorian era include the Classical Revival Munster Arms Hotel at 10 Victoria Street designed by Henry R Caselli in 1864, the Venetian Gothic former East Ballarat Post Office at 21 Main Street (HO94), the three-storey Classical Revival building at 24-26 Bridge Mall, the Anglo-Dutch gabled shop at 31 Bridge Mall, the High Victorian former North Grand Hotel at 3 Peel Street, and the former Titheridge & Grocott real estate office at 15-19 Main Road (HO93). While there are few Federation-era buildings in the precinct, they are of high quality, including the W Mew Gun herbalist shop at 38 Main Road, and the Federation bungalow at 9 Humffray Street South. Fine examples of interwar architecture include the Jazz Moderne remodelling and shopfront of the Walter Davis women's clothing store at 86 Bridge Road and the warehouse wing to the rear (77 Little Bridge Street), and the former State Savings Bank of Victoria at 95-99 Bridge Mall. Within the precinct there are highly intact shopfronts that feature details such as lead lighting, such as the ornate Gears' shopfront at 100 Bridge Mall. Many of the buildings have highly intact rear elevations, often visible from the public realm. In particular, buildings to the rear of 101-121 Bridge Mall form a picturesque collection of highly intact rear wings some with remnant historic signage. Within this group there are some sites that retain a Victorian rear wing while the front section has been rebuilt in the late twentieth century.

The precinct forms an important part of the linear views from Sturt Street to Mount Warrenheip, St Paul's Anglican Church and the East Ballarat Fire Station tower. The Bakery Hill end of the precinct offers panoramic views of Central Ballarat and views of the grand landmark civic buildings located in the Sturt Street and Lydiard Street Precincts, including the former Ballarat Post Office, Ballarat Town Hall, St Andrew's Uniting Church, the former Ballarat Fire Station and Ballarat Railway Station.

Criterion H: Special association with the life or works of a person, or group of persons, of importance in our history

The Stone's Department Store at 2-4 Main Road had a long association with the Stone family, and in particular prominent local figure and designer Jessica Simon (née Stone; 1906-1982). Stone's Drapery Store first traded on the site in 1860 and became an enduring local landmark. By the mid-twentieth century Stone's had evolved

to become a 'select ladies dress shop' under the directorship of Jessica Simon. Jessica was a well-known local identity recognised as a fashion designer, philanthropist and local style icon, known for her media appearances and charity work in the local community. The store closed in 1966 and Jessica, with her husband Paul, continued to be prominent figures in the local community. In 1979 Jessica was awarded the British Empire Medal honouring her lifetime commitment to philanthropic work.

Recommendations

The precinct is included in the Heritage Overlay of the Ballarat Planning Scheme as HO176.

Recommendations for the Schedule to the Heritage Overlay (Clause 43.01) in the Ballarat Planning Scheme:

External Paint Controls?	No
Internal Alteration Controls?	No
Tree Controls?	No
Outbuildings or Fences not exempt under Clause 43.01-3?	No
Prohibited Uses Permitted?	No
Aboriginal Heritage Place?	No

Gradings

The gradings of properties within the precinct are as follows:

Address	Name	Grading	Era	Comments
2 Bridge Mall		Non-contributory	Contemporary	
6 Bridge Mall	Song Chinese Massage	Contributory	Early postwar	6-8 are a pair of two-storey buildings
8 Bridge Mall		Contributory	Early postwar	6-8 are a pair of two-storey buildings
10 Bridge Mall		Contributory	Interwar	
12-14 Bridge Mall		Non-contributory	Contemporary	
16 Bridge Mall		Non-contributory	Contemporary	
17 Bridge Mall	Messer and Opie	Contributory	Early postwar	
18 Bridge Mall	OPSM	Contributory	Victorian	
22 Bridge Mall	Fauls Shoes	Non-contributory	Contemporary	
23 Bridge Mall	Cotton on Clothing	Non-contributory	Contemporary	
24 Bridge Mall		Significant	Victorian	24-26 are a pair of three-storey buildings; retains painted ghost

Address	Name	Grading	Era	Comments
				sign on west side elevation
25 Bridge Mall	Country Kids	Contributory	Victorian	
26 Bridge Mall	Riot Art & Craft	Significant	Victorian	24-26 are a pair of three-storey buildings; 26 has neo-Victorian shopfront
27 Bridge Mall	Endee's Fashion	Contributory	Victorian	27-29 pair of Victorian two-storey shops
28 Bridge Mall	Specsavers	Non-contributory	Contemporary	
29 Bridge Mall	Denim Culture	Contributory	Victorian	27-29 pair of Victorian two-storey shops
30 Bridge Mall	Lorna Jane	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
31 Bridge Mall		Significant	Victorian	1891 on parapet
32 Bridge Mall	Sportsgirl	Contributory	Interwar	
33 Bridge Mall	Sussan	Non-contributory	c1960s	
34 Bridge Mall	Black Pepper	Contributory	Victorian	
35 Bridge Mall	The Reject Shop	Non-contributory	Contemporary	
38-40 Bridge Mall	UFS Dispensary	Contributory	Interwar	
2/40 Bridge Mall	Treloars Coffee House	Non-contributory	Contemporary	
42 Bridge Mall	Betta Bargains	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
43 Bridge Mall	Capri Cafe	Contributory	Victorian	
45 Bridge Mall	Better Bargains	Contributory	Victorian	
46 Bridge Mall	Greens Hot Line Bakery	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
47 Bridge Mall	Best and Less	Non-contributory	Contemporary	
48 Bridge Mall	Darrell Lea Chocolate	Contributory	Victorian?	Façade hidden beneath post-war metal cladding
50 Bridge Mall	Jacque E	Non-contributory	Contemporary	
52 Bridge Mall	Wen & Ware Living	Non-contributory	Contemporary	

Address	Name	Grading	Era	Comments
53 Bridge Mall	Lash Brow & Co	Contributory	Interwar	53-55 are a single building
54 Bridge Mall	The Lingerie Shop	Contributory	Victorian	Neo-Victorian shopfront
55 Bridge Mall	Collins Booksellers	Contributory	Interwar	53-55 are a single building
56-58 Bridge Mall	Inhabit Homewares	Contributory	Victorian	
57 Bridge Mall		Non-contributory	c1960s	
59 Bridge Mall	A La Mode	Contributory	Victorian	Neo-Victorian shopfront
60 Bridge Mall		Non-contributory	Contemporary	
62 Bridge Mall	LV Nails	Contributory	Interwar	
62A Bridge Mall	Bridge Mall Centre Management Office	Contributory	Interwar	62A appears to be the rear of No. 62
63 Bridge Mall	Ghanda Clothing	Contributory	Interwar	63-65 are a single building
64 Bridge Mall	Just About Frames & Prints	Non-contributory	Contemporary	
65 Bridge Mall	Aussie Disposals	Contributory	Interwar	63-65 are a single building
66 Bridge Mall		Contributory	Victorian	
67-69 Bridge Mall		Contributory	Victorian	67-73 are a single building; only 73 intact
68-70 Bridge Mall	Nextra Bridge Mall Newsagency	Non-contributory	very altered Victorian?	
71 Bridge Mall	Metro Hair Design	Contributory	Victorian	67-73 are a single building; only 73 intact
72 Bridge Mall		Contributory	Victorian	
73 Bridge Mall	Tunbridges	Contributory	Victorian	67-73 are a single building; only 73 intact
74 Bridge Mall	Linen & Living	Contributory	Victorian	
75 Bridge Mall		Contributory	Victorian	75-77 are a single building
76 Bridge Mall	Optus World	Contributory	Victorian	

Address	Name	Grading	Era	Comments
77 Bridge Mall	Off Ya Tree	Contributory	Victorian	75-77 are a single building
78 Bridge Mall	Savoy Coffee Lounge	Contributory	Victorian	
79-81 Bridge Mall	ANZ Bank (former)	Non-contributory	late 20th century	
80 Bridge Mall		Contributory	Victorian	
82 Bridge Mall	Vodafone	Contributory	Victorian	
83 Bridge Mall	Axis Employment	Non-contributory	Contemporary	
84 Bridge Mall	ETek Phone Repairs	Contributory	Early postwar	
85 Bridge Mall	Boba Central	Contributory	Interwar	Retains interwar or early postwar shopfront
85A Bridge Mall	River Bamboo Massage	Contributory	Interwar	85-85A are a pair; retains interwar or early postwar shopfront
86 Bridge Mall	Salvos Store	Significant	Interwar	Fine Jazz Moderne building with elaborate original shopfront (Walter Davis women's clothing)
87 Bridge Mall	Just Pawn It	Contributory	Victorian	87-89 are a pair; retains early postwar shopfront; retains painted ghost sign on rear elevation
88 Bridge Mall	The Athlete's Foot	Contributory	Interwar	
89 Bridge Mall	Coins and Stamps Bought & Sold	Contributory	Victorian	87-89 are a pair; retains early postwar shopfront; retains painted ghost sign on rear elevation
90 Bridge Mall	Telstra Shop	Contributory	Interwar	Retains part of fine quality Victorian building to rear, visible along Peel Street
91 Bridge Mall	T and C Nails	Contributory	Interwar	91 & 93 are a pair
93 Bridge Mall	93's Giftware & Tobacconist Accessories	Contributory	Interwar	91 & 93 are a pair

Address	Name	Grading	Era	Comments
94-96 Bridge Mall	Skin Ski and Surf	Contributory	Victorian	
95 Bridge Mall		Significant	Interwar	95-99 a single building; original shopfront & awning
97 Bridge Mall		Significant	Interwar	95-99 a single building
98 Bridge Mall		Contributory	Victorian	
99 Bridge Mall	Tatts for the Memory	Significant	Interwar	95-99 a single building; original shopfront & awning
100 Bridge Mall		Significant	Victorian & Interwar	Grand Victorian shop (Gears ghost sign at top of parapet) with elaborate and intact c1910 shopfront
101 Bridge Mall	Capricho	Non-contributory	Contemporary	neo-Victorian
103-107 Bridge Mall	Crazy Asian	Contributory (rear only)	Victorian	Two single-storey buildings: both have Non-contributory neo-Victorian front section and Contributory Victorian rear section
104 Bridge Mall	The 180 Shop	Contributory	Victorian	aka 102
109 Bridge Mall	Tokyo Grill House	Contributory	Victorian	Two 2-storey buildings in a terrace of three (with 113); neo-Victorian shopfronts
113 Bridge Mall	The Ballarat Curry House	Contributory	Victorian	2-storey building in terrace with 103-107; neo-Victorian shopfronts. Two-storey rear wing (113A?) with hipped roof and corbelled eaves pre-dates the terrace at the front of the site
119-121 Bridge Mall	McDonalds Family Restaurant	Contributory	Victorian	From west to east: single-storey double-fronted rendered building; Victorian (?) single-storey timber building; terrace of 5 two-storey brick buildings (originally

Address	Name	Grading	Era	Comments
				tuckpointed, now sandblasted); all have neo-Victorian shopfronts and verandahs
1 Coliseum Walk	Mocha Shop and Cafe	Non-contributory	Contemporary	
4 Coliseum Walk		Non-contributory	Contemporary	
5 Coliseum Walk	Your Mantra	Non-contributory	Contemporary	
6 Coliseum Walk	The Charcoal Pit	Non-contributory	Contemporary	
22-24 Curtis Street	Melissa E Bridal	Non-contributory	Contemporary	
28 Curtis Street		Non-contributory	Contemporary	
30 Curtis Street	Ballarat Baber Shop	Non-contributory	Contemporary	
32 Curtis Street	Complete Bowls Specialist	Non-contributory	Contemporary	
34 Curtis Street	Book Bazaar	Non-contributory	Contemporary	
46 Curtis Street	Bedding Wholesalers	Non-contributory	Contemporary	
48 Curtis Street		Non-contributory	Contemporary	
Lv 1/50A Curtis Street	Ballarat Martial Arts Centre	Non-contributory	Contemporary	
52 Curtis Street	Cigarette	Non-contributory	Contemporary	
54 Curtis Street	CKs Bridal Recycle	Non-contributory	Contemporary	
1 Humffray Street South	Bakery Hill Motel	Non-contributory	Contemporary	
1A Humffray Street South	St Paul's Anglican Church	Significant HO191/H401	- Victorian	
5 Humffray Street South	Manse	Non-contributory	Post-war	

Address	Name	Grading	Era	Comments
7 Humffray Street South	ANA Hall, former 7th Day Adventist Church	Significant	Victorian & interwar	Victorian gabled former church, behind 1920s ANA façade
8 Humffray Street South	Maceys Carpet Choice	Non-contributory	Contemporary	
9 Humffray Street South	Villa	Significant	Federation	Retains original concrete front fence posts
10 Humffray Street South	Maceys Carpet Choice	Non-contributory	Contemporary	
5 Little Bridge Street	Burkes Florist	Non-contributory	Contemporary	
7 Little Bridge Street		Non-contributory	Contemporary	
11 Little Bridge Street		Non-contributory	Contemporary	
Lv 1/11 Little Bridge Street		Non-contributory	Contemporary	
23 Little Bridge Street	Jonahs Seafoods	Non-contributory	Contemporary	
25 Little Bridge Street	Chokolat Solarium	Non-contributory	Contemporary	
27 Little Bridge Street	Dyers Steak Stable	Contributory	Victorian	former stables or coach house
33 Little Bridge Street	City Finance	Non-contributory	Contemporary	
41 Little Bridge Street	Song Chinese Massage	Non-contributory	Contemporary	
45 Little Bridge Street	Kool Kuts 4 Kids	Non-contributory	Contemporary	
47 Little Bridge Street		Non-contributory	Contemporary	
59 Little Bridge Street	Noodle Canteen	Non-contributory	Contemporary	
61 Little Bridge Street	Cutz Above the Rest Hair & Beauty	Non-contributory	Contemporary	
77 Little Bridge Street		Significant	Interwar	Rear part of Walter Davis store (86 Bridge

Address	Name	Grading	Era	Comments
				Mall), featuring leadlight windows
89 Little Bridge Street		Non-contributory	Contemporary	
110 Little Bridge Street		Non-contributory	Contemporary	
112 Little Bridge Street	Body Works Beauty Therapy	Non-contributory	Contemporary	
2 Main Road	Sportsbiz	Contributory		Former Stones store; retains early post-war shopfront, cantilevered awning, and terrazzo entry floors
4 Main Road	Sportsbiz	Contributory		Former Stones store; retains early post-war shopfront, cantilevered awning, and terrazzo entry floors
11 Main Road	QBE Insurance	Non-contributory	1988	neo-Victorian
13 Main Road	The Main Emporium	Contributory	Victorian	Retains original Victorian timber shopfront
15-19 Main Road	Michaela Settle MP	Contributory	Victorian & c1940	Bluestone north wall; stained glass to front façade plus c1940 remodelling
1/15-19 Main Road	PACT Community Support	Contributory	Victorian	
2/15-19 Main Road	single-storey building	Significant, HO93	Victorian	Former Titheridge and Growcott real estate office; "1898" on parapet
2A/15-19 Main Road	Upstairs Commercial Section	Contributory	Victorian & c1940	
20 Main Road	Vintage Corner	Contributory	Victorian	
21 Main Road	Online Personnel	Significant, HO94	Victorian	former East Ballarat Post Office
22-26 Main Road		Non-contributory	Contemporary	neo-Victorian timber two-storey buildings

Address	Name	Grading	Era	Comments
28 Main Road	The Known World Bookshop	Contributory	Victorian	Retains original Victorian timber shopfront
30 Main Road		Contributory	Victorian	1892 on parapet
32A Main Road	BeFinancial	Contributory	Victorian	
34-36 Main Road	Antiques	Contributory	Victorian	
36A Main Road	Nicola Cerini	Contributory	Victorian	
38 Main Road	King Kongs Tattoo Shop	Significant	Federation	Retains original shopfront; "W. Mew Gun" on parapet (a herbalist)
40 Main Road		Contributory	Early postwar	Intact shop with cream brick and glazed tiles, intact shopfront
42-44 Main Road	Mr Jones	Contributory	Victorian	
46 Main Road		Non-contributory		carpark
48 Main Road		Non-contributory		carpark
50 Main Road		Non-contributory	Contemporary	
Norwich Plaza (part)		Contributory	Victorian & c1940s	Row of 6 Vic shops given new façade c1940, now beneath metal cladding at south-eastern corner of Norwich Plaza
Norwich Plaza (part)		Non-contributory	1980s	See precinct map for details
1/3 Peel Street South	Skin Ski and Surf	Significant	Victorian	Part of three-storey former North Grant Hotel
2/3 Peel Street South	Rokk 66	Significant	Victorian	Part of three-storey former North Grant Hotel
3/3 Peel Street South		Significant	Victorian	Part of three-storey former North Grant Hotel
4/3 Peel Street South	Uniting Way - Church	Significant	Victorian	Part of three-storey former North Grant Hotel
5/3 Peel Street South	Dickson Hearn Pty Ltd (Surveyors)	Significant	Victorian	Part of three-storey former North Grant Hotel

Address	Name	Grading	Era	Comments
6/3 Peel Street South		Significant	Victorian	Part of three-storey former North Grant Hotel
2 Victoria Street		Non-contributory	1988	neo-Victorian
4 Victoria Street		Non-contributory	1988	neo-Victorian
2A Victoria Street	Bakery Hill Apartments	Non-contributory	1988	neo-Victorian
2B Victoria Street	Bakery Hill Apartments	Non-contributory	1988	neo-Victorian
6 Victoria Street		Non-contributory	1988	neo-Victorian
6A Victoria Street		Non-contributory	1988	neo-Victorian
6B Victoria Street		Non-contributory	1988	neo-Victorian
8 Victoria Street	Hog's Breath Cafe	Non-contributory	1988	neo-Victorian
10 Victoria Street	Munster Arms Hotel	Significant	Victorian	1862 date on parapet
14 Victoria Street	St Paul's Church Hall	Significant	Federation	1903 date on foundation stone

Extent of the Heritage Overlay

To the extent of the property boundaries, as shown in Figure 34 below. Note that three properties with individual HOs are considered to contribute to the HO176 precinct, though they are not covered by HO176. These are HO93 – 15-19 Main Road (part), HO94 – 21 Main Road, and HO191/VHR H401 – 3 Humffray Street South.



Figure 34. Extent of HO176 [indicated by black line] (adapted from data.vic.gov.au).

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BALLARAT HERITAGE PRECINCTS
 STATEMENTS OF SIGNIFICANCE 2006
 (revised ~~August-May~~
 20~~23~~14)

This document relates to the following Heritage Precincts
 in the Ballarat Planning Scheme Heritage Overlay:

Lake Wendouree	Map Ref	HO 163
West Ballarat	Map Ref	HO 164
Victoria Park	Map Ref	HO 165
Central Ballarat	Map Ref	HO 166
Sturt Street	Map Ref	HO 167
South Ballarat	Map Ref	HO 168
Waller Estate	Map Ref	HO 169
Soldiers Hill	Map Ref	HO 170
Lydiard Street	Map Ref	HO 171
Creeks & Rivers Channels	Map Ref	HO 172
Mount Pleasant/Golden Point	Map Ref	HO 173
Black Hill	Map Ref	HO 174
Humffray Street	Map Ref	HO 175
Bridge Mall/Bakery Hill	Map Ref	HO 176
Victoria Street	Map Ref	HO 177
Ballarat East Civic	Map Ref	HO 178
Eureka Street	Map Ref	HO 179
Learmonth	Map Ref	HO 180
Buninyong	Map Ref	HO 181

This document is to be used in conjunction with the draft *Guidelines for the Assessment of Heritage Planning Applications 2000*.

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Ms Amanda Jean as the author of the revised Statements of Significance contained in this report. The Statement of Significance for the Victoria Street Precinct (HO177) was refreshed by Dr David Rowe following the recommendations in the Panel Report for Amendment C164 to the Ballarat Planning Scheme.

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Introduction

This document is intended for use as an Incorporated Document within the Ballarat Planning Scheme in conjunction with the **Ballarat Planning Scheme Heritage Controls 2004 Incorporated Plan**, the Heritage Overlay provisions found in clause 43.01 of the Ballarat Planning Scheme, the Ballarat Planning Scheme Municipal Strategic Statement and local and state planning policies.

The document includes the description of each heritage precinct extracted from the *Ballarat Heritage Study Stage 2, 2003* (Hansen Partnership in association with Wendy Jacobs & Dr Jan Penney and Naga Services) and the Statements of Significance that relate to each precinct.

The Statements of Significance for each precinct in this document have been refined with some minor modifications and are based on those Statements of Significance included in the *Ballarat Heritage Study Stage 2 July 2003* prepared by Hansen Partnership et al.

The document also sets out on a precinct basis, those buildings considered to be 'not significant' to the heritage precinct. These places are subject to exemptions from the need to obtain planning permits for certain types of development. A full description of the exemptions can be found in the **Ballarat Planning Scheme Heritage Controls 2004 Incorporated Plan**.

LAKE WENDOUREE HERITAGE PRECINCT

Description / Precinct Boundaries

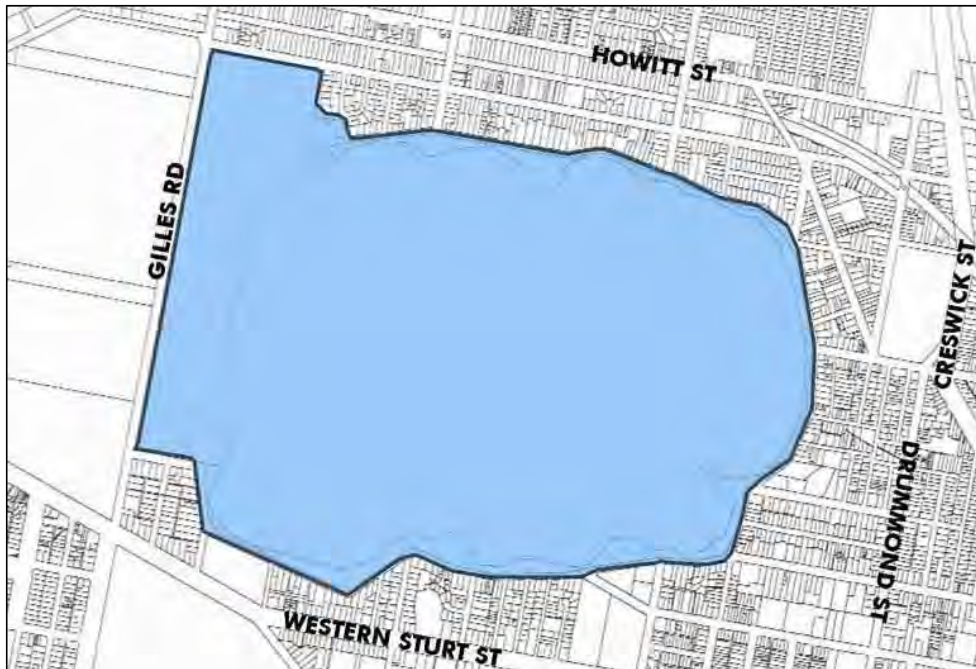


Figure 2

Lake Wendouree Heritage Precinct Map, shown as "A" on the Proposed Ballarat Urban Heritage Precincts Map

Lake Wendouree and the Botanical Gardens are located to the west of the town centre. They are both icons of Ballarat, representing a recreational and horticultural history of the Region.

The Lake has an area of 259 hectares and is completely surrounded by public reserve. Dominant visual features are the expanse of the lake itself; surrounding tree plantings; broad grassed areas; structures associated with recreational uses such as rowing; and the footpath surrounding the Lake. There are two major promontories being:

- View Point located on Eastern Shore
- Durham Point on northern shore

The Botanical Gardens Reserve consists of forty hectares being:

- Southern Gardens;
- Botanical Gardens; and
- Northern Gardens

The Southern Gardens comprise four hectares of grassed areas used for active recreational purposes bounded by Wendouree Parade, Carlton and Gillies Streets. The Botanical Gardens cover 13 hectares using a formal layout with an emphasis on horticultural displays including avenue plantings of Sequoia and Horse Chestnut

trees, flower beds and a conservatory. The Northern Gardens consist of twenty- three hectares bounded by Gillies Street to the west, Gregory Street and the Boulevard to the north while Wendouree Parade defines the eastern boundary.

Lake Wendouree was originally known as Yuille's Swamp, as part of the Archibald and William Yuille pastoral run formed in 1839. The swamp was a favoured campsite for the regions indigenous inhabitants. The lake was also the water supply to urban Ballarat between 1852-1864.

Since that time the Lake has developed as a site for industrial and recreational uses. The Fry's Flourmill and the Rowlands and Lewis soda factory were established on the shores of the lake in the 1850's. The Ballarat Rowing Club (the 2nd oldest in Australia) was formed in 1861 and the Regatta rowing course was constructed in 1902. The Lake was also the site for the rowing, canoeing and kayaking events for the 1956 Olympic games and subsequent world championships. Paddle steamers commenced sailing the Lake in 1865, with the "Golden Steamer" the only survivor of 15 steamers that once serviced passengers in the Lake.

Ballarat Botanical gardens are the oldest inland botanical garden in Victoria. The land for the Gardens was set aside in 1857 and was previously used as the Ballarat Police horse paddock.

A competition was held in 1858 for the design of the gardens, won by Messrs Wright and Longley. An on site nursery was established in 1859 and used for the propagation of plant material from the Melbourne and Geelong Botanical Gardens. The principal tree plantings occurred in the 1860's.

The Botanical Gardens and Lake Wendouree are important historically. They are evidence of the changing community perceptions and values relating to recreational pursuits. The Gardens also reflect the social aspirations of early Ballarat and are also important for their 19th century layout.

The Gardens and Lake are important landmarks, reflecting the historical and cultural development of the City and contribute to the setting of the town. The gardens and the lake play an important passive recreational role for the community.

The collection of plant material in the Gardens and surrounding the Lake are important scientifically. Fifty-two trees in the gardens are of state significance. The Lake is also important for its role in the development of the early town's water supply and drainage and as a habitat for wildlife and its role with the fish acclimatisation society. The gardens also contained a zoological section similar to other botanical gardens developed in this era.

Key landmarks include the memorials, significant trees, pavilions, the Robert Clarke Horticultural Centre, the boatsheds, fountains; and vistas to the lake and along the pathways in the gardens.

LAKE WENDOUREE HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Lake Wendouree Precinct is **historically** significant at a **STATE** Level. (AHC criteria A.4, H.1 and C.2).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a.4) the importance for association with events, developments or cultural phases which have had a significant role in the human occupation and evolution of the nation, State, region or community;*
- (c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history;*
- (h) the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.*

The former Yuille swamp and environs, Lake Wendouree, is historically significant as an important campsite of the Wathawarrung, the Indigenous people of the region. Originally known as Yuille's swamp, the Lake was included in the run taken up by pastoralists Archibald and William Yuille in 1839, but renamed "Wendouree" by W.S. Urquhart, the first surveyor of Ballarat, who camped at Yuille's swamp in 1851. Since that time the Lake has developed as a site for industrial and recreational uses.

The evolution of the Lake as a pleasure garden and its associated manmade features are important for their ability to demonstrate changing community's perception and values in relation to the natural environment and recreational pursuits over 160 years.

Lake Wendouree was the source of the water supply to urban Ballarat between 1852 and 1864 prior to the formation of the West and East Ballarat Water Commissions. The Frys Flour Mill and the Rowlands and Lewis soda water factory were established on the shores of the lake in 1850s. The Ballarat rowing club (the second oldest rowing club in Australia) was established in 1861, and in 1902 a Regatta Rowing Course was established between Viewpoint and Gills Island. Paddle steamers commenced sailing the Lake in 1865, with the "Golden City" the only survivor of 15 steamers that once serviced passengers on the Lake. The Lake is of historical significance as the site for the rowing, canoeing and kayaking events for the regatta-rowing course in the 1956 Olympics, and subsequent world championships.

The Botanic Gardens developed from 1856-1858 on an extensive site overlooking Lake Wendouree are the oldest inland botanic gardens in Victoria, and one of the best known botanic gardens outside Australia's capital cities. The land set aside for the gardens in 1857, was previously used as the Ballarat Police horse paddock.

The Ballarat Botanical Gardens and Lake Wendouree are also historically significant as they reflect the social aspirations of early Ballarat and provide an excellent example of a gardenesque 19th century layout. A competition was held for the design of the Gardens in 1858, won by Messrs Wright and Armstrong. The first curator of the gardens was George Longley, a horticulturalist trained at Lowther Castle, England, who laid out the original design. A nursery was established in 1859, and used for

propagation of plant material received from the Melbourne and Geelong Botanical Gardens. The garden is important as confirmation of civic pride of Ballarat, whose gold riches were transformed into civic and cultural enhancement funded by both public and private benefactors. The chief glory was the “Wellington Walk”, a superb avenue of *Sequoiadendron giganteum* (Giant Redwood) other conifers and deciduous exotic trees were freely planted during the early stages. In 1877 the first stages of the fernery was begun and from 1889 tuberous begonias were introduced into display beginning a glasshouse tradition highlighted by the annual Ballarat Begonia festival (1953). The collections of sculptures, in particular the 12 Italian sculptures donated by local stockbroker, Thomas Stoddart in 1887, housed in a statuary pavilion are outstanding.

The Lake Wendouree Precinct is **architecturally** significant at a **STATE** level (AHC Criteria D2, E1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group.

The Precinct demonstrates a variety of built forms associated with the recreational and cultural role of the Lake and environs. Of particular architectural significance is the collection of relatively low scale development typically simple vernacular timber structures of the mid to late 19th century and early 20th century boatsheds, picnic shelters, as well as the kiosks such as the Lake Lodge (1891), bandstands and tram shelter that abut the edge of the Lake.

The Lake Wendouree Precinct is **aesthetically** significant at a **STATE** Level. (AHC criteria D.2, E.1 and F.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments;
(e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;
(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Botanic Gardens and Lake Wendouree are important landmarks, forming a major urban foci of high aesthetic visual appeal that contributes to the historical and cultural setting of the City of Ballarat.

Lake Wendouree with an area of 259 hectares is surrounded by public reserve and is significant as a large shallow picturesque lake in the volcanic basalt plateau, located in the centre of the provincial city of Ballarat. The aesthetic significance derives from the panoramic skyline views across the lake and uncluttered landscape setting; the close visual relationship between the Lake and the Botanic Gardens; and the dominant groupings of mature exotic trees and floral bedding displays, as well as soft landscape treatment of the unsealed footpaths and blue stone kerbs and gutters that surround the Lake.

The Lake Wendouree Precinct is **scientifically** significant at a **STATE** Level. (AHC criteria F.1).

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The collection of plant material in the Gardens and the plantings around the Lake are of botanical, horticultural as well as scientific significance. Fifty two trees within the garden are of state significance. The Lake is also important for its role in the development of the early town's water supply and drainage.

The Lake is of scientific importance as a habitat for wildlife and for the traditional management of reed beds within the Lake. The Lake and the Botanical Gardens are of scientific significance associated with the acclimatization and zoological gardens movement, and the presence of the Fish Hatchery, which is Victoria's oldest fish acclimatization organization.

The Lake Wendouree Precinct is **socially** significant at a **STATE** Level. (AHC criteria G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Botanic Gardens and Lake Wendouree Precinct has social and cultural significance as an iconic landmark of Ballarat, well regarded for its visually aesthetic features and its recreational and horticultural history. It is a cultural landscape of great beauty, and has a long history as an important destination for tourism, recreation and leisure as well as for sporting events.

This area of Ballarat is highly valued by the community for cultural, aesthetic, natural and man-made landscape. It is also a significant destination for visitors from outside the local community, being the setting for one of the most visited provincial Botanic Gardens in Victoria.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 163 LAKE WENDOUREE HERITAGE PRECINCT – NO SITES LISTED AS 'NOT SIGNIFICANT' TO THE PRECINCT.

WEST BALLARAT HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 3 West Ballarat Heritage Precinct Map, shown as “B” on the Proposed Ballarat Urban Heritage Precincts Map

The West Ballarat Precinct is characterised by a heterogeneous combination of substantially intact residential buildings constructed generally from the 1870s to the 1940s, and by a notable collection of educational and cultural/community buildings constructed from the 1860s onwards. Almost all of the buildings in the precinct are individually significant or contributory. The precinct is also characterised by the formal layout and mature tree plantings of Sturt Street, by other notable mature street tree plantings throughout the precinct, and by extensive areas of grassed and landscaped public and private open space including City Oval, school grounds, and many mature private gardens. Furthermore, the precinct is specially distinguished by the substantial integrity of its original engineering infrastructure, particularly as identified by the extensive network of spoon drain channels constructed of bluestone pitchers.

The precinct is bounded on the east by Pleasant Street North and South (from Wendouree Parade to just south of Queen Victoria Street), and is terminated at its westernmost edge by Gillies Street. Running between Pleasant Street and Gillies Street, Sturt Street provides a distinctive east-west oriented axis in the northern half

of the precinct, with minor streets running off it, predominantly north towards Lake Wendouree. Along much of the north side of Sturt Street the precinct is effectively as deep as the facing allotments but extends at various locations, particularly along Alfred and Service Streets, to include a number of notable residences facing Wendouree Parade. At the western end of Sturt Street, the 1920s subdivision centred on Crocker Street forms one of the most homogeneous residential sections of the precinct and is bordered to the north by Carlton Street and the Botanic Gardens, and to the east by Wendouree Parade.

The south-west edge of the precinct is bordered by Victoria Park (a separate heritage precinct in itself) and Russell Street (from Sturt Street to just south of Eyre Street). Eyre Street provides a dominant east-west axis in the southern half of the precinct, with the western section forming part of the southern boundary of the precinct (to the depth of the allotments on the south side). Along the eastern section of Eyre Street, ending at Pleasant Street South, the precinct extends further south along minor roads with parts of Murray and Malakoff Streets forming the western boundary in this area. The southernmost boundary of the precinct is formed by the southern edge of the right-of-way to the south of Queen Victoria Street.

The West Ballarat precinct is south of Sturt Street and extends from Russell Street to Queen Victoria and Pleasant Streets. The history of the West Ballarat precinct is associated with the mining, residential, educational and religious themes in Ballarat's history.

The precinct was first surveyed in 1851 and the first private land sales occurred in July 1856. Sturt, Eyre, Pleasant, Mair, Russell, Carlton and Alfred Streets were laid out in 1851. Substantial residential development occurred in Ballarat in the 1860's-1870's, however, residential growth in this precinct occurred much later. This may be due to the continuing presence of deep lead mining, the large size of the initial crown allotments. Additional roads were laid out in the 1870's and by 1881, work began on installing the bluestone drainage channels in Sturt Street, between Gillies and Pleasant Street and street tree planting between Pleasant and Alfred Streets. In 1887, the horse drawn tram service was established along Sturt Street as far as Lake Wendouree, linking the central business area with outlying residential pockets. This spurred development in West Ballarat, which built on the precinct's reputation for a better class of housing, attracting businessmen and merchants. Further residential subdivisions occurred during the inter war period north and south of Sturt Street, forming lots in Croker and Carlton Street and Hamilton Avenue.

The precinct also contains some of Ballarat's key educational institutions. Their beginnings commenced during the gold rush. The size and stability of the schools show the strength and influence of religious communities in the early nineteenth century and are an indication of the priorities and attitudes of the gold rush citizens. The success of the schools was consolidated with the withdrawal of state aid from church run schools in the 1880's. The schools offered boarding facilities as a means of assisting funding and came to play an important role in the western district. No secondary state school existed in Ballarat at this time.

The precinct also includes a number of recreational facilities that had an important role in the precinct. The City Oval is the site of the Royal Saxon Company's mine. The grandstand erected in 1898 is of high historical and architectural significance and the complex now encompasses the City Oval Bowling Club and the Croquet City club. Other croquet clubs and tennis facilities were nearby.

The precinct is important as it retains a high number of individually significant detached Victorian, Federation and Interwar era residences. Typically, residential buildings are single storey in the southern part of the precinct or predominantly 1 ½ to 2 storey in the northern part of the precinct. Houses feature hipped and/or gabled roofs, clad with corrugated iron, Marseilles pattern terracotta tiles or slate, horizontal weatherboard or brick, unpainted chimneys, eaves, projecting verandahs or porches, decorative detailing, timber doors and windows, with some original metal framed windows in inter war homes. The Victorian, Federation and Inter war educational and cultural/community buildings are generally more than one storey in height, a dominant scale, brick, with tile, slate or galvanised iron roof cladding, timber framed windows and generally complex and individual detailing and decoration.

The precinct also features a number of key landmarks and views including the boulevard form of Sturt and Pleasant Streets, to the Arch of Victory, Lake Wendouree, Victoria Park, Western Oval, the churches and educational institutions, the City Oval grandstand and its landscaped setting and the mullock heap situated on the department defence land in Russell street.

Mature and juvenile street tree planting and gardens in private residences, the grass median strips, gravel/grass road and pockets of open space in the school grounds and Department of Defence land are important features of the precinct. Together, these gardens and open space compliment the dominant garden setting of the precinct. Some other features are the early timber tram shelters along Sturt Street and the wrought iron drain guard railings and the bluestone kerb and channelling throughout the precinct.

WEST BALLARAT HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The West Ballarat Precinct is **historically** significant at a **LOCAL** level (AHC criteria A.4 and H.1).

(a) *The place's importance in the course, or pattern, of Australia's natural or cultural history;*

(b)

(a3) Importance in exhibiting unusual richness or diversity of built landscapes and cultural features;

(a4) & (h1) Importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The urban development and character of the Precinct, founded in 1850s, has historic significance for its association with a number of significant activities that links together some of the main themes in the historical, social and architectural development of Ballarat.

The Precinct is historically significant for its associations with underground quartz mining that was sustained over a long period of time. The importance of the late expansion of quartz gold mining on the basalt plateau, in particular the rich Inkerman Lead that wound its way through the precinct and was the target of a variety of mining companies from the late 1850s onwards is fundamental to understanding the pattern of development in the area.

The Precinct is historically important as an early example of a highly desirable mid 19th to mid 20th century goldfields residential area. It was surveyed by the colonial Government Surveyor W.S.Urquhart in late 1851. Its historic values are associated with the rectilinear street layout pattern which reflects typical 19th century geometric neoclassical planning style based on public order. While the street pattern in Ballarat was the primary focus of city development, in this area a number of individual buildings have become hallmark features of Ballarat. Sturt Street, part of the former cattle stock route between Geelong and Adelaide, forms the back bone of the Precinct. It was one of the earliest roads to have been surveyed in Ballarat. Its grandeur and scale moderates the form and structure of the Precinct and provides the setting for many prestigious institutions in the city. Sturt Street has become an elegant boulevard, enhanced by a ceremonial approach to its design that is defined by four avenues of exotic street trees that line the central median strip and service roads. The Sturt Street boulevard is the focus of city design in this area as the formal western gateway to the centre of the city, and to the east, it links with the commemorative Ballarat Avenue of Honour, where between 1917 and 1921, over 3,000 trees were planted along the Western Highway for 22km.

The availability of substantial crown allotments and vacant former mining sites attracted many prominent educational and religious institutions to the area towards the late 19th century as well as private residential speculative subdivisions during the 20th century. The impressive nature of these developments that were mostly designed by leading Ballarat architects, have become important individual landmark symbols of the town. They illustrate the continued prosperity and progress of the gold

mining city of Ballarat throughout the 19th and 20th century, in contrast with many other Victorian 19th century gold mining areas.

The Precinct is important as it demonstrates the lasting continuity of civic pride and urban beautification schemes that had defined the 19th century structure of the city. This is illustrated by major avenue plantings, and infrastructure development such as the extensive network of significantly intact bluestone channel drains, gutters and kerbs from the 1880s. The combined works contribute to the creation of a stately provincial City with magnificent wide thoroughfares, tree-lined avenues, parks, gardens and substantial educational institutions.

The Precinct's reputation for a better class of housing was encouraged by the introduction in 1887 of a horse drawn tram service along Sturt Street as far as Lake Wendouree, linking the central business area with outlying residential pockets. Improved access promoted the attractiveness of the area for the successful merchants and business people, who had begun to establish separate residences from their places of work in central Ballarat. Many of the residences in the area were designed by leading Ballarat architects.

The West Ballarat Precinct is **aesthetically and architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1 and F.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

(f) its importance in demonstrating a high degree of creative design or artistic excellence, or technical achievement at a particular period.

The Precinct is important for its outstanding collection of high quality denominational schools and associated buildings. They demonstrate a way of life and priorities of the gold rush citizens on which the reputation of Ballarat as a provincial city which excelled in educational institutions was founded. The size, architectural achievement and stability of these schools also indicate the strength and influence of the Roman Catholic, Presbyterian, and Anglican communities in the early nineteenth century.

The collection of buildings includes the first convent of the Loreto nuns in Australia, with the establishment of Loreto School in 1875. The development of the Bishop's Palace, built in 1876 as the home of the Roman Catholic Archbishop of the Ballarat Diocese. The construction of St. Patrick's College designed by Architects Tappin, Gilbert and Dennehy in 1889, the Ballarat and Clarendon College built in 1912 as well as the present Pleasant Street Primary School. The precinct contains three churches, the former St Cuthbert's Presbyterian Church (1911) and former Pleasant Street Wesleyan Church (c.1867) and the architecturally outstanding Spanish Mission Style Catholic Church, St Theresa of the Little Flower, in Wendouree Parade (1938).

The Precinct is architecturally important for its small groups of private residential development which consist of a wide variety of substantially intact residential buildings of outstanding architectural quality that are associated with Victorian, Federation and Inter-War eras.

Examples include development in Tennis Street which was laid out in 1888 and consolidated in the 1930s, Queen Victoria Street (between Pleasant Street South

and Malakoff Street) laid out in 1889, and Dawson Avenue laid out in 1894. Of particular architectural and aesthetic importance for their rarity value is the development in the western section of the Precinct, which includes a fine collection of Inter-War residences houses designed by local architectural firms including Richards, Coburn and Richards, and H.L. Coburn. These residences are of high integrity and condition and are important to the character of Ballarat. The developments occurred during the early 1920s and 1930s and include construction of houses along the north side of Sturt Street West between Gillies Street and Hamilton Avenue and Crocker Street in 1921, and on the south side of Sturt Street, west of Alfred Street in 1927 as well as adjacent land in the triangle between Sturt and Russell Streets, but individual examples are also scattered throughout the area.

The twentieth century residential developments found within the Precinct are examples of interwar prosperity in what was a growing provincial city. The harmony of colour and tone created by the predominate use of local clay textured bricks and red roof tiles, as well as individual interest provided by localized idiosyncratic detail and decoration of the residences form homogenous streetscapes of considerable aesthetic appeal. Many of the houses tend to be substantial brick residences, set in large mature gardens with rear garages. The houses are one and two storeys high, generally modeled on the English Domestic Revival style and Spanish Mission architecture of the mid 20th century with a notable absence of other architectural styles, such as American styled California Bungalow. Today these houses give us an indication of the prosperity of sections of the Ballarat community in the interwar years during periods of economic depression. While, to the south east of the Precinct, a defining factor of the urban fabric are the relatively narrow and short streets, the small allotments, scale, size and set backs and greater mix of residential architectural styles, which together with the narrow sealed pavements create distinctive changing internal streetscape views, which are unusual in Ballarat.

The Precinct has aesthetic significance for its outstanding visual qualities of its setting, urban layout and architecture. The important visual qualities reflect the historical, cultural and architectural development of the Precinct, and contribute to the contextual setting of Ballarat.

The important visual qualities of the Precinct are also enhanced by the street landscape design and layout that has contributed to the appearance of a gracious provincial City. These streetscape features include the tree-lined avenues, the soft landscaping of the gravel/grass road shoulders, turf nature strips and asphalt footpaths; the extensive network of bluestone drains, the extensive areas of grassed and landscaped public and private open space including the school grounds, parks, gardens with their mature canopy trees, all contribute to the outstanding wide thoroughfares and residential streets.

Other important aesthetic qualities include a variety of significant individual urban landmarks that stand out from the generally contextual appearance of the majority of buildings. A number of these individual buildings can be seen from outside of the Precinct such as the churches; the various educational institutions; the City Oval with its ornate grandstand and the mullock heap near the corner of Russell Street and Alfred Street South.

The West Ballarat Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria F.1).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

The Precinct is of importance for contributing to a history of the infrastructure development of West Ballarat, as identified by the extensive network of significantly intact bluestone channels, gutters and kerbs.

The West Ballarat Precinct is **socially** significant at a **LOCAL** level (AHC criteria G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognized and highly valued by the local community for residential, educational, religious, and recreational reasons. The City Oval, home to the Ballarat Football Club and including the grandstand, tennis and croquets clubs, is of considerable social significance. It was originally the site of the Royal Saxon Company's mine and has been used for recreational activities since the 1850s.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 164 WEST BALLARAT PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
2A	Ajax Street	NEWINGTON VIC 3350
9	Ajax Street	NEWINGTON VIC 3350
10	Ajax Street	NEWINGTON VIC 3350
17	Ajax Street	NEWINGTON VIC 3350
5	Alfred Street	LAKE WENDOUREE VIC 3350
7	Alfred Street	LAKE WENDOUREE VIC 3350
11	Alfred Street	LAKE WENDOUREE VIC 3350
1/1A	Balaclava Street	NEWINGTON VIC 3350
2/1A	Balaclava Street	NEWINGTON VIC 3350
5	Balaclava Street	NEWINGTON VIC 3350
14	Balaclava Street	NEWINGTON VIC 3350
1A	Carlton Street	LAKE WENDOUREE VIC 3350
3	Carlton Street	LAKE WENDOUREE VIC 3350
8	Crocker Street	LAKE WENDOUREE VIC 3350
16	Crocker Street	LAKE WENDOUREE VIC 3350
18	Crocker Street	LAKE WENDOUREE VIC 3350
2	Dawsons Avenue	LAKE WENDOUREE VIC 3350
4	Dawsons Avenue	LAKE WENDOUREE VIC 3350
4A	Dawsons Avenue	LAKE WENDOUREE VIC 3350
5	Dawsons Avenue	LAKE WENDOUREE VIC 3350
6	Dawsons Avenue	LAKE WENDOUREE VIC 3350
1	Duke Street	NEWINGTON VIC 3350
5A	Duke Street	NEWINGTON VIC 3350
6	Duke Street	NEWINGTON VIC 3350
7	Duke Street	NEWINGTON VIC 3350
16	Duke Street	NEWINGTON VIC 3350
21	Duke Street	NEWINGTON VIC 3350
26	Duke Street	NEWINGTON VIC 3350
27	Duke Street	NEWINGTON VIC 3350
31	Duke Street	NEWINGTON VIC 3350
40	Duke Street	NEWINGTON VIC 3350
1A	Durham Street	NEWINGTON VIC 3350
10-12	Durham Street	NEWINGTON VIC 3350
4	Durham Street	NEWINGTON VIC 3350

HO 164 WEST BALLARAT PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
6	Durham Street	NEWINGTON VIC 3350
6A	Durham Street	NEWINGTON VIC 3350
8	Durham Street	NEWINGTON VIC 3350
9B	Durham Street	NEWINGTON VIC 3350
1/20	Durham Street	NEWINGTON VIC 3350
2/20	Durham Street	NEWINGTON VIC 3350
21	Durham Street	NEWINGTON VIC 3350
28	Durham Street	NEWINGTON VIC 3350
31	Durham Street	NEWINGTON VIC 3350
35	Durham Street	NEWINGTON VIC 3350
43	Durham Street	NEWINGTON VIC 3350
45	Durham Street	NEWINGTON VIC 3350
47	Durham Street	NEWINGTON VIC 3350
210	Durham Street	NEWINGTON VIC 3350
1102	Eyre Street	NEWINGTON VIC 3350
1105	Eyre Street	NEWINGTON VIC 3350
1110	Eyre Street	NEWINGTON VIC 3350
1112	Eyre Street	NEWINGTON VIC 3350
1122	Eyre Street	NEWINGTON VIC 3350
1125	Eyre Street	NEWINGTON VIC 3350
1127	Eyre Street	NEWINGTON VIC 3350
1/1131	Eyre Street	NEWINGTON VIC 3350
2/1131	Eyre Street	NEWINGTON VIC 3350
3/1131	Eyre Street	NEWINGTON VIC 3350
4/1131	Eyre Street	NEWINGTON VIC 3350
5/1131	Eyre Street	NEWINGTON VIC 3350
6/1131	Eyre Street	NEWINGTON VIC 3350
7/1131	Eyre Street	NEWINGTON VIC 3350
8/1131	Eyre Street	NEWINGTON VIC 3350
9/1131	Eyre Street	NEWINGTON VIC 3350
1145	Eyre Street	NEWINGTON VIC 3350
1159A	Eyre Street	NEWINGTON VIC 3350
1167	Eyre Street	NEWINGTON VIC 3350
2A	Inkerman Street	NEWINGTON VIC 3350
4	Inkerman Street	NEWINGTON VIC 3350
4A	Inkerman Street	NEWINGTON VIC 3350
2/20	Inkerman Street	NEWINGTON VIC 3350
1/39	Junction Street	NEWINGTON VIC 3350
2/39	Junction Street	NEWINGTON VIC 3350
2A	Junction Street	NEWINGTON VIC 3350
3	Junction Street	NEWINGTON VIC 3350
5	Junction Street	NEWINGTON VIC 3350
6	Junction Street	NEWINGTON VIC 3350
12	Junction Street	NEWINGTON VIC 3350
15	Junction Street	NEWINGTON VIC 3350

HO 164 WEST BALLARAT PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
33	Junction Street	NEWINGTON VIC 3350
37	Junction Street	NEWINGTON VIC 3350
5	Malakoff Street	NEWINGTON VIC 3350
5A	Malakoff Street	NEWINGTON VIC 3350
2	Morrison Street	LAKE WENDOUREE VIC 3350
9A	Murray Street	NEWINGTON VIC 3350
2A	Nightingale Street	NEWINGTON VIC 3350
2/2	Nightingale Street	NEWINGTON VIC 3350
3/2	Nightingale Street	NEWINGTON VIC 3350
5	Nightingale Street	NEWINGTON VIC 3350
14	Nightingale Street	NEWINGTON VIC 3350
35	Nightingale Street	NEWINGTON VIC 3350
2	Pleasant Street South	NEWINGTON VIC 3350
1/4	Pleasant Street South	NEWINGTON VIC 3350
2/4	Pleasant Street South	NEWINGTON VIC 3350
3/4	Pleasant Street South	NEWINGTON VIC 3350
4/4	Pleasant Street South	NEWINGTON VIC 3350
5/4	Pleasant Street South	NEWINGTON VIC 3350
6/4	Pleasant Street South	NEWINGTON VIC 3350
1/20	Pleasant Street South	NEWINGTON VIC 3350
2/20	Pleasant Street South	NEWINGTON VIC 3350
3/20	Pleasant Street South	NEWINGTON VIC 3350
4/20	Pleasant Street South	NEWINGTON VIC 3350
38	Pleasant Street South	NEWINGTON VIC 3350
210	Pleasant Street South	NEWINGTON VIC 3350
5	Queen Victoria Street	NEWINGTON VIC 3350
1/24	Queen Victoria Street	NEWINGTON VIC 3350
2/24	Queen Victoria Street	NEWINGTON VIC 3350
29	Queen Victoria Street	NEWINGTON VIC 3350
31	Queen Victoria Street	NEWINGTON VIC 3350
1/1A	Redan Street	NEWINGTON VIC 3350
2/1A	Redan Street	NEWINGTON VIC 3350
11	Redan Street	NEWINGTON VIC 3350
13	Redan Street	NEWINGTON VIC 3350
1A	Service Street	LAKE WENDOUREE VIC 3350
18	Stewart Street	NEWINGTON VIC 3350
1401B	Sturt Street	NEWINGTON VIC 3350
1403	Sturt Street	NEWINGTON VIC 3350
1409	Sturt Street	NEWINGTON VIC 3350
1410	Sturt Street	LAKE WENDOUREE VIC 3350
1414	Sturt Street	LAKE WENDOUREE VIC 3350
1452	Sturt Street	LAKE WENDOUREE VIC 3350
1454	Sturt Street	LAKE WENDOUREE VIC 3350
1456	Sturt Street	LAKE WENDOUREE VIC 3350
2/1530	Sturt Street	LAKE WENDOUREE VIC 3350

HO 164 WEST BALLARAT PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1530A	Sturt Street	LAKE WENDOUREE VIC 3350
1530B	Sturt Street	LAKE WENDOUREE VIC 3350
1530C	Sturt Street	LAKE WENDOUREE VIC 3350
1532	Sturt Street	LAKE WENDOUREE VIC 3350
1532A	Sturt Street	LAKE WENDOUREE VIC 3350
1532B	Sturt Street	LAKE WENDOUREE VIC 3350
1532C	Sturt Street	LAKE WENDOUREE VIC 3350
1534	Sturt Street	LAKE WENDOUREE VIC 3350
2A	Tennis Street	LAKE WENDOUREE VIC 3350
8	Tennis Street	LAKE WENDOUREE VIC 3350
133	Wendouree Parade	LAKE WENDOUREE VIC 3350
133A	Wendouree Parade	LAKE WENDOUREE VIC 3350
203	Wendouree Parade	LAKE WENDOUREE VIC 3350
203A	Wendouree Parade	LAKE WENDOUREE VIC 3350
307	Wendouree Parade	LAKE WENDOUREE VIC 3350
307A	Wendouree Parade	LAKE WENDOUREE VIC 3350
307B	Wendouree Parade	LAKE WENDOUREE VIC 3350
309	Wendouree Parade	LAKE WENDOUREE VIC 3350
1	White Avenue	LAKE WENDOUREE VIC 3350

VICTORIA PARK HERITAGE PRECINCT

Description / Precinct Boundaries

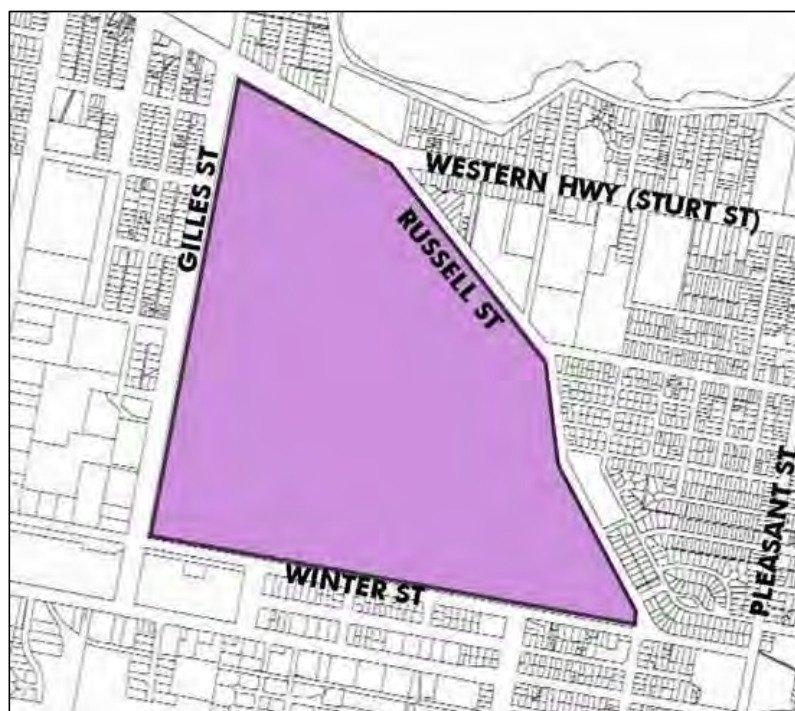


Figure 4 Victoria Park Heritage Precinct Map, shown as "C" on the Proposed Ballarat Urban Heritage Precincts Map

The precinct is all the land within the boundaries of Sturt Street West, Russell Street (formerly known as Victoria Parade) Winter Street and Gillies Street.

Historical Overview

Victoria Park covers an area of 130 hectares at the corner of Sturt and Gillies Streets in Ballarat. The present day layout of the Park is historically significant, as it has remained substantially intact from the time it was first designed and planted between 1890 and 1910.

The citizens and public authorities of Ballarat appear to have considered the land a necessary public reserve within the first decade of the establishment of the city. In 1861, the Chairman of the Ballarat Council appealed to the President of Crown Lands and Survey to have the area 'specifically reserved for a Park and Gazetted as such.'¹ The Council was concerned because the parkland was wrongly included in a 6000 acres parcel of land Gazetted for a Town Common at Ballarat West and the Council wished it to be protected under a separate reservation. As part of the

¹ Letter from William Smith, Chairman Ballarat Council to The Honourable The President of Crown Lands and Survey, 3 May 1861. Reserve File 654, Department Natural Resources and Environment, Ballarat Office.

process, Council agreed to compensate the owners of the small tenements located within the park area and the land was temporarily reserved by gazettal on 12 August 1861.² In this period the land was known and referred to locally as 'Royal Park'.

While the land was intended primarily as a public recreation facility, exceptions were made for mining interests here as they were in almost all areas of Ballarat. Approximately eight different companies had an interest in gold exploration at Victoria Park and the surrounding area, the largest being the United Hand-in-Hand and Band of Hope, Park, Ballarat Freehold, Western Freehold, Newington and Inkerman Companies. In October 1866, the United Hand-in-Hand and Band of Hope Company sunk a shaft within the Park as part of its exploration of the Inkerman Lead.³ The value of gold obtained from this venture totalled £4517. In November 1867, this shaft and the portion of their claim within the Public Park was transferred from the United Hand-in-Hand and Band of Hope Company to the newly formed Park Company.⁴

The most distinctive element remaining within Victoria Park from the mining period is the large mullock heap at the southern end, formed from debris from the workings of the Park Company. After 1898 the mullock heap became known locally as 'Mount Holled-Smith', named in honour of Major General Sir Charles Holled-Smith, British commander of the Victorian Defence Force. Major General Holled-Smith supervised military exercises involving some 3000 men at Victoria Park during Easter 1898. An objective of one of the exercises was the defence of the mullock heap.⁵

The Governor in Council approved the Crown Grant for permanent reservation of the park on 6 August 1888. The land took the official name Victoria (Royal) Park and covered 325 acres 2 roods 8 perches. The Crown Grant was vested in "the Mayor, Councillors and Citizens of the City of Ballarat and to their successors ... for the purpose of a public park and offices and convenience connected therewith and for no other purpose whatsoever."⁶ The specific wording of the Crown Grant has proved contentious over the years, as successive Councils, property developers and various recreational interest groups have eyed the large parcel of vacant land and sought a proprietary interest. However the terms of the Grant have succeeded in protecting the size and nature of the Park and ensured that it remains a resource for the entire community.

On 23 May 1890, two years after the Crown Grant was issued, Arbor Day was celebrated at Victoria Park with a mass tree planting ceremony. This is believed to be the first Arbor Day planting in Victoria. The Mayor of Ballarat, William Little, initiated the event and invited citizens to share in the simultaneous planting of some 3000 trees. The aim was to transform the barren former mining site into a graceful park of tree-lined avenues, similar to the large parks of London. Elm, plane, cedar, oak and poplar were the trees of choice and were provided by the Council from local nursery stock. Minor plantings of various species of eucalypt and other indigenous trees also took place. Each of the avenues was then named after the appropriate species. The open spaces of the park were planted with small groves of these species, planted and sponsored by various community groups, businesses and institutions. Prominent among the community groups and institutions who participated in Arbor Day were the Old Colonists Association, the Australian Natives

² Reserve File 654, Department Natural Resources and Environment, Ballarat Office.

³ R Brough Smyth, *The Gold Fields and Mineral Districts of Victoria*, 1980 edition, p489.

⁴ Ibid, p489.

⁵ M Harris & J Burrell, *Panoramas of Ballarat*, 1998, p78 and *The Ballarat Courier*, 25 September 1987.

⁶ Copy of Crown Grant, Volume 2110, Folio 421926 in Reserve File 654, Department Natural Resources and Environment, Ballarat Office.

Association, the Trades and Labour Council, the Mining Board, the School of Mines, the Agricultural Society and the Horticultural Society.⁷

The trees were carefully planted according to a plan drawn up by Messrs Clegg and Nicholls and modified by the respected curator of the Royal Botanical Gardens in Melbourne, William Guilfoyle.⁸ During the ceremony, the Mayor planted trees on behalf of Lord Hopetoun, the Governor of Victoria, while Mrs Little planted a tree for Lady Hopetoun. The entire task of the first planting was accomplished within ten minutes and followed by a picnic and an official banquet hosted by the Mayor in honour of Queen Victoria.

The local printing company F W Niven & Co. produced a souvenir plan of Victoria Park to commemorate Arbor Day 1890.⁹ This shows in detail the species of tree planted and the location, as well as the various groves of trees and the sponsor group. Comparing this plan with the present day layout of Victoria Park shows that the area has maintained a high level of integrity. The plan was also used in a 1983 study¹⁰ that identified original trees and groves which have survived to the present day. Planting continued according to the layout plan over several years. The events of the first Arbor Day 1890 were repeated 100 years later, when representatives of schools, community organisations and surrounding municipalities planted 100 Plane trees to mark the original ceremony and to re-establish Plane Avenue.¹¹

In keeping with the pro-British patriotism of nineteenth century Australia, an avenue of evergreen oaks was planted during 1901 to commemorate the visit to Ballarat of Their Royal Highnesses, The Duke and Duchess of Cornwall and York. It was named 'York Avenue' but has not survived to the present day. By 1914, considerable public works and improvements had been carried out within the northern sections of Victoria Park. This area sported established tree-lined avenues interspersed with flowers. Paths and roadways provided public access through the Park and to the cleared playing fields. There were three grounds for both cricket and football, two shelter houses including a rustic summer house in Cedar drive constructed in 1909¹², fences, hedges and a curator's residence.¹³ The southern portions of Victoria Park were given over to commercial plantations of *pinus radiata* between 1917 and 1929.¹⁴

During the Second World war part of Victoria park was occupied by "Military Authorities" facing Sturt Street and extending south towards Eyre Street. This was an army base to house United States servicemen. From February 1942 until May 1943, it was home to some 8,000 US troops. A military hospital was also established. The remains of a concrete settling pond can still be seen in the park which was constructed as part of the military occupation.

In 1950, the Ballarat City Council tested the terms of the Crown Grant under which Victoria Park was reserved. Council sought to alienate 12 acres of the reserve for

⁷ Plan, F W Niven & Co., 'Arbor Day Victoria Park 1890'. The Ballarat City Council holds the original of this plan. A reproduction can be found in M Harris & J Burrell, *Panoramas of Ballarat*, 1998.

⁸ *Ballarat Courier*, May 24 1890 quoted in M Harris & J Burrell, *Panoramas of Ballarat*, 1998, p79.

⁹ The Ballarat City Council holds the original of this plan. A reproduction can be found in M Harris & J Burrell, *Panoramas of Ballarat*, 1998.

¹⁰ For further details see the study completed by Peter Lumley, John Dyke, Roger Spencer and Eve Almond and is published as *Ballarat Historic Landscapes, Trees and Gardens*, Royal Botanic Gardens, Melbourne & Department of Crown Lands & Survey, 1983.

¹¹ M Harris & J Burrell, *Panoramas of Ballarat*, 1998, p79.

¹² City of Ballarat Mayor's Annual report 1909.

¹³ Reserve File 654, Department Natural Resources and Environment, Ballarat Office.

¹⁴ Peter Lumley, John Dyke, Roger Spencer and Eve Almond and is published as *Ballarat Historic Landscapes, Trees and Gardens*, Royal Botanic Gardens, Melbourne & Department of Crown Lands & Survey, 1983, p88.

use by the Military, in exchange for a neighbouring parcel of land owned by the Department of Defence on the corner of Russell and Alfred Streets. At the time, substantial brick residences were being erected in a new subdivision along Sturt Street West and Council viewed the Russell Street land as suitable for the same purpose. After extensive correspondence between Council and the Lands Department, the proposal was dropped. The specific terms of the Crown Grant successfully prevented any portion of the Park being excised. This proved to be the outcome when successive councils raised similar proposals in 1968 and again in 1986-1987.

Recent additions to the built fabric of Victoria Park include picnic and barbecue facilities, children's play areas, a toilet block, pavilions for the sports grounds, clubrooms and a BMX track. The area is used for many recreational activities such as cricket, dog obedience lessons, dog walking, jogging, cycling and occasional events involving running, cycling and motor sport. The area is occasionally used for major events such as the 16th Australian Scout Jamboree in 1992 which echoed its use as a military camp. In the following years the City council erected arched metal name signs on posts with stone bases to mark the park at the corner of Sturt and Gillies Street. The first of these was donated by the Australian Scout Jamboree.

In the present day, Victoria Park remains a fine example of a recreation facility, located close to the heart of the city, modelled on a popular European design prominent in the late nineteenth century. It reflects the preoccupation of Ballarat's founding citizens to create a substantial provincial city with all the appropriate visual symbols and amenities consistent with stability and prosperity. It complements the street plantings along adjoining Sturt Street, also initiated in this period. Along with Black Hill Reserve, Victoria Park reflects a determination to transform the remnant eyesores of the mining era into peaceful and useful public facilities.

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Urban Design & Engineering Infrastructure

Victoria Park today retains the form of the main roads set out in the original plan: Elm Avenue, Plane Avenue, Poplar Avenue, Cedar Avenue, Oak Avenue and Quercus Avenue which was laid out on the original plan but planted later. The present day roads including Caretakers Drive, Military Drive and an un-named road linking Quercus and Plane Avenue have been added to the original road layout and there has been some realignment of roads – the major changes being the removal of two triangular planting areas near the east and west entries to the park and the termination of Quercus Avenue before it meets Russell Street.

The original avenues have retained their curvilinear natures with the added roads being straighter in nature. Caretakers Drive is the only rigidly straight road in the park and Military drive has a bend as opposed to a curved layout.

Most of the roads are sealed with black bitumen and have gravel verges. The only unmade sections are casual roads which have been formed by users, Plane Avenue between Cedar and Poplar Avenues, and Quercus Avenue south of Plane avenue.

The park also contains a network of gravel/crushed quartz walking tracks which generally follow the line of the main roads.

Areas of the park are fenced with low treated pine post and round rail fences to prevent vehicular access to grassed areas.

Landscaping (Public & Private)

The precinct is a landscape area. It retains the form of the main roads and tree avenues generally as set out in the original plan: Elm Avenue, Plane Avenue, Poplar Avenue, Cedar Avenue, and Oak Avenue. Remnants of the commercial pine plantations still remain in the southern section of the park. Some of the original avenues have not flourished and so the area is not uniform with regard to height and development of the trees and there have been some removals and additional planting over the years. Military Drive is the only road to not have avenue tree planting.

The former mullock heap Mount Hotted Smith provides an important focus in the vicinity and also provides for views through the tree line and around the park. Its earlier development as a viewing place is now compromised by the tree growth.

The original design of densely planted curving avenues separating grassed areas with clumps of mature trees and single specimen trees is generally retained. Some

Avenues are striking such as Cedar, Caretakers, Oak and Quercus – they form a dense avenue with in some cases an overarching tree canopy producing a tunnel effect. Other plantings such as in Plane, parts of Poplar and Elm Avenue have been less successful partly due the selection of tree species which has failed to thrive. There has been replanting over the years to remedy breaks in the avenues with varying success. Other species have been interplanted in some area.

Two ornamental lakes have been introduced into the design.

The park planting has been strengthened by the avenue planting on the nature strips in Russell and Sturt Streets.

There are also two areas of significant native grasslands which have re-established themselves in the park.

Buildings & Significant Details

Two planned lodges, one at the Sturt Street entry and one at the Eyre Street entry, as shown on the early lithograph were either never built or have since been removed. The rustic summer house on Cedar Drive, near the intersection with Plane Avenue, appears to be the building constructed in 1909. The building has a wall of approximately 1100mm high of volcanic rocks set in cement with square timber posts rising though the walls to support a ten-sided timber roof structure clad in corrugated steel. A finial appears to be missing from the apex of the roof. One side is open to allow access. The shelter has a dirt floor.

There are two cannons near the Sturt Street/Russell Street vehicular entrance on the intersection of Cedar and Plane Avenue. They are English canons dated 1862 and 1853 respectively.

Across the road from the cannons is a specimen tree planted in memory of W.O. Allen curator who faithfully served the Ballarat community for 60 years marking his death in 1944 and erected by the Victorian Tree Planters Association.

There is a house on the southern edge facing Winter street on the corner of Cedar Avenue. It appears to have been constructed in the 1920s and is of horizontal weatherboards with a tiled gable roof and brick chimneys. The building appears in good condition and substantially intact.

At the intersections of Sturt Street with Gillies and Russell Street two signs were erected in the 1990s to indicate the parks pedestrian entries. These have volcanic rock bases, similar to the rustic summer house with circular painted metal posts with raised bands of decoration and shaped cappings which support two arched circular metal beams with flat metal lettering "VictoriaPark".

In the south west area of the park is large area devoted to equestrian pursuits with utilitarian modern sheds, shelters and horse jumps.

In the south west corner are fenced animal pens currently unused.

On military drive is a collection of modern gable roofed brick buildings of varying detailing which provide toilet and changing facilities and rooms for the Dog Obedience Club. These have a large gravel car park adjacent.

On Sturt Street, mid way between Russell and Gillies Street is a picnic area and toilet block. The picnic and barbecue shelters were erected and the toilet block refurbished in 2000 to a design by Morton Dunn Pty Ltd Architects. The shelters are supported on square metal posts with a metal-framed roof clad in corrugated Colorbond with decorative metal "blade" rafters. The shelters have plywood screens for part of each side section. The toilet block is rendered masonry and dark glazed bricks with a skillion roof form.

The park includes two significant areas of native grasslands and three trees recorded on the Significant Tree register. These are:

- *Pinus Contorta* (Beach or Shore Pine)
- *Quercus robar 'Fastigiata'* (Fastigated Oak)
- *Podocarpus dacrydioides* (White Pine)

Significant Landmark Features and Views

The Park itself is a significant landmark feature terminating vistas when travelling west along Sturt Street, west along Eyre Street and south along Hamilton Avenue. There are also views into the park from the boundary roads. The avenue planting provides a defining strong edge to these roads.

Within the park there are views across the open grassed area from the shelter of the avenues and views from the open grasslands through the strong borders of the avenue planting to adjacent avenues and open grasslands.

The former mullock heap Mount Hotted Smith provides an important focus in the vicinity and also provides for views through the tree line and around the park.

The three dense avenues along Cedar, Caretakers, Oak and Quercus Avenues are significant landmark features within the park.

VICTORIA PARK HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Victoria Park Precinct is **aesthetically and historically** significant at a **LOCAL** level (AHC criteria A, D, E, F).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (d) the place's importance in demonstrating the principal characteristics of (ii) a class of Australia's natural or cultural environments; D.2 Importance in demonstrating the principal characteristics of the range of human activities in the Australian environment (including way of life, custom, process, land-use, function, design or technique;*
- (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;*
- (f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.*

The area has important heritage values for its association with gold mining in the 1860s, which has been central to the development of Ballarat. An unusual feature of the park is the large mullock heap, which marks site of the former quartz mine, and is one of the few visible signs of the former presence of extensive gold mining activities in this area of Ballarat. The place is important for its association with early military manoeuvres in the late 19th century, and the use of the site as an army base to house United States servicemen during World War 2.

Victoria Park is significant as a landmark cultural landscape in the city of Ballarat. It a fine picturesque 19th century recreational park, that covers an area of 130 hectares at the corner of Sturt and Gillies Streets in the western area of Ballarat. It has both aesthetic and historic value as a substantially intact late 19th century parkland that has retained its original design layout and plantings that were established between 1890 and 1910. The designed parkland was modeled on popular English country estates and London Parks. In the fashionable picturesque landscape style, the park is designed with typically graceful curvilinear tree-lined avenues of different European exotic trees that create formal vistas offering glimpses of distant open landscape views of open grasslands, feature trees and densely planted woodland groves.

Like the Ballarat Botanic Gardens to the north, the area is significant as a fine example of late 19th century man-made cultural landscape that visually defines the limits of 19th century urban growth of West Ballarat and remains well preserved with a high degree of integrity without later intrusive development.

The Victoria Park Precinct is **socially** significant at a **LOCAL** level (AHC Criteria G.1) *(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.*

The Victoria Park Precinct is important for its ability to demonstrate the civic pride of Ballarat citizens, whose gold riches were transformed into civic and cultural enhancement projects funded by both public and private benefactors. It is important as it illustrates the determination of the local community to transform the remnant eyesores of the mining era into fine public facilities, clearly continuing the tradition of civic beautification projects initiated by local authorities and community groups.

The parkland is significant to the local community as it has been continuously used as an open space for passive and active recreation with specific connections to equine pursuits, dog obedience, cricket, walking, jogging, cycling and motor sports since its development as a park.

The Victoria Park Precinct is **scientifically** significant at a **LOCAL** level (AHC Criteria F.1)

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

It is significant for its collection of exotic and early planted native trees including the three unusual specimens recorded on the Register of Significant Trees, as well as significant areas of native grasslands which have re-generated.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

**HO 165 VICTORIA PARK HERITAGE PRECINCT – NO SITES LISTED AS
'NOT SIGNIFICANT' TO THE PRECINCT.**

CENTRAL BALLARAT HERITAGE PRECINCT

Description / Precinct Boundaries

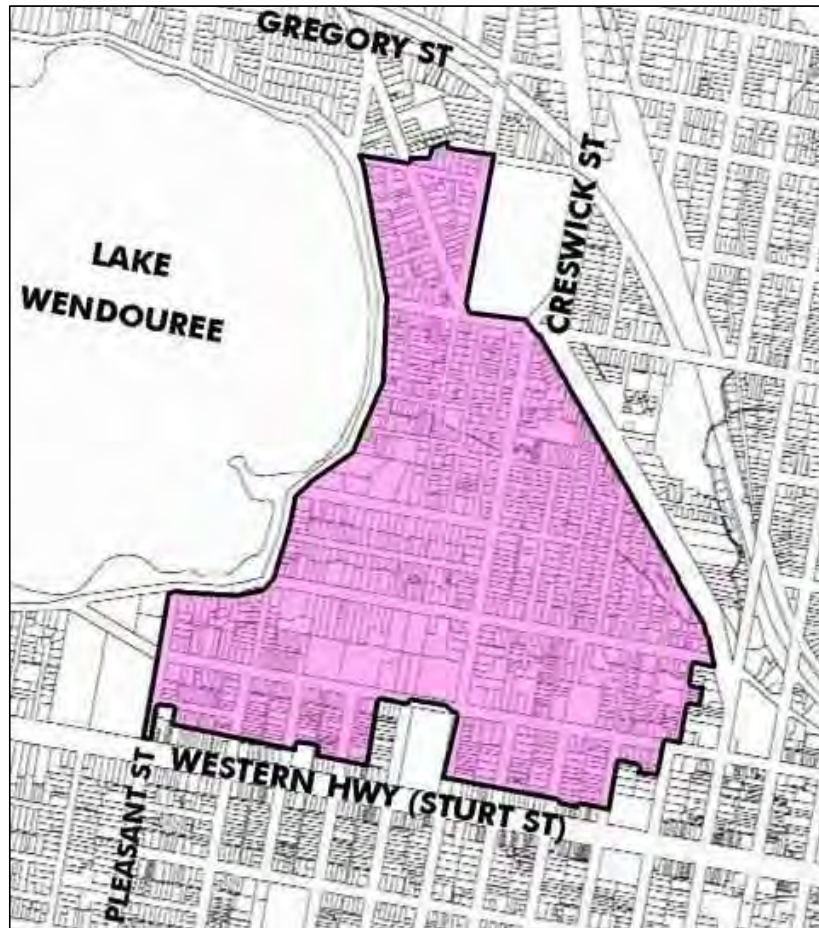


Figure 5 Central Ballarat Heritage Precinct Map, shown as "D" on the Proposed Ballarat Urban Heritage Precincts Map

The Central Ballarat Precinct is located directly to the north-west of the Ballarat City centre, within urban Ballarat. It is characterised by a heterogeneous combination of substantially intact residential buildings, which were constructed from the early 1860s (and possibly earlier) to the 1940s, and into the early 1950s. They are interspersed with a number of notable cultural/community, commercial, educational and industrial buildings constructed from the early 1860s onwards. The precinct is also characterised by the irregularly spaced grid layout of nearly all of its streets, many of which feature avenues of mature to semi-mature trees; by scattered areas of grassed and treed public and private open space including the grounds of various schools and other institutions, the small park within the Duncan Street road reserve west of Drummond Street North, and the lawns of the Servicemen's Memorial Bowling Club;

and by numerous well-maintained private gardens, some of which contain notable mature tree specimens. Furthermore, the precinct is specially distinguished by the substantial integrity of its original engineering infrastructure, particularly as identified by the extensive network of bluestone spoon drains and gutters that can be seen along most roads in the precinct, sometimes in conjunction with wide gravel/grass shoulders. Other important engineering infrastructure

The north boundary of the Central Ballarat Precinct is effectively the narrowest part of the precinct and is generally formed along the north side of Cardigan Street (between Wendouree Parade and Burnbank Street) and along the rear boundaries of the allotments on the north side of Cardigan Street (between Burnbank Street and Lexton Street and including two allotments facing Lexton Street). The east boundary begins at the north-east corner of the intersection of Lexton Street with Pigsaw Street and runs in a staggered line in a south-east direction. It is generally formed by the east side of Lexton Street, the north side of Macarthur Street (between Lexton Street and Creswick Road), the west side of Creswick Road to Webster Street, the east side of Yuille Street (including some allotments), the rear boundaries of the allotments on the south side of Mair Street (between Dawson Street North and Lyons Street North), and by the east side of Lyons Street North (between Mair Street and Sturt Street).

The south boundary is generally formed by the north boundary of the Sturt Street Central Heritage Precinct, which predominantly runs along the rear of the allotments on the north side of Sturt Street but also encompasses all of the Ballarat Base Hospital site. The west boundary runs along the west side of Pleasant Street North to Wendouree Parade, before turning to run along the east side of Wendouree Parade (the east boundary of the Lake Wendouree Heritage Precinct) up to the north-east intersection of Wendouree Parade and Cardigan Street.

The Central Ballarat precinct covers an area north of Sturt Street, south west of Lake Wendouree. The area was first surveyed in 1851 and 1852 with a formal grid layout and the first land sales occurred in 1852.

Residential and commercial development occurred amidst significant mining activity, although building development had not spread beyond Mair Street and the southern side of Webster Street. People were attracted by the close proximity to the commercial centre around Lydiard and Sturt Streets, the railway station, the recreational pursuits at Lake Wendouree. The residences reflected the prosperity of 1870-1880's Ballarat.

Small cottages appeared along the southern sections of Mair Street extending from central Ballarat to Pleasant Street. Most of the cottages were weatherboard and were predominantly owner occupied, again reflecting the prosperity of the town. Timber was preferred as it was plentiful and could be easily relocated if necessary. Housing in the northern sections of the precinct while still timber were more characteristic of workers cottages. The more modest homes can be attributed to the decline of mining from the 1870's, leading to a substantial increase in rented homes. The establishment of the railway workshops in 1914 may have been an added influence for the provision of affordable housing, within walking distance of the workshops. Some commercial businesses were also located in the precinct, including two flourmills and an electricity supply company on Wendouree Parade, taking advantage of the water supply. Hotels and breweries sprang up serving the miners working in the vicinity of Webster Street.

The precincts close proximity to the city centre made it a prime location for educational, religious and medical institutions such as the Australian Catholic University, St John of God and Ballarat Base Hospitals and Ballarat and Clarendon College.

The precinct is architecturally important as it contains many original and early examples of Victorian, Federation, Inter War and early Post War era residential, commercial and industrial buildings. These include key landmark buildings such as Nazareth House, the Ballarat Christian Fellowship Church and Hall especially the dominant spire, the educational buildings, shops, the three-storey terrace in Webster Street and the former William Bailey mansion in Drummond Street.

Typically, residential buildings in the precinct are single storey (although some are 1 ½ to 2 and rarely 3 storey), with hipped and/or gabled roofs clad in either galvanised corrugated iron, slate or terra cotta tiles.

Buildings were constructed of weatherboard, brick or bluestone and include verandahs or porches, eaves, unpainted chimneys, decorative detailing, timber framed doors and double hung or casement windows.

The commercial, educational, cultural/community buildings also show similar features as the residential buildings. However, they also have complex and individual detailing and decoration. Roofs are generally steeper and clad in slate or tiles. The buildings are one, two or three storey and constructed from brick with contrasting cement rendered details.

The important visual qualities of the precinct include views to Lake Wendouree and the City Oval, the Old Ballarat Cemetery, Mount Buninyong, Black Hill and the Soldiers Hill residential area. The precinct also features views of the highly significant Wendouree Creek Channel engineering infrastructure such as the extensive network of bluestone spoon or channel drains, bluestone inverted channel gutters, bluestone pitcher kerbs and deeper brick and bluestone storm water drains and wrought iron guard rails.

Other features of the precinct are the mature street plantings, grass/gravel shoulders, early tram shelters, the landscaped private and public open space, fences, private gardens and mature canopy trees.

CENTRAL BALLARAT HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Central Ballarat Precinct is **historically** significant at a **LOCAL** level. (AHC criteria A.3, 4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;*
- (a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.*

The urban development and character of the Precinct has historic significance for its association with a number of significant activities that links together some of the main themes in the historical, social and architectural development of Ballarat.

Aspects that contribute to the historic significance of the Precinct include its associations with underground quartz mining, particularly the main Inkerman Lead that wound its way through the precinct to the south.

The Precinct is historically important as an example of a highly desirable mid 19th century goldfields residential area, as evidenced by the physical fabric from the period 1870s-1890s. It is also associated with an unusually high incidence of home ownership in this period helped along by a policy of establishing residential areas with deep lead mining areas that has shaped the subsequent development of the area.

Its close proximity to the central business district of Ballarat made it a prime location for a number of educational, religious and medical institutions built from the early 1870s. Today, the Precinct still houses the Aquinas campus of the Australian Catholic University, a campus of Ballarat and Clarendon College and St. John of God Hospital. The western section of Mair Street, particularly from Talbot Street to Doveton Street has become a medical precinct due to the large campus of St. John of God Hospital and the neighbouring Ballarat Base Hospital. Medical practitioners now occupy many of the contributory timber Victorian and Edwardian cottages in the immediate vicinity of the hospitals.

The Precinct is historically important as the location for several early commercial and industrial enterprises that operated throughout the 1850s and 1860s. Two flour mills took advantage of the ready water supply of Lake Wendouree and located along Wendouree Parade. The Hassell and Monckton Mill included a substantial brick chimney and other buildings designed by architect Henry Caselli. In 1904, it became the site of the new powerhouse for the Electric Supply Company of Victoria. Hotels and breweries sprung up throughout the 1860s, hoping to take advantage of the many miners in the immediate vicinity working the 'mini-rush' along Webster Street.

The Central Ballarat Precinct is **aesthetically and architecturally** significant at a **LOCAL** level. (AHC criteria D, E and F).

- (d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);*
- (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;*
- (f) its importance in demonstrating a high degree of creative design or artistic excellence, or technical achievement at a particular period.*

The Precinct is architecturally significant for its many substantially intact residential, commercial, cultural/community and educational buildings and important early industrial buildings dating from the 1860s and 1940s, and into the early 1950s. Generally there is a good retention of original housing stock throughout the precinct with scattered examples of larger villas, terraces as well as small cottages (the latter predominantly erected in the Victorian era).

The historic urban design context of the Precinct is important for the harmony of the overall townscape derived from its rectilinear street layout pattern that reflects typical 19th century neoclassical planning ideals, the outstanding engineering infrastructure, in particular the bluestone drains, public street furniture, the landscape treatment of the streets, inclusive of European tree lined avenues and wide gravel/grass road shoulders. The success of a unifying aesthetic ideal derived from overseas 19th century and early 20th century architectural and planning ideas adapted to a provincial Australian model is evidenced by the diverse array of building styles in the Precinct which collectively contribute to a visually unified townscape of beauty.

The residential architecture of the area is aesthetically significant for its high degree of integrity and condition, and forms an important collection of Victorian, Federation, Inter-War and early Post-War buildings. While there is considerable variety across the area due in part to different allotment sizes, within the same street or sections of streetscapes, groups of houses are quite similar in size, scale, set back, with a unity of materials as well as design characteristics. The roofline throughout the Precinct, is characteristically dominated by a forest of brick chimneys, some with complex brick patterning or render detailing, others have notable features including cement rendered caps and chimney pots.

The Precinct is architecturally important for the significant numbers of quality houses that date to 1880s. The area experienced a period of brisk development between 1861 and 1871, when a number of lucrative deep leads were mined. The reputation of the area as a fashionable town address, especially within the vicinity of Webster Street after the mid 1860s attracted a number of local mining magnates to the area. Houses along Webster Street were characterized by their large allotments and emphasis on formally designed private gardens with plantings of exotic trees. This street character, along with sections of neighbouring Drummond Street, remains largely intact and reflects the prosperity of Ballarat in the 1870s-1880s. Baileys's Mansion' (1883), on the corner of Mair and Drummond Streets and now part of St. John of God Hospital, is a visual reminder of the prosperity of this section of West Ballarat in the late 1870s-1880s. While it is a fairly typical example of a 'boom-time' mansion, complete with tower, it is a rare style for Ballarat and more common to Melbourne.

The Precinct is architecturally important for the number of terrace rows, or pairs of semi-detached residences scattered throughout the Precinct. The most notable of which is the three storey terrace at the east end of Webster Street. At the same time as these substantial residences were being erected, canvas dwellings had almost disappeared and almost ninety per cent of houses were wooden with between three

and four rooms. The existing houses in this precinct still tend to be timber with some fine examples of boom style Victorian villas and Edwardian and Federation style houses.

Wood was the chosen material for much of the housing in the Precinct and neighbouring precincts because it was cheap, plentiful and available locally through a thriving timber industry. Apart from the cost, miners often preferred timber residences because of the ease with which the house could be relocated if necessary. This was a fairly common occurrence throughout the 1870s, particularly if the house had been erected on a miner's right. Numerous small cottages had appeared along the southern sections of the Precinct. While housing in the northern sections of the precinct, are often later examples of typical timber framed workman's cottage. This can be partly attributed to the changing status of miners and the general decline in the mining industry at the beginning of the 20th century. The emphasis on affordable rental accommodation may have continued in the northern section of this precinct when the Railway Workshops opened at North Ballarat in 1914.

The western section of the Precinct including Wendouree Parade is architecturally significant for the collection of Inter-War houses that exhibit a great variety of individual architectural styles. These examples are aesthetically important as within a small locality it is possible to view a range of designs that illustrate the personal tastes and creative inspiration of a provincial mid 20th century Australian city.

Further important aesthetic qualities of the Precinct include the variety of significant urban landmarks, a number of which can be seen from outside of the precinct. The variety of framed and panoramic views, within the Precinct can be experienced in numerous directions and along streets as well as narrow rear access laneways or rights-of-way. The important visual qualities of the Precinct are also enhanced by the mature street tree plantings that are a significant component of many of the streetscapes; the soft landscaping of wider streets; landscaped public and private open spaces and the many private gardens with their mature canopy trees.

The residential gardens in the Precinct show a high degree of variety. Many gardens are well planted with native and exotic plants, expansive lawns and mature canopy trees which are often complemented by large, well-maintained front hedges. Some of the gardens are listed on the Register of the National Estate, and/or by the National Trust of Australia (Victoria). These varied residential gardens, along with the pockets of highly visible landscaped and treed grounds belonging to religious and educational institutions complement the treed lined avenues and contribute to an informal garden setting of the precinct.

The Precinct is also transected in the northern part of the precinct (from the north- west area to the south-east area) by the historic brick-lined Wendouree Creek Channel, parts of which are covered while other parts are open and visible from various local streets.

The Central Ballarat Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C and F).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history;

(f) importance for its technical, creative, design or artistic excellence, innovation or achievement.

It is of importance for contributing to a history of the infrastructure development of this area of the former municipality of Ballarat West, particularly as identified by the extensive network of significantly intact bluestone spoon or channel drains, and bluestone inverted channel gutters with bluestone pitcher kerbs, and by the brick Wendouree Creek Channel and some bluestone lined stormwater drains. The use of bluestone pitchers as the principal material to form much of this engineering infrastructure also demonstrates an early, and now rarely used construction technology, as well as the excellence of traditional craftsmanship. Many buildings and associated structures also demonstrate high standards of construction and craftsmanship.

The Central Ballarat Precinct is **socially** significant at a **LOCAL** level. (AHC criteria G).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

The Precinct is recognized and highly valued by the local community for its early and ongoing residential, commercial, religious, and educational associations.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
42	Webster Street	BALLARAT CENTRAL VIC 3350
46A	Webster Street	BALLARAT CENTRAL VIC 3350
59B	Webster Street	BALLARAT CENTRAL VIC 3350
71	Webster Street	BALLARAT CENTRAL VIC 3350
73	Webster Street	BALLARAT CENTRAL VIC 3350
119	Webster Street	LAKE WENDOUREE VIC 3350
128	Webster Street	LAKE WENDOUREE VIC 3350
144	Webster Street	LAKE WENDOUREE VIC 3350
1	Wendouree Parade	LAKE WENDOUREE VIC 3350
3	Wendouree Parade	LAKE WENDOUREE VIC 3350
5	Wendouree Parade	LAKE WENDOUREE VIC 3350
6	Wendouree Parade	LAKE WENDOUREE VIC 3350
7	Wendouree Parade	LAKE WENDOUREE VIC 3350
7A	Wendouree Parade	LAKE WENDOUREE VIC 3350
1/9	Wendouree Parade	LAKE WENDOUREE VIC 3350
2/9	Wendouree Parade	LAKE WENDOUREE VIC 3350
3/9	Wendouree Parade	LAKE WENDOUREE VIC 3350
10	Wendouree Parade	LAKE WENDOUREE VIC 3350
14	Wendouree Parade	LAKE WENDOUREE VIC 3350
20	Wendouree Parade	LAKE WENDOUREE VIC 3350
22	Wendouree Parade	LAKE WENDOUREE VIC 3350
112	Wendouree Parade	LAKE WENDOUREE VIC 3350
114	Wendouree Parade	LAKE WENDOUREE VIC 3350
2/114	Wendouree Parade	LAKE WENDOUREE VIC 3350
1/114B	Wendouree Parade	LAKE WENDOUREE VIC 3350
2/114B	Wendouree Parade	LAKE WENDOUREE VIC 3350
122	Wendouree Parade	LAKE WENDOUREE VIC 3350
124	Wendouree Parade	LAKE WENDOUREE VIC 3350
124A	Wendouree Parade	LAKE WENDOUREE VIC 3350
124B	Wendouree Parade	LAKE WENDOUREE VIC 3350
202	Wendouree Parade	LAKE WENDOUREE VIC 3350
204	Wendouree Parade	LAKE WENDOUREE VIC 3350
206A	Wendouree Parade	LAKE WENDOUREE VIC 3350
208	Wendouree Parade	LAKE WENDOUREE VIC 3350
214	Wendouree Parade	LAKE WENDOUREE VIC 3350
222	Wendouree Parade	LAKE WENDOUREE VIC 3350
5	Yuille Street	BALLARAT CENTRAL VIC 3350
9	Yuille Street	BALLARAT CENTRAL VIC 3350

19	Yuille Street	BALLARAT CENTRAL VIC 3350
23	Yuille Street	BALLARAT CENTRAL VIC 3350

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
4	Ascot Street North	BALLARAT CENTRAL VIC 3350
5	Ascot Street North	BALLARAT CENTRAL VIC 3350
6	Ascot Street North	BALLARAT CENTRAL VIC 3350
9	Ascot Street North	BALLARAT CENTRAL VIC 3350
9A	Ascot Street North	BALLARAT CENTRAL VIC 3350
11	Ascot Street North	BALLARAT CENTRAL VIC 3350
11A	Ascot Street North	BALLARAT CENTRAL VIC 3350
1/18	Ascot Street North	BALLARAT CENTRAL VIC 3350
2/18	Ascot Street North	BALLARAT CENTRAL VIC 3350
3/18	Ascot Street North	BALLARAT CENTRAL VIC 3350
4/18	Ascot Street North	BALLARAT CENTRAL VIC 3350
5/18	Ascot Street North	BALLARAT CENTRAL VIC 3350
1/3	Burnbank Street	LAKE WENDOUREE VIC 3350
2/3	Burnbank Street	LAKE WENDOUREE VIC 3350
5	Burnbank Street	LAKE WENDOUREE VIC 3350
5A	Burnbank Street	LAKE WENDOUREE VIC 3350
10	Burnbank Street	LAKE WENDOUREE VIC 3350
1/12	Burnbank Street	LAKE WENDOUREE VIC 3350
2/12	Burnbank Street	LAKE WENDOUREE VIC 3350
14	Burnbank Street	LAKE WENDOUREE VIC 3350
15	Burnbank Street	LAKE WENDOUREE VIC 3350
17	Burnbank Street	LAKE WENDOUREE VIC 3350
27	Burnbank Street	LAKE WENDOUREE VIC 3350
28	Burnbank Street	LAKE WENDOUREE VIC 3350
1/30	Burnbank Street	LAKE WENDOUREE VIC 3350
2/30	Burnbank Street	LAKE WENDOUREE VIC 3350
3/30	Burnbank Street	LAKE WENDOUREE VIC 3350
5	Cardigan Street	LAKE WENDOUREE VIC 3350
101	Cardigan Street	
1	Claxton Street	BALLARAT CENTRAL VIC 3350
Pt CA 26	Collins Street	LAKE WENDOUREE VIC 3350
1/6	Cowan Street	LAKE WENDOUREE VIC 3350
2/6	Cowan Street	LAKE WENDOUREE VIC 3350
8	Cowan Street	LAKE WENDOUREE VIC 3350
10	Cowan Street	

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
14	Cowan Street	LAKE WENDOUREE VIC 3350
144	Cowan Street	
101	Creswick Road	BALLARAT CENTRAL VIC 3350
105	Creswick Road	BALLARAT CENTRAL VIC 3350
107	Creswick Road	BALLARAT CENTRAL VIC 3350
109-117	Creswick Road	BALLARAT CENTRAL VIC 3350
121	Creswick Road	BALLARAT CENTRAL VIC 3350
319	Creswick Road	BALLARAT CENTRAL VIC 3350
321	Creswick Road	BALLARAT CENTRAL VIC 3350
4	Davey Street	
11	Davey Street	BALLARAT CENTRAL VIC 3350
16	Davey Street	BALLARAT CENTRAL VIC 3350
15	Dawson Street North	BALLARAT CENTRAL VIC 3350
8	Devon Street	LAKE WENDOUREE VIC 3350
10	Devon Street	LAKE WENDOUREE VIC 3350
10A	Devon Street	LAKE WENDOUREE VIC 3350
12	Devon Street	LAKE WENDOUREE VIC 3350
12A	Devon Street	LAKE WENDOUREE VIC 3350
16	Devon Street	LAKE WENDOUREE VIC 3350
6	Drummond Street North	BALLARAT CENTRAL VIC 3350
8	Drummond Street North	BALLARAT CENTRAL VIC 3350
12	Drummond Street North	BALLARAT CENTRAL VIC 3350
20	Drummond Street North	BALLARAT CENTRAL VIC 3350
101	Drummond Street North	LAKE WENDOUREE VIC 3350
103	Drummond Street North	LAKE WENDOUREE VIC 3350
105	Drummond Street North	LAKE WENDOUREE VIC 3350
110	Drummond Street North	BALLARAT CENTRAL VIC 3350
219	Drummond Street North	LAKE WENDOUREE VIC 3350
401	Drummond Street North	LAKE WENDOUREE VIC 3350
1/404	Drummond Street North	BALLARAT CENTRAL VIC 3350
2/404	Drummond Street North	BALLARAT CENTRAL VIC 3350
3/404	Drummond Street North	BALLARAT CENTRAL VIC 3350
4/404	Drummond Street North	BALLARAT CENTRAL VIC 3350
406	Drummond Street North	BALLARAT CENTRAL VIC 3350
408A	Drummond Street North	BALLARAT CENTRAL VIC 3350
409	Drummond Street North	LAKE WENDOUREE VIC 3350
18A/412	Drummond Street North	BALLARAT CENTRAL VIC 3350
18B/412	Drummond Street North	BALLARAT CENTRAL VIC 3350
412A	Drummond Street North	BALLARAT CENTRAL VIC 3350
412B	Drummond Street North	BALLARAT CENTRAL VIC 3350
415	Drummond Street North	LAKE WENDOUREE VIC 3350
419	Drummond Street North	LAKE WENDOUREE VIC 3350
1/16	Duncan Street	BALLARAT CENTRAL VIC 3350
2/16	Duncan Street	BALLARAT CENTRAL VIC 3350
3/16	Duncan Street	BALLARAT CENTRAL VIC 3350

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
102	Duncan Street	LAKE WENDOUREE VIC 3350
15	Errard Street North	BALLARAT CENTRAL VIC 3350
20	Errard Street North	BALLARAT CENTRAL VIC 3350
6	Exeter Street	LAKE WENDOUREE VIC 3350
1/12	Exeter Street	LAKE WENDOUREE VIC 3350
2/12	Exeter Street	LAKE WENDOUREE VIC 3350
3/12	Exeter Street	LAKE WENDOUREE VIC 3350
13	Exeter Street	LAKE WENDOUREE VIC 3350
16	Exeter Street	LAKE WENDOUREE VIC 3350
22	Exeter Street	LAKE WENDOUREE VIC 3350
5	Fore Street	LAKE WENDOUREE VIC 3350
7A	Fore Street	LAKE WENDOUREE VIC 3350
9	Fore Street	LAKE WENDOUREE VIC 3350
13	Fore Street	LAKE WENDOUREE VIC 3350
13A	Fore Street	LAKE WENDOUREE VIC 3350
15	Fore Street	LAKE WENDOUREE VIC 3350
15A	Fore Street	LAKE WENDOUREE VIC 3350
17A	Fore Street	LAKE WENDOUREE VIC 3350
2	Frank Street	BALLARAT CENTRAL VIC 3350
20	Frank Street	BALLARAT CENTRAL VIC 3350
116	Frank Street	BALLARAT CENTRAL VIC 3350
2	Gnarr Street	LAKE WENDOUREE VIC 3350
3	Gnarr Street	LAKE WENDOUREE VIC 3350
4	Gnarr Street	LAKE WENDOUREE VIC 3350
1/5	Gnarr Street	LAKE WENDOUREE VIC 3350
2/5	Gnarr Street	LAKE WENDOUREE VIC 3350
3/5	Gnarr Street	LAKE WENDOUREE VIC 3350
8	Gnarr Street	LAKE WENDOUREE VIC 3350
9	Gnarr Street	LAKE WENDOUREE VIC 3350
10	Gnarr Street	LAKE WENDOUREE VIC 3350
2	High Street	LAKE WENDOUREE VIC 3350
10	High Street	LAKE WENDOUREE VIC 3350
19	High Street	LAKE WENDOUREE VIC 3350
1/21	High Street	LAKE WENDOUREE VIC 3350
2/21	High Street	LAKE WENDOUREE VIC 3350
3/21	High Street	LAKE WENDOUREE VIC 3350
4/21	High Street	LAKE WENDOUREE VIC 3350
5/21	High Street	LAKE WENDOUREE VIC 3350
1/1	Hotham Street	LAKE WENDOUREE VIC 3350
2/1	Hotham Street	LAKE WENDOUREE VIC 3350
2	Hotham Street	LAKE WENDOUREE VIC 3350
1/4	Hotham Street	LAKE WENDOUREE VIC 3350
2/4	Hotham Street	LAKE WENDOUREE VIC 3350
14	Hotham Street	LAKE WENDOUREE VIC 3350
1/20	Hotham Street	LAKE WENDOUREE VIC 3350

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
2/20	Hotham Street	LAKE WENDOUREE VIC 3350
22	Hotham Street	LAKE WENDOUREE VIC 3350
23	Hotham Street	LAKE WENDOUREE VIC 3350
28	Hotham Street	LAKE WENDOUREE VIC 3350
29A	Hotham Street	LAKE WENDOUREE VIC 3350
34	Hotham Street	LAKE WENDOUREE VIC 3350
1/36	Hotham Street	LAKE WENDOUREE VIC 3350
2/36	Hotham Street	LAKE WENDOUREE VIC 3350
35	Johnson Street	BALLARAT CENTRAL VIC 3350
1/8	Lake Street	LAKE WENDOUREE VIC 3350
2/8	Lake Street	LAKE WENDOUREE VIC 3350
10	Lake Street	LAKE WENDOUREE VIC 3350
12	Lake Street	LAKE WENDOUREE VIC 3350
1/14	Lake Street	LAKE WENDOUREE VIC 3350
2/14	Lake Street	LAKE WENDOUREE VIC 3350
15	Lake Street	LAKE WENDOUREE VIC 3350
1/17	Lake Street	LAKE WENDOUREE VIC 3350
2/17	Lake Street	LAKE WENDOUREE VIC 3350
18	Lake Street	LAKE WENDOUREE VIC 3350
19	Lake Street	LAKE WENDOUREE VIC 3350
20	Lake Street	LAKE WENDOUREE VIC 3350
5	Lexton Street	LAKE WENDOUREE VIC 3350
7	Lexton Street	LAKE WENDOUREE VIC 3350
9	Lexton Street	LAKE WENDOUREE VIC 3350
11A	Lexton Street	LAKE WENDOUREE VIC 3350
103	Lexton Street	LAKE WENDOUREE VIC 3350
1/11	Little Raglan Street	BALLARAT CENTRAL VIC 3350
2/11	Little Raglan Street	BALLARAT CENTRAL VIC 3350
3/11	Little Raglan Street	BALLARAT CENTRAL VIC 3350
1/15	Little Raglan Street	BALLARAT CENTRAL VIC 3350
2/15	Little Raglan Street	BALLARAT CENTRAL VIC 3350
3/15	Little Raglan Street	BALLARAT CENTRAL VIC 3350
4/15	Little Raglan Street	BALLARAT CENTRAL VIC 3350
5/15	Little Raglan Street	BALLARAT CENTRAL VIC 3350
13	Loch Avenue	BALLARAT CENTRAL VIC 3350
15	Loch Avenue	BALLARAT CENTRAL VIC 3350
21	Loch Avenue	BALLARAT CENTRAL VIC 3350
36	Loch Avenue	BALLARAT CENTRAL VIC 3350
5	Lyons Street North	BALLARAT CENTRAL VIC 3350
7	Lyons Street North	BALLARAT CENTRAL VIC 3350
11	Lyons Street North	BALLARAT CENTRAL VIC 3350
23	Lyons Street North	BALLARAT CENTRAL VIC 3350
27	Lyons Street North	BALLARAT CENTRAL VIC 3350
106	Lyons Street North	BALLARAT CENTRAL VIC 3350
112	Lyons Street North	BALLARAT CENTRAL VIC 3350

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
120	Lyons Street North	BALLARAT CENTRAL VIC 3350
202	Lyons Street North	BALLARAT CENTRAL VIC 3350
208	Lyons Street North	BALLARAT CENTRAL VIC 3350
211	Lyons Street North	BALLARAT CENTRAL VIC 3350
919	Macarthur Street	LAKE WENDOUREE VIC 3350
919A	Macarthur Street	LAKE WENDOUREE VIC 3350
921	Macarthur Street	LAKE WENDOUREE VIC 3350
1002	Macarthur Street	LAKE WENDOUREE VIC 3350
1002A	Macarthur Street	LAKE WENDOUREE VIC 3350
1002B	Macarthur Street	LAKE WENDOUREE VIC 3350
1002C	Macarthur Street	LAKE WENDOUREE VIC 3350
1002D	Macarthur Street	LAKE WENDOUREE VIC 3350
1/1015	Macarthur Street	LAKE WENDOUREE VIC 3350
2/1015	Macarthur Street	LAKE WENDOUREE VIC 3350
3/1015	Macarthur Street	LAKE WENDOUREE VIC 3350
4/1015	Macarthur Street	LAKE WENDOUREE VIC 3350
5/1015	Macarthur Street	LAKE WENDOUREE VIC 3350
1/522	Mair Street	BALLARAT CENTRAL VIC 3350
2/522	Mair Street	BALLARAT CENTRAL VIC 3350
507	Mair Street	BALLARAT CENTRAL VIC 3350
516	Mair Street	BALLARAT CENTRAL VIC 3350
606	Mair Street	BALLARAT CENTRAL VIC 3350
609	Mair Street	BALLARAT CENTRAL VIC 3350
1306	Mair Street	LAKE WENDOUREE VIC 3350
1/1313	Mair Street	BALLARAT CENTRAL VIC 3350
2/1313	Mair Street	BALLARAT CENTRAL VIC 3350
3/1313	Mair Street	BALLARAT CENTRAL VIC 3350
1314	Mair Street	BALLARAT CENTRAL VIC 3350
1315	Mair Street	BALLARAT CENTRAL VIC 3350
5	McWilliam Street	BALLARAT CENTRAL VIC 3350
6	McWilliam Street	BALLARAT CENTRAL VIC 3350
7	McWilliam Street	BALLARAT CENTRAL VIC 3350
9	McWilliam Street	BALLARAT CENTRAL VIC 3350
3	Mill Street	BALLARAT CENTRAL VIC 3350
5	Mill Street	BALLARAT CENTRAL VIC 3350
201	Mill Street	LAKE WENDOUREE VIC 3350
202	Mill Street	LAKE WENDOUREE VIC 3350
231	Mill Street	LAKE WENDOUREE VIC 3350
239	Mill Street	LAKE WENDOUREE VIC 3350
2	Oddie Street	LAKE WENDOUREE VIC 3350
6	Oddie Street	LAKE WENDOUREE VIC 3350
1	Parade Court	LAKE WENDOUREE VIC 3350
2	Parade Court	LAKE WENDOUREE VIC 3350
3	Parade Court	LAKE WENDOUREE VIC 3350
4	Parade Court	LAKE WENDOUREE VIC 3350

HO166 CENTRAL BALLARAT

NO.	STREET NAME	SUBURB & POSTCODE
5	Parade Court	LAKE WENDOUREE VIC 3350
14	Pleasant Street North	BALLARAT CENTRAL VIC 3350
3	Raglan Street North	BALLARAT CENTRAL VIC 3350
9	Raglan Street North	BALLARAT CENTRAL VIC 3350
19	Raglan Street North	BALLARAT CENTRAL VIC 3350
6	Ripon Avenue	LAKE WENDOUREE VIC 3350
9	Ripon Avenue	LAKE WENDOUREE VIC 3350
11	Ripon Avenue	LAKE WENDOUREE VIC 3350
13	Ripon Avenue	LAKE WENDOUREE VIC 3350
9	Ripon Street North	BALLARAT CENTRAL VIC 3350
9A	Ripon Street North	BALLARAT CENTRAL VIC 3350
12	Ripon Street North	BALLARAT CENTRAL VIC 3350
16	Ripon Street North	BALLARAT CENTRAL VIC 3350
16A	Ripon Street North	BALLARAT CENTRAL VIC 3350
102	Ripon Street North	LAKE WENDOUREE VIC 3350
108	Ripon Street North	LAKE WENDOUREE VIC 3350
109A	Ripon Street North	LAKE WENDOUREE VIC 3350
114	Ripon Street North	LAKE WENDOUREE VIC 3350
1/115	Ripon Street North	LAKE WENDOUREE VIC 3350
2/115	Ripon Street North	LAKE WENDOUREE VIC 3350
119	Ripon Street North	LAKE WENDOUREE VIC 3350
121	Ripon Street North	LAKE WENDOUREE VIC 3350
1/4	Sussex Street	BALLARAT CENTRAL VIC 3350
2/4	Sussex Street	BALLARAT CENTRAL VIC 3350
7	Sussex Street	BALLARAT CENTRAL VIC 3350
12	Sussex Street	BALLARAT CENTRAL VIC 3350
18	Sussex Street	BALLARAT CENTRAL VIC 3350
20	Talbot Street North	BALLARAT CENTRAL VIC 3350
23	Talbot Street North	BALLARAT CENTRAL VIC 3350
10	Victoria Avenue	LAKE WENDOUREE VIC 3350
49	Victoria Avenue	LAKE WENDOUREE VIC 3350
54	Victoria Avenue	LAKE WENDOUREE VIC 3350
63	Victoria Avenue	LAKE WENDOUREE VIC 3350
1/7	Webster Street	BALLARAT CENTRAL VIC 3350
2/7	Webster Street	BALLARAT CENTRAL VIC 3350
6	Webster Street	BALLARAT CENTRAL VIC 3350
8	Webster Street	BALLARAT CENTRAL VIC 3350
9	Webster Street	BALLARAT CENTRAL VIC 3350
10	Webster Street	BALLARAT CENTRAL VIC 3350
1/18	Webster Street	BALLARAT CENTRAL VIC 3350
22	Webster Street	BALLARAT CENTRAL VIC 3350
22A	Webster Street	BALLARAT CENTRAL VIC 3350
25	Webster Street	BALLARAT CENTRAL VIC 3350
27	Webster Street	BALLARAT CENTRAL VIC 3350
31	Webster Street	BALLARAT CENTRAL VIC 3350

STURT STREET HERITAGE PRECINCT

Description / Precinct Boundaries

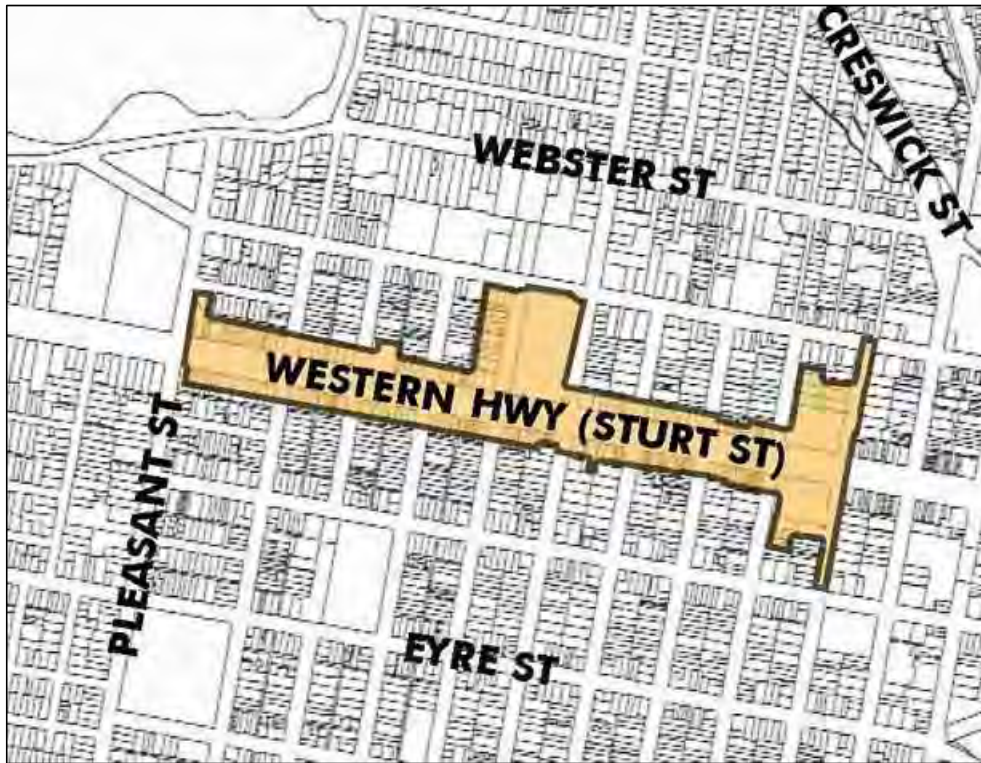


Figure 6 Sturt Street Heritage Precinct Map, shown as "E" on the Proposed Ballarat Urban Heritage Precincts Map

The Sturt Street Precinct is characterised by a combination of substantially intact residential buildings constructed generally from the 1870s to the 1940s, and by a notable collection of civic and religious buildings constructed from the 1860s onwards. The precinct is also characterised by the formal layout and mature tree plantings of Sturt Street.

The Sturt Street precinct includes the roadway and all properties fronting Sturt Street between Pleasant and Dawson Streets. Developments associated with St. Patrick's Cathedral complex (Hall and Presbytery), St. Andrew's Uniting Church (hall and gardens) and the Ballarat Base Hospital are also included.

The Sturt Street precinct extends from Dawson Street to Pleasant Street and includes the roadway and all the properties fronting Sturt Street.

Sturt Street was known as Raglan Road and was primarily part of the three chain stock route between Geelong and Adelaide. Development commenced in the precinct after the first survey undertaken in 1852, which laid out Sturt Street as a

cross over street. It is possible that the street was named after Evelyn Pitfield Shirley Sturt, brother of Charles Sturt.

By the end of the 1850's Sturt Street began to compete with Main Road for business importance and work began to improve the visual state of the streetscape. A dual roadway was developed with a central mudbank. The mudbank was planted with Tasmanian Bluegums grown from seed given to the City by Baron von Mueller. However, after complaints from shopkeepers that the trees shaded their shops in winter, the gums were replanted with elms and oaks. The median strip continues to feature mature trees and landscaping and is still used for recreation and commemorative events.

The precinct shows the consolidation of the township from the centre of the city towards west Ballarat and the important role Sturt street played in the commercial, civic, medical, religious and cultural life of Ballarat.

The precinct is architecturally important as it contains many original Victorian and Federation civic, commercial and residential buildings. These include the key landmark buildings such as the St Patrick's and St Andrew's Cathedrals and their associated buildings, Ballarat Fire Station, Ballarat Base Hospital and three doctors residences at 704, 708 and 802 Sturt Street. Other visual features are the gracious boulevard form of Sturt Street with its landscaped gardens and mature trees, the memorials and sculptures and the unobstructed views between the street and the abutting buildings.

The precinct also retains the early bluestone gutters and kerbing.

Typically, buildings are generally two storey, although some residences are 1 – 1 ½ story, are either brick or horizontal weatherboard, with verandahs or articulated facades, hipped and /or gabled roofs. Buildings also show substantial architectural decorative detailing and the commercial and some residential buildings are built onto the street frontage.

STURT STREET HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The Sturt Street Precinct is historically significant at a **LOCAL** level. (AHC criteria A3,4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
(a3) importance in exhibiting unusual richness or diversity of built landscapes and cultural features;
(a4) & (h1) importance for association with events, developments, cultural phases and individuals which have had a significant role in the human occupation and evolution of the region.

The Precinct, which mainly focuses on Sturt Street boulevard, is important for its association with William S. Urquhart, the Assistant Colonial Governor Surveyor at the time in 1851, and is an excellent example of the lasting influence of his work. It is historically important for its major contribution to the unified character of Ballarat's urban design that still retains the harmony of its foundation years.

The Precinct is historically important as it shows evidence of the creation of a grand elegant boulevard in the European tradition, within a rectilinear street layout pattern based on hierarchy and axial ordering, a neoclassical planning overlay on a once chaotic gold mining district. The geometric hierarchy was established by predetermined fixed street widths and block sizes that determined the length of streets and scale of intersections that allowed the character of each neighbourhood to change, whilst retaining the visual coherence of the whole.

The Precinct is historically important as it demonstrates the particular social structure of Ballarat during the 19th century which was conducive to a universally admired aesthetic. Sturt Street with its counterpart Victoria Street in East Ballarat, part of the former cattle stock route between Geelong and Adelaide, are the only surveyed roads in Ballarat that were substantially wider and longer than other streets. It was one of the earliest roads to have been surveyed in Ballarat and is important as the central spine of Urquhart's city plan. The Sturt Street boulevard is the focus of city design in this area as the formal western gateway to the centre of the city, and to the east, it links with the commemorative Ballarat Avenue of Honour, where between 1917-1921, over 3,000 trees were planted along the Western Highway for 22km.

The grandeur and scale of Sturt Street moderates the form and structure of the Precinct and provides the setting for many prestigious churches and institutions in the city. In this section of Sturt Street corner sites were reserved for important public buildings. There are three significant early churches of the Catholic, Anglican and Presbyterian faiths, which together with the Ballarat hospital and Fire Station have become hallmark features of the Ballarat vistas and skyline. The residential buildings and two-storey shops demonstrate the development of larger professional and commercial families' houses in the more prosperous western area of Ballarat.

The Sturt Street Heritage Precinct is **aesthetically and architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1, F).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique);

(e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

(f) its importance in demonstrating a high degree of creative design or artistic excellence, or technical achievement at a particular period.

The Precinct is aesthetically and architecturally significant as a fine example of broad historical townscape founded in 1850s, the product of a European city building tradition. It demonstrates many original and intact urban design and fine architectural qualities associated with the ecclesiastical, civic, commercial and residential development of the Ballarat township between the 1850s and early 1900s.

These important aesthetic and architectural qualities include but are not limited to many local landmarks, such as ecclesiastical and civic buildings and their individual precincts as well as an outstanding collection of residences. Particularly significant examples include a remarkable group of churches. These are the eclectic English Gothic styled former Congregational Church on the corner Dawson and Mair Street, designed by local architects Caselli and Figgis (1881) and Molloy and Chandler (1906 rear additions), the English Norman styled St Andrew Kirk corner Sturt and Dawson Streets designed by local architects C.D. Cutherbert (nave 1862-64), C.D.Figgis (spire 1884) Figgis and Molloy (transept 1889), the English Gothic styled Roman Catholic St Patricks Cathedral located on the opposite corner of Sturt Street, designed by English architects Hansom brothers (1857 and modified by local architects Shaw and Dowden (1857) J.B. Denny (1870) and Melbourne architects Reed Smart and Tappin (1891) as well as their associated collection of buildings, specifically St Patrick's Hall and Presbytery, the individual church precincts and fencing, the former Baptist Church at 3 Dawson Street designed by local architect J.

A. Donne (1866-67) and the Lutheran Church and Manse located at 206 Doveton Street and the Manse at 105 Eyre Street designed by C.D. Figgis as well as architect F. Poeppel (1868-1876). These European styled ecclesiastical buildings with their tall towers dominate the area and form an impressive church precinct of great architectural and heritage visual importance to the city of Ballarat. Other landmark buildings which have considerable architectural and aesthetic significance include the bluestone two-storey Ballarat City Fire Station with its lookout tower located at 702 Sturt Street designed by H.R. Figgis in 1859, as well as the elegant neo-classic residences at 18-20 Lyons Street, which is important as one of the largest and most consistent Renaissance revival terraces in the State. In addition at 606-608 Sturt Street the 19th century neo-classic town house is an excellent example of the Grecian revival style. Further outstanding Italianate style residences are located at 704 Sturt Street which forms part of an important group of doctor's houses, amongst others.

The Precinct is architecturally important for its range of fine examples of Victorian and Federation styled buildings displaying many eclectic architectural motifs such as Jacobean, Gothic and Tudor detailing. The residential and commercial buildings are generally one to two storeys, with civic buildings contrasting in height and scale. The main civic buildings are unique in design and scale but are consistent in their use of stone for construction.

With respect to the gracious Sturt Street boulevard layout and landscaped central median strip with memorial, fountain and statues the landscape setting contributes to the overall architectural qualities of the streetscape, and demonstrates important aesthetic visual qualities that reflect the historical, cultural and architectural development of the Precinct, and contribute to the historic context of Ballarat.

The Sturt Street Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C.2).

(c) its potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

The Precinct is of importance for contributing to the history of infrastructure development in Ballarat West, identified by intact bluestone kerbs and gutters and cast iron drinking fountain.

The Sturt Street Precinct is **socially** significant at a **LOCAL** level (AHC criteria G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons.

Sturt Street is recognized and highly valued by the community for religious, civic, commercial, commemorative, and cultural reasons.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 167 STURT STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1	Ascot Street South	BALLARAT CENTRAL VIC 3350
1-2/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
3/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
4/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
5/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
6/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
8/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
10/2-12	Pleasant Street North	BALLARAT CENTRAL VIC 3350
619	Sturt Street	BALLARAT CENTRAL VIC 3350
627-629	Sturt Street	BALLARAT CENTRAL VIC 3350
631	Sturt Street	BALLARAT CENTRAL VIC 3350
701	Sturt Street	BALLARAT CENTRAL VIC 3350
711	Sturt Street	BALLARAT CENTRAL VIC 3350
713	Sturt Street	BALLARAT CENTRAL VIC 3350
715	Sturt Street	BALLARAT CENTRAL VIC 3350
717	Sturt Street	BALLARAT CENTRAL VIC 3350
808	Sturt Street	BALLARAT CENTRAL VIC 3350
815-819	Sturt Street	BALLARAT CENTRAL VIC 3350
822	Sturt Street	BALLARAT CENTRAL VIC 3350
925	Sturt Street	BALLARAT CENTRAL VIC 3350
927	Sturt Street	BALLARAT CENTRAL VIC 3350
1003	Sturt Street	BALLARAT CENTRAL VIC 3350
1008A	Sturt Street	BALLARAT CENTRAL VIC 3350
Rear of 1010	Sturt Street	BALLARAT CENTRAL VIC 3350
1012	Sturt Street	BALLARAT CENTRAL VIC 3350
1101-1107	Sturt Street	BALLARAT CENTRAL VIC 3350
1108	Sturt Street	BALLARAT CENTRAL VIC 3350
1112-1120	Sturt Street	BALLARAT CENTRAL VIC 3350
1113	Sturt Street	BALLARAT CENTRAL VIC 3350
1115-1117	Sturt Street	BALLARAT CENTRAL VIC 3350
1220	Sturt Street	BALLARAT CENTRAL VIC 3350
1301-1303	Sturt Street	BALLARAT CENTRAL VIC 3350
1302-1306	Sturt Street	BALLARAT CENTRAL VIC 3350
1315-1317	Sturt Street	BALLARAT CENTRAL VIC 3350
1318	Sturt Street	BALLARAT CENTRAL VIC 3350

HO 167 STURT STREET PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1319-1321	Sturt Street	BALLARAT CENTRAL VIC 3350
1332	Sturt Street	BALLARAT CENTRAL VIC 3350
1342	Sturt Street	BALLARAT CENTRAL VIC 3350

SOUTH BALLARAT HERITAGE PRECINCT

Description / Precinct Boundaries



Figure 7 South Ballarat Heritage Precinct Map, shown as "F" on the Proposed Ballarat Urban Heritage Precincts Map

The South Ballarat Precinct is located directly to the south-west of the Ballarat City centre, within urban Ballarat. It is characterised by a heterogeneous combination of substantially intact residential buildings, which were constructed from the early 1860s (or possibly earlier) to the 1940s, and into the early 1950s. They are interspersed with a notable collection of cultural/community, commercial and educational buildings constructed from the 1850s onwards. The precinct is also characterised by the formal grid layout of nearly all of its streets, most of which feature avenues of mature to semi-mature trees; by scattered areas of grassed and treed public and private open space including the Western Oval Reserve, the lawns of the City Bowling Club, and Trekardo Park; and by numerous well-maintained private gardens, some of which contain notable mature tree specimens. Furthermore, the precinct is specially distinguished by the substantial integrity of its original engineering infrastructure, particularly as identified by the extensive network of bluestone spoon drains and gutters that can be seen along almost every road in the precinct, generally in conjunction with wide gravel/grass shoulders.

The north boundary of the Central Ballarat precinct is generally formed by the south boundary of the Sturt Street Central Heritage Precinct. It predominantly runs along the rear of the allotments on the south side of Sturt Street between Pleasant Street South and Lyons Street South, then along the southern boundary of much of the land and buildings associated with the St Patricks Cathedral, and finally along the north side of Dana Street between Dawson Street North and Doveton Street North. The east boundary begins at the north-west corner of the intersection of Doveton Street North with Dana Street and runs in a staggered line to the south boundary. It is generally formed by the east side of Doveton Street North (to Eyre Street), the north side of Eyre Street (to Armstrong Street North) and then by the rear boundaries of allotments located on the east side of Armstrong Street North (to Sebastopol Street), before turning to run along the rear of the allotments on the north side of Sebastopol Street (between Armstrong Street North and Hickman Street) and effectively ends where Sebastopol Street abuts the Yarrowee River Channel Reserve.

The south boundary begins at this same point and is characterised by an irregular edge that runs in a western direction to Skipton Street, and takes in allotments on the south side of Sebastopol Street, the east side of the last section of Dawson Street South, and the east side of Hill Street. At the intersection of Sebastopol Street with Skipton Street, the south boundary turns to run along the south-east side of Skipton Street to the intersection with Darling Street, and turns again to run along the south side of Darling Street to the point where it crosses the Redan Creek Channel. The west boundary is firstly formed by the east edge of this bluestone lined channel (between Darling Street and Latrobe Street), then by part of the north side of Latrobe Street and finally by the west side of Pleasant Street South. The west boundary ends at Sturt Street.

The South Ballarat precinct is generally bounded by Pleasant Street, Darling Street, Skipton Street, Hill Street, east of Armstrong Street and adjoins the Lydiard and Sturt Street and West Ballarat heritage precincts.

William Urquhart the government surveyor first surveyed the precinct in 1851. By 1861, formal surveying of allotments within the township blocks in a dominant grid pattern seems to have extended through most of the precinct. However the blocks south of Eyre Street, particularly between Ripon and Drummond Streets and as far south as Sebastopol Street, were yet to be divided into formal allotments. By the mid 1870s a tree planting program had commenced to beautify the residential areas and construction of tar footpaths began.

Mining occurred throughout this precinct with greatest concentration of activity in the eastern portion of the precinct. There was also a major quarry in the location of the present Trekardo Park.

The precinct is important as it shows many original and early examples of Victorian, Federation, Inter War and early Post War era residential, commercial, cultural/community and educational buildings.

Typically, the residential buildings are mainly single storey, with hipped or gabled roofs clad with corrugated iron, slate or terracotta tiles. They were generally constructed from horizontal weatherboard or brick, and sometimes bluestone, with mostly unpainted chimneys. Houses display eaves, projecting verandahs, porches and timber doors and timber casement or double hung windows.

The commercial, educational and community/cultural buildings are either one or two storey and generally have the same characteristics as the residential buildings with the exception of the pitch of roofs, parapets, and the type of individual decorative detailing.

Key landmark buildings include the Churches and their associated buildings, the schools particularly the former Urquhart Street State School No. 2103, and the corner shops and hotels (both former and current). The Western Oval Reserve is also an important recreational landmark in the area.

The important visual qualities of the precinct include the view across and through the precinct, the uniform location of buildings in relation to the size of the allotment and consistent building setback, the positioning of garages towards the rear of properties and the style of fencing suited to the architectural style of the building.

Other features of importance are mature and semi mature street and private garden trees, the grass verges, the open space landscaped areas of the reserves and school grounds. These combine to form a garden setting for the precinct. The early square post boxes and concrete horse troughs are notable structures that contribute to the precinct.

Also important is the network of bluestone spoon drains which are an example of early construction technology and show an excellence in craftsmanship. The network also shows the history of infrastructure development in this area of the former West Ballarat municipality.

SOUTH BALLARAT HERITAGE PRECINCT STATEMENT OF SIGNIFICANCE

The South Ballarat Precinct is **historically** significant at a **LOCAL** level (AHC criteria A.4 and H.1).

- (a) the place's importance in the course, or pattern, of Australia's natural or cultural history;*
- (a.4) Importance for association with events, developments or cultural phases which have had a significant role in the human occupation and evolution of the nation, State, region or community;*
- (h) the place's special association with the life or works of a person, or group of persons, of importance in Australia's natural or cultural history.*

The Precinct is important for its association with William S. Urquhart, the Assistant Governor Surveyor at the time in 1851, and is an excellent example of the lasting influence of his work.

It is also historically significant as an example where intensive gold mining operations co-existed alongside residential development over a long period of time within a neoclassical urban framework of hierarchy and axial ordering, on which the official policies of urban planning in Australia were founded. It provides a strong contrast with the unplanned chaotic road system of East Ballarat. Three important factors contributed to the retention of the historic urban layout in this area. These include; a) the large open grid plan of the original Urquhart survey, b) the late arrival of quartz mining in the area which was mined extensively within the formal rectangular gridded streets, c) the particular nature of underground quartz mining of the area that led to much larger undertakings, and in consequence left the surface area relatively undisturbed. This is best illustrated by the contrasting street layout of the western and eastern section of the precinct. In the eastern area, Golden Point Lead with its branches of Malakoff, Milkmaids and Nightingale Leads was mined in the early 1850s prior to the town survey and in consequence the street pattern is notably irregular. While in the western section of the precinct, the rectilinear street pattern has emerged intact from history and the great 1870-90s quartz gold rush. The only indications of the former mines are the names of local streets and lanes.

The Precinct is historically important for its ability to illustrate the story of how a very heterogeneous early residential mining area has developed through major transitional stages of development that were marked by significant phases of re- building, upgrading and architectural consolidation during the late 19th century and early to mid 20th century. The resulting pattern of various mix of domestic architectural styles sharply juxtaposed is historically important. Through this process of consolidation and infill over the past 160 years, the original 1851 town plan characterized by its open grid pattern has been infilled, and the harmony of the overall townscape has been retained.

The Precinct is also associated with the establishment and development of several institutions including a number of historic schools and churches as well as the Queen Elizabeth Home, and with early residential settlement in Ballarat. The present Trekardo Park is also of historical significance as the site of an early and long-serving quarry.

The South Ballarat Precinct is **architecturally** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) the place's importance in demonstrating the principal characteristics of: (i) a class of Australia's natural or cultural places; or (ii) a class of Australia's natural or cultural environments; (e) the place's importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The urban plan of South Ballarat is important as Ballarat was the first large goldfields town that W.S. Urquhart surveyed. It was also the project which he regarded as his favourite and most successful amongst all other many major mid 19th century goldfields town plans in Victoria for which he was responsible. The area is particularly significant because it has preserved its historic street pattern and urban fabric to a high degree.

The Precinct is architecturally noteworthy for its high quality of substantially intact buildings with examples of development from all periods ranging from 1860s-1950s. This together with 19th century urban beautification schemes associated with major street tree planting, construction of tar footpaths and engineering infrastructure program has created an area of great diversification contained within a unified urban plan.

Despite the diversity in architectural styles, the residences have similar orientation, and are of similar scale, although there are examples of larger villas as well as very small 19th century cottages scattered throughout the precinct. Although the majority of residences are single storey and detached, there are individual non-conforming examples dispersed throughout the precinct. These include houses with attic dormer windows and two storey Victorian residences to the north, some semidetached residences and terraces. Sometimes there is a range of different front and side setbacks to dwellings and in addition various frontage widths to allotments within one street. However, these variations are small the slight randomness does not create strong contrasts in the urban context rather they add richness and variety to the streetscape. The residences are usually set within well maintained private gardens, some of which contain notable mature tree specimens. There are a number of intact small corner shops, predominately erected in the Victorian era, and larger commercial buildings and hotels that are local landmarks. Predominantly located on corner sites, they define street intersections. Interspersed without the Precinct are a notable collection of architecturally important churches and educational buildings constructed from the 1850s.

The South Ballarat Precinct is **aesthetically** significant at a **LOCAL** level (AHC criteria D.2, E.1).

(d) its importance in demonstrating the principal characteristics of: (i) a class of Australia's Cultural places; or (ii) a class of Australia's cultural environments (including way of life, custom, process, land-use, function, design or technique); (e) its importance in exhibiting particular aesthetic characteristics valued by a community or cultural group;

The Precinct demonstrates important visual qualities that reflect the historical, cultural and architectural development of the Precinct, and contribute to its visual setting. The Precinct is visually important as the grid pattern of its urban plan, laid out across the relatively flat topography of the grassy basalt plains of West Ballarat, is most fully appreciated here. The flat topography and constancy of scale of buildings, width and length of most streets combined with prominent display of intact blue stone gutters and mature elm, oak or plane tree planted in rows on both sides of the street

within gravel/grass shoulders provide the precinct with gracious historic internal viewscape that is unbroken by intrusive elements. The long views of tree lined avenues extend across and through the Precinct to other parts of Ballarat, including east or south-east (respectively) to Mount Warrenheip and Mount Buninyong in the far distance. Also of importance are the views to and along the highly significant engineering infrastructure of the Redan Creek Channel, which transects part of the residential area in the west part of the Precinct.

Further important aesthetic qualities of the Precinct include the variety of significant urban landmarks, a number of which can be seen from outside of the precinct. These comprise each of the churches and their associated buildings; each of the schools and their associated buildings; the various shops and hotels (both present and former), which are predominantly located on corner sites and particularly help to define the street intersections to the extent that many have become local landmarks; and the open landscape of the Western Oval Reserve and the associated stands of mature trees, which provide a scenic focus within the dominant residential area of this part of the Precinct.

The appropriate front and side setbacks of the residences within their allotments, relative to the size of the residence, the allotment on which they sit, and the streetscape in which they are located also contribute to the aesthetic significance of the precinct, as The use of the appropriate type, style and height of fence in relation to the era and style of the corresponding buildings is another feature that contributes to the aesthetic significance of the Precinct.

The important visual qualities of the Precinct are also enhanced by absence of front garages and carports that provides consistency to the views of houses, which are clearly visible beneath the mature and semi-mature street tree plantings. The combination of deep landscaped grassy verges, extensive avenues of street trees, and variously landscaped public and private open spaces such as the Western Oval Reserve, school grounds, and the many private gardens with their mature canopy trees provide the Precinct with a garden setting of considerable variety.

Furthermore, the visual qualities of the Precinct are specially enhanced by the substantial integrity of the original engineering infrastructure, particularly as identified by the extensive network of bluestone spoon or channel drains, by the small expanse of early flagstone and by the wrought iron drain guards. Other street furniture such as early square post boxes and intact concrete horse troughs donated by the George and Annis Bills Estate in the early 20th century contribute to the aesthetically significant qualities of the Precinct.

The South Ballarat Precinct is **scientifically** significant at a **LOCAL** level (AHC criteria C.2 and F1).

(c) the place's potential to yield information that will contribute to an understanding of Australia's natural or cultural history.

(f) the place's importance in demonstrating a high degree of creative or technical achievement at a particular period.

The Precinct is of especially importance for contributing to a history of the infrastructure development of this area of the former municipality of Ballarat West, as identified by the substantially intact extensive network of original engineering infrastructure, in particular, the bluestone spoon drains and gutters that are readily visible alongside almost every road and rear lane in the Precinct. The use of bluestone pitchers as the principal material to form this type of engineering

infrastructure also demonstrates an early, and now rarely used construction technology, as well as the excellence of traditional craftsmanship.

The South Ballarat Precinct is **socially** significant at a **LOCAL** level (AHC criterion G.1).

(g) the place's strong or special association with a particular community or cultural group for social, cultural or spiritual reasons;

The Precinct is recognized and highly valued by the local community for its early and ongoing residential, commercial, social, educational, and recreational associations.

Buildings Not Significant to a Precinct

The following buildings are considered to be 'not of heritage significance' to a heritage place ('the precinct') based on their period of construction. All other buildings within the area identified as the 'heritage precinct' are considered to be prima facie contributory to the significance of the heritage place.

The Statement of Significance for this heritage precinct identifies the period of construction that is of significance.

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
205	Armstrong Street South	BALLARAT CENTRAL VIC 3350
305	Armstrong Street South	BALLARAT CENTRAL VIC 3350
307	Armstrong Street South	BALLARAT CENTRAL VIC 3350
327	Armstrong Street South	BALLARAT CENTRAL VIC 3350
405	Armstrong Street South	BALLARAT CENTRAL VIC 3350
408	Armstrong Street South	BALLARAT CENTRAL VIC 3350
411	Armstrong Street South	BALLARAT CENTRAL VIC 3350
413	Armstrong Street South	BALLARAT CENTRAL VIC 3350
7	Ascot Street South	BALLARAT CENTRAL VIC 3350
8	Ascot Street South	BALLARAT CENTRAL VIC 3350
13	Ascot Street South	BALLARAT CENTRAL VIC 3350
11A	Ascot Street South	BALLARAT CENTRAL VIC 3350
11B	Ascot Street South	BALLARAT CENTRAL VIC 3350
1/103-105	Ascot Street South	BALLARAT CENTRAL VIC 3350
2/103-105	Ascot Street South	BALLARAT CENTRAL VIC 3350
3/103-105	Ascot Street South	BALLARAT CENTRAL VIC 3350
4/103-105	Ascot Street South	BALLARAT CENTRAL VIC 3350
208	Ascot Street South	BALLARAT CENTRAL VIC 3350
1/220	Ascot Street South	BALLARAT CENTRAL VIC 3350
2/220	Ascot Street South	BALLARAT CENTRAL VIC 3350
3/220	Ascot Street South	BALLARAT CENTRAL VIC 3350
222	Ascot Street South	BALLARAT CENTRAL VIC 3350
223	Ascot Street South	BALLARAT CENTRAL VIC 3350
225	Ascot Street South	BALLARAT CENTRAL VIC 3350
226	Ascot Street South	BALLARAT CENTRAL VIC 3350
229	Ascot Street South	BALLARAT CENTRAL VIC 3350
311	Ascot Street South	BALLARAT CENTRAL VIC 3350
313	Ascot Street South	BALLARAT CENTRAL VIC 3350
414	Ascot Street South	BALLARAT CENTRAL VIC 3350
421	Ascot Street South	BALLARAT CENTRAL VIC 3350
422	Ascot Street South	REDAN VIC 3350
423A	Ascot Street South	BALLARAT CENTRAL VIC 3350
427	Ascot Street South	BALLARAT CENTRAL VIC 3350
1/508	Ascot Street South	REDAN VIC 3350
2/508	Ascot Street South	REDAN VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
3/508	Ascot Street South	REDAN VIC 3350
512	Ascot Street South	REDAN VIC 3350
522	Ascot Street South	REDAN VIC 3350
2/602	Ascot Street South	REDAN VIC 3350
604	Ascot Street South	REDAN VIC 3350
605	Ascot Street South	REDAN VIC 3350
607	Ascot Street South	REDAN VIC 3350
608	Ascot Street South	REDAN VIC 3350
1/612	Ascot Street South	REDAN VIC 3350
2/612	Ascot Street South	REDAN VIC 3350
3/612	Ascot Street South	REDAN VIC 3350
613	Ascot Street South	REDAN VIC 3350
616	Ascot Street South	REDAN VIC 3350
617	Ascot Street South	REDAN VIC 3350
1/618	Ascot Street South	REDAN VIC 3350
2/618	Ascot Street South	REDAN VIC 3350
1/6	Church Street	BALLARAT CENTRAL VIC 3350
2/6	Church Street	BALLARAT CENTRAL VIC 3350
1/7	Church Street	BALLARAT CENTRAL VIC 3350
2/7	Church Street	BALLARAT CENTRAL VIC 3350
3/7	Church Street	BALLARAT CENTRAL VIC 3350
8	Church Street	BALLARAT CENTRAL VIC 3350
2/8	Church Street	BALLARAT CENTRAL VIC 3350
3/8	Church Street	BALLARAT CENTRAL VIC 3350
13	Church Street	BALLARAT CENTRAL VIC 3350
1/21	Church Street	BALLARAT CENTRAL VIC 3350
2/21	Church Street	BALLARAT CENTRAL VIC 3350
3/21	Church Street	BALLARAT CENTRAL VIC 3350
701	Cosmopolitan Place	BALLARAT CENTRAL VIC 3350
703	Cosmopolitan Place	BALLARAT CENTRAL VIC 3350
801	Cosmopolitan Place	BALLARAT CENTRAL VIC 3350
803	Cosmopolitan Place	BALLARAT CENTRAL VIC 3350
805	Cosmopolitan Place	BALLARAT CENTRAL VIC 3350
501	Dana Street	BALLARAT CENTRAL VIC 3350
511	Dana Street	BALLARAT CENTRAL VIC 3350
1/604	Dana Street	BALLARAT CENTRAL VIC 3350
2/604	Dana Street	BALLARAT CENTRAL VIC 3350
3/604	Dana Street	BALLARAT CENTRAL VIC 3350
605	Dana Street	BALLARAT CENTRAL VIC 3350
702	Dana Street	BALLARAT CENTRAL VIC 3350
707	Dana Street	BALLARAT CENTRAL VIC 3350
715	Dana Street	BALLARAT CENTRAL VIC 3350
902	Dana Street	BALLARAT CENTRAL VIC 3350
904	Dana Street	BALLARAT CENTRAL VIC 3350
906A	Dana Street	BALLARAT CENTRAL VIC 3350
1/913	Dana Street	BALLARAT CENTRAL VIC 3350

HO 168 SOUTH BALLARAT HERITAGE PRECINCT

NO.	STREET NAME	SUBURB & POSTCODE
1003	Dana Street	BALLARAT CENTRAL VIC 3350
1010	Dana Street	BALLARAT CENTRAL VIC 3350
1/1110	Dana Street	BALLARAT CENTRAL VIC 3350
2/1110	Dana Street	BALLARAT CENTRAL VIC 3350
3/1110	Dana Street	BALLARAT CENTRAL VIC 3350
4/1110	Dana Street	BALLARAT CENTRAL VIC 3350
1114	Dana Street	BALLARAT CENTRAL VIC 3350
1207A	Dana Street	BALLARAT CENTRAL VIC 3350
1209	Dana Street	BALLARAT CENTRAL VIC 3350
1316	Dana Street	BALLARAT CENTRAL VIC 3350
1310	Dana Street	BALLARAT CENTRAL VIC 3350
1306-1308	Dana Street	BALLARAT CENTRAL VIC 3350
204	Darling Street	REDAN VIC 3350
206	Darling Street	REDAN VIC 3350
1/408	Darling Street	REDAN VIC 3350
2/408	Darling Street	REDAN VIC 3350
3/408	Darling Street	REDAN VIC 3350
4/408	Darling Street	REDAN VIC 3350
5/408	Darling Street	REDAN VIC 3350
6/408	Darling Street	REDAN VIC 3350
502	Darling Street	REDAN VIC 3350
506	Darling Street	REDAN VIC 3350
2/606A	Darling Street	REDAN VIC 3350
1/221	Dawson Street South	BALLARAT CENTRAL VIC 3350
2/221	Dawson Street South	BALLARAT CENTRAL VIC 3350
3/221	Dawson Street South	BALLARAT CENTRAL VIC 3350
229	Dawson Street South	BALLARAT CENTRAL VIC 3350
308	Dawson Street South	BALLARAT CENTRAL VIC 3350
314	Dawson Street South	BALLARAT CENTRAL VIC 3350
324	Dawson Street South	BALLARAT CENTRAL VIC 3350
404	Dawson Street South	BALLARAT CENTRAL VIC 3350
413	Dawson Street South	BALLARAT CENTRAL VIC 3350
418	Dawson Street South	BALLARAT CENTRAL VIC 3350
420	Dawson Street South	BALLARAT CENTRAL VIC 3350
112	Doveton Street South	BALLARAT CENTRAL VIC 3350
1/207	Doveton Street South	BALLARAT CENTRAL VIC 3350
2/207	Doveton Street South	BALLARAT CENTRAL VIC 3350
3/207	Doveton Street South	BALLARAT CENTRAL VIC 3350
4/207	Doveton Street South	BALLARAT CENTRAL VIC 3350
5/207	Doveton Street South	BALLARAT CENTRAL VIC 3350
210	Doveton Street South	BALLARAT CENTRAL VIC 3350
212	Doveton Street South	BALLARAT CENTRAL VIC 3350
305	Doveton Street South	BALLARAT CENTRAL VIC 3350
323	Doveton Street South	BALLARAT CENTRAL VIC 3350
2	Drummond Street South	BALLARAT CENTRAL VIC 3350
4	Drummond Street South	BALLARAT CENTRAL VIC 3350